

GOLDENVIEW ESTATES AT SOMMERS BEND

TR37925 - PA10 - PA24 - 0508
TEMECULA, CALIFORNIA

PLANS	TOTAL S.F.
PLAN-1 SA59 - PARNELL	3,762 S.F.
PLAN-2 S43P - PAXTON	4,650 S.F.

ELEVATION STYLES

- A - SPANISH
- B - CALI RANCH



PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181

SDK

ATELIER

 RICHMOND
AMERICAN HOMES

SCHEMATIC DESIGN
APRIL 4th, 2025

NOT TO SCALE

STREET SCENE
3D VIEW - FRONT

2

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PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181

SDK

ATELIER

 RICHMOND
AMERICAN HOMES

SCHEMATIC DESIGN
MAY 7th, 2025

NOT TO SCALE

STREET SCENE
3D VIEW - FRONT

2

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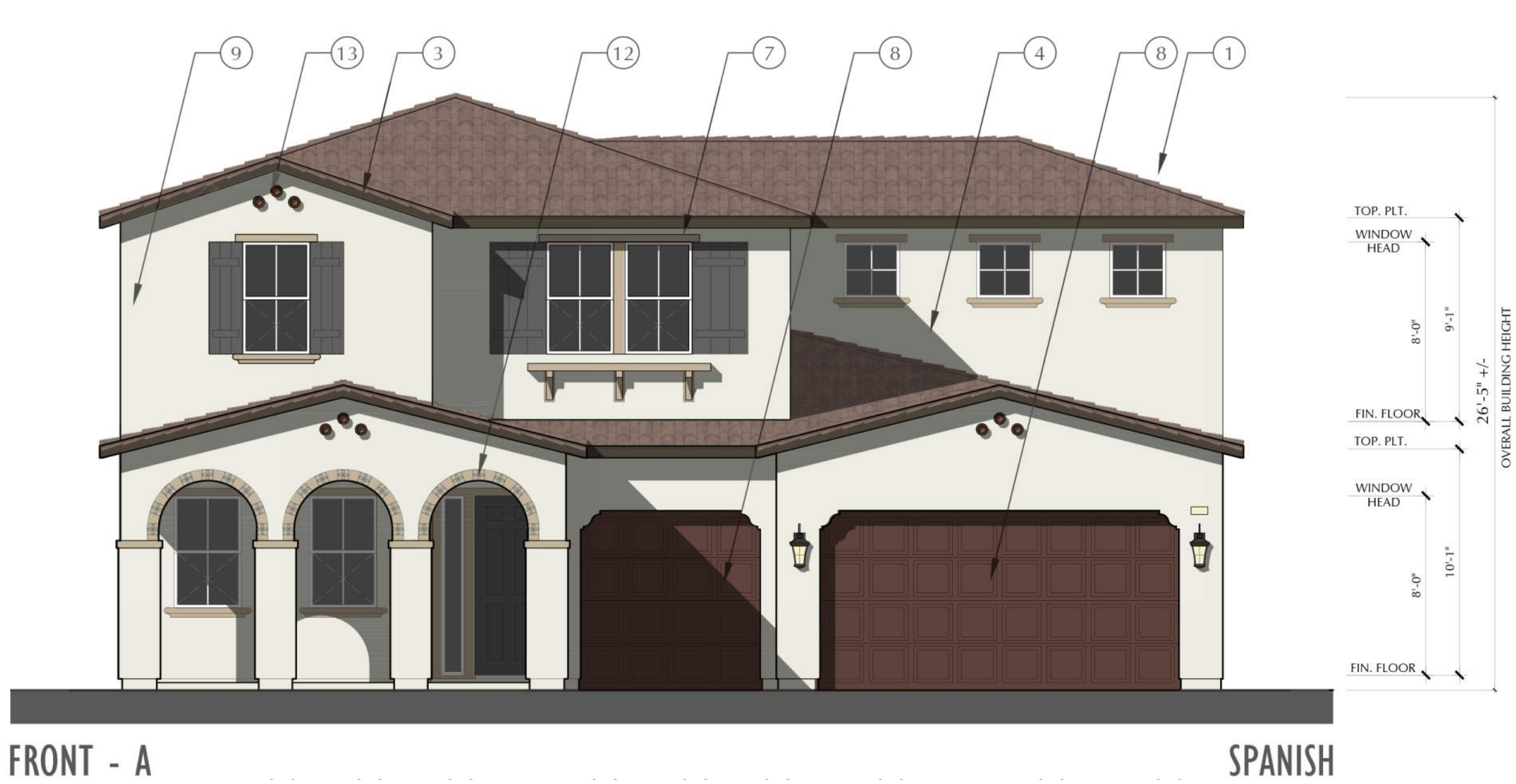


PARNELL
A ELEVATION
SPANISH

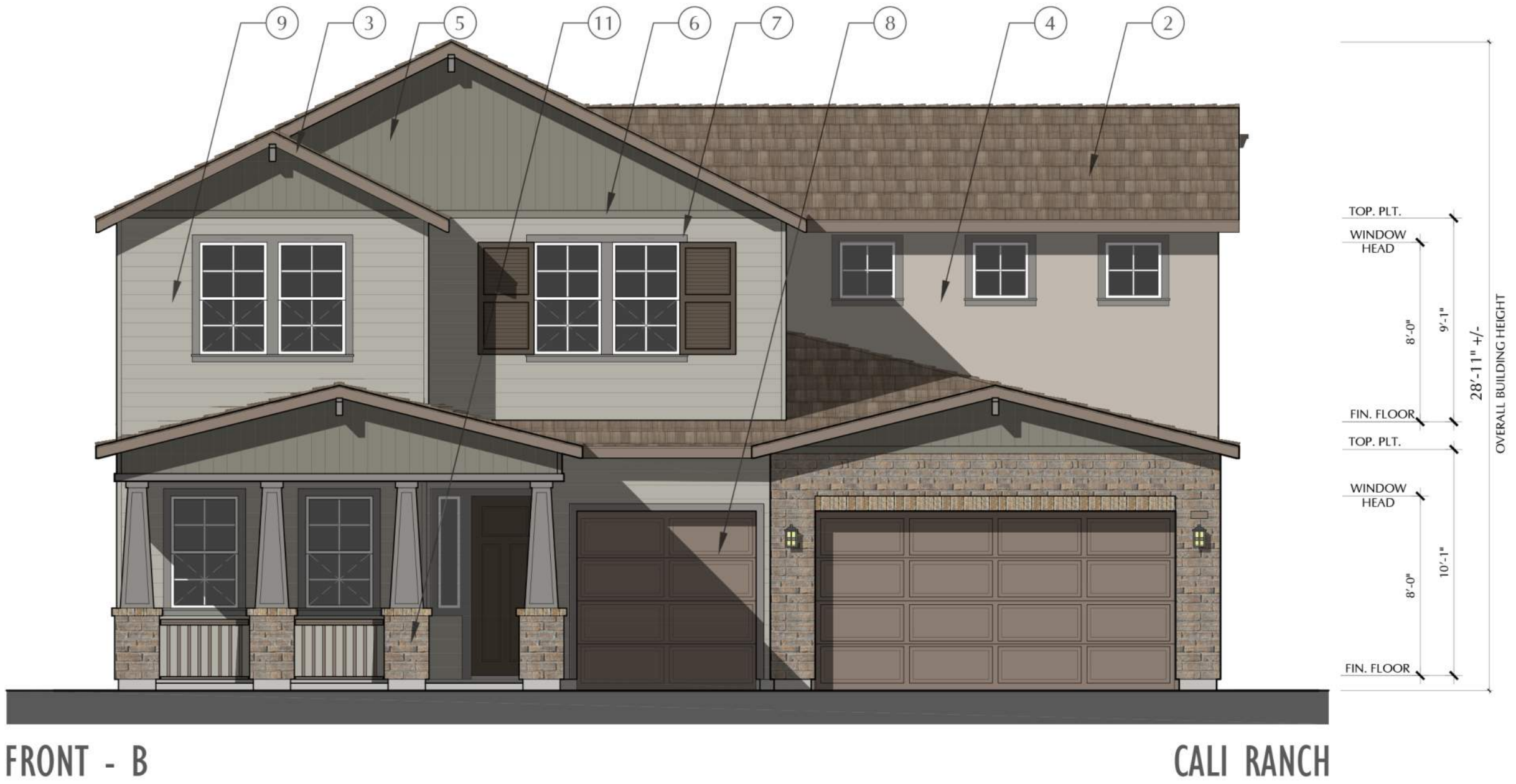
PARNELL
B ELEVATION
CALI RANCH

PAXTON
B ELEVATION
CALI RANCH

PAXTON
A ELEVATION
SPANISH



FRONT - A SPANISH

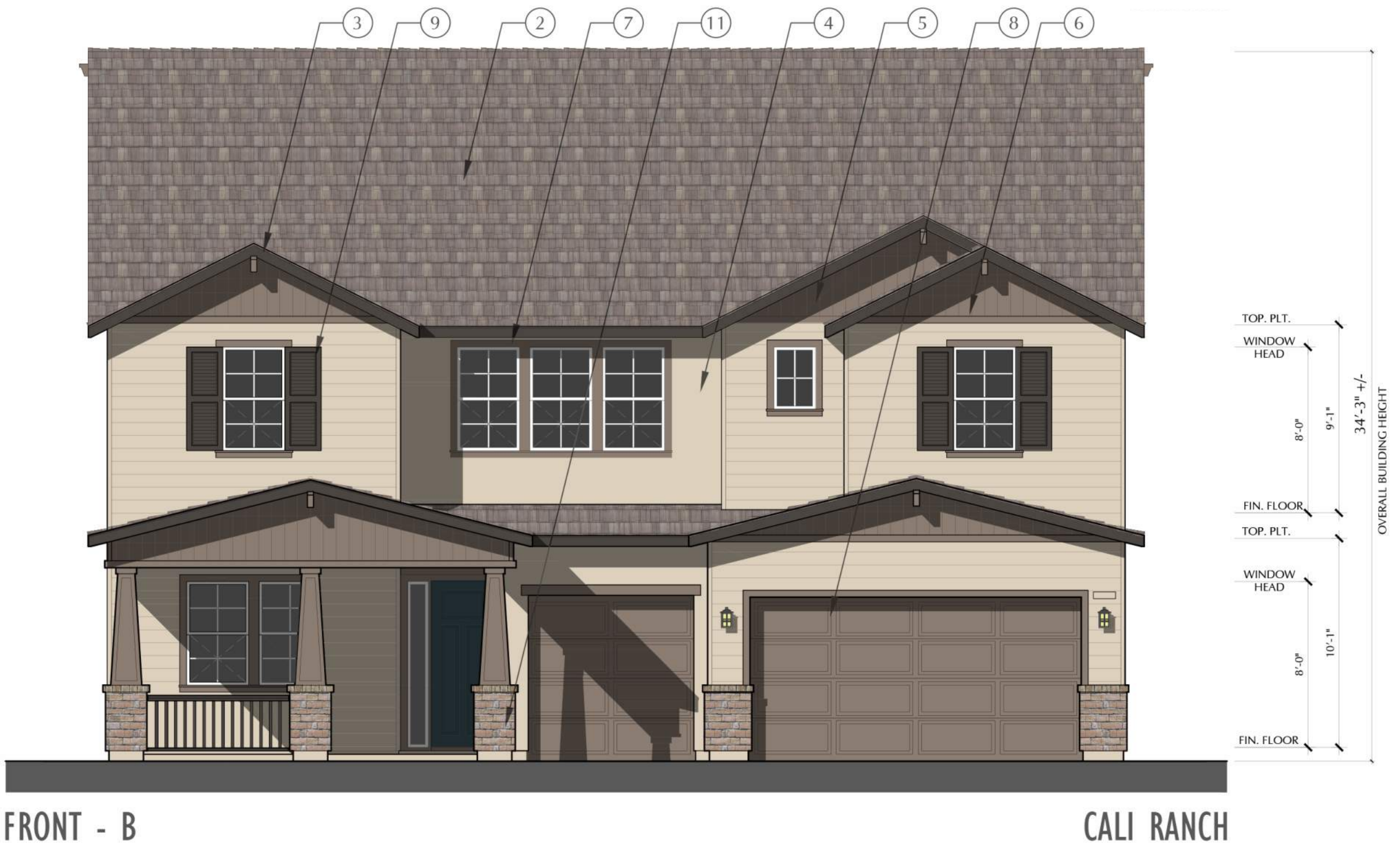


FRONT - B CALI RANCH

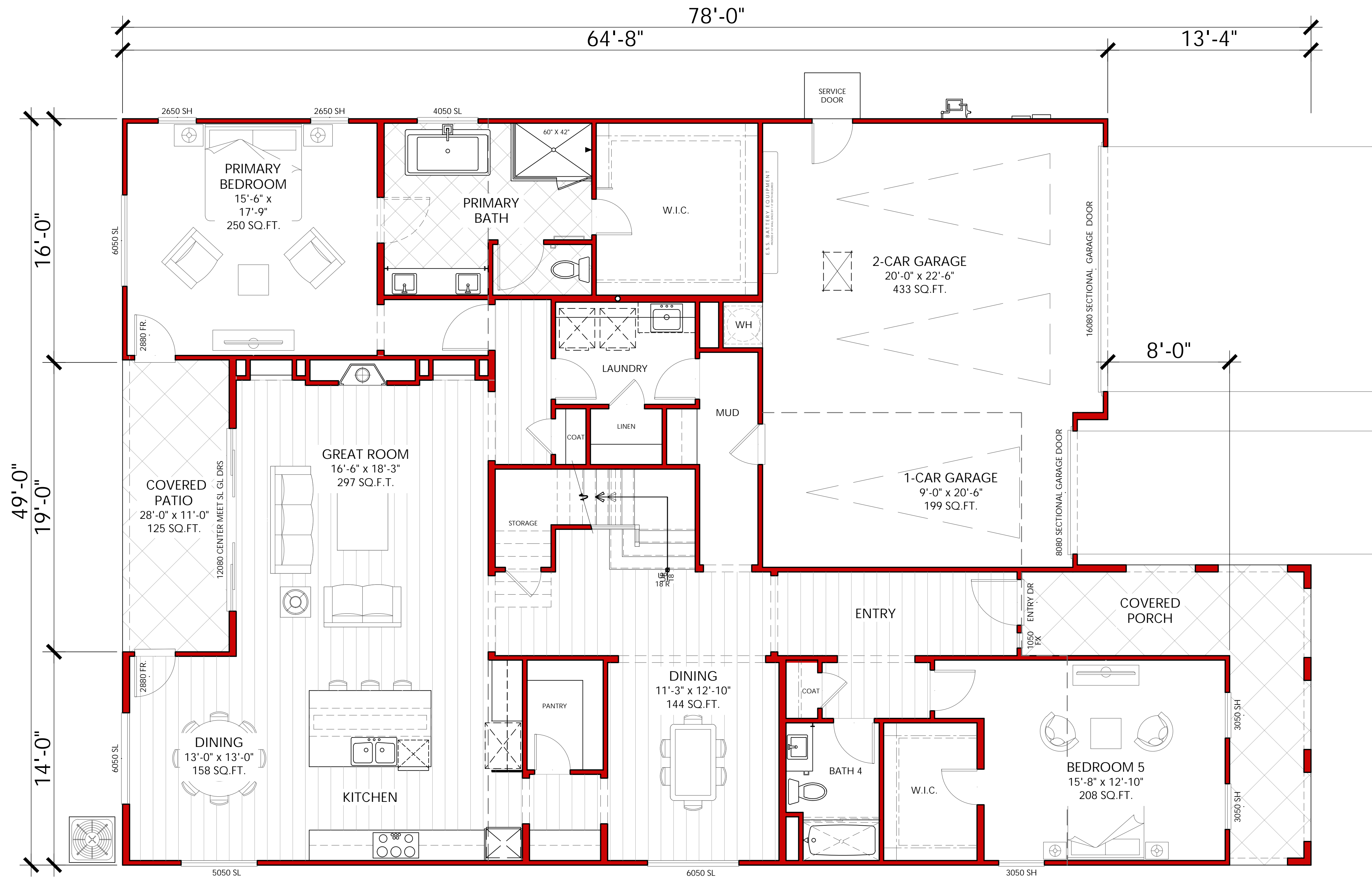
- MATERIAL CALLOUTS**
- 1 - CONCRETE 'S' ROOF TILE
 - 2 - CONCRETE FLAT ROOF TILE
 - 3 - WOOD FASCIA/BARGE
 - 4 - STUCCO
 - 5 - CEMENTITIOUS VERTICAL SIDING
 - 6 - CEMENTITIOUS TRIM
 - 7 - STUCCO O/ HIGH DENSITY FOAM TRIM
 - 8 - ROLL UP GARAGE DOOR
 - 9 - DECORATIVE SHUTTER
 - 10 - STONE VENEER
 - 11 - BRICK VENEER
 - 12 - SPANISH DECORATIVE TILE
 - 13 - DECORATIVE CLAY TILE



FRONT - A SPANISH



FRONT - B CALI RANCH



PLAN SA59 PARNELL

5 BEDROOMS + LOFT
4 BATHROOMS
3 CAR GARAGE

FIRST FLOOR	2,436 S.F.
SECOND FLOOR	1,326 S.F.
TOTAL	3,762 S.F.

3 CAR GARAGE	657 S.F.
COVERED PORCH	185 S.F.
COVERED PATIO	134 S.F.

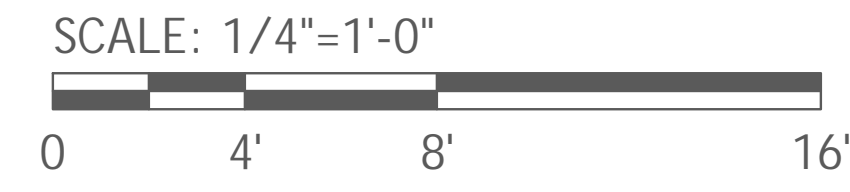
PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181



ATELIER



SCHEMATIC DESIGN
MAY 6TH, 2025



PLAN SA59 PARNELL
FIRST FLOOR PLAN
REFLECTS ELEVATION STYLE 'A'



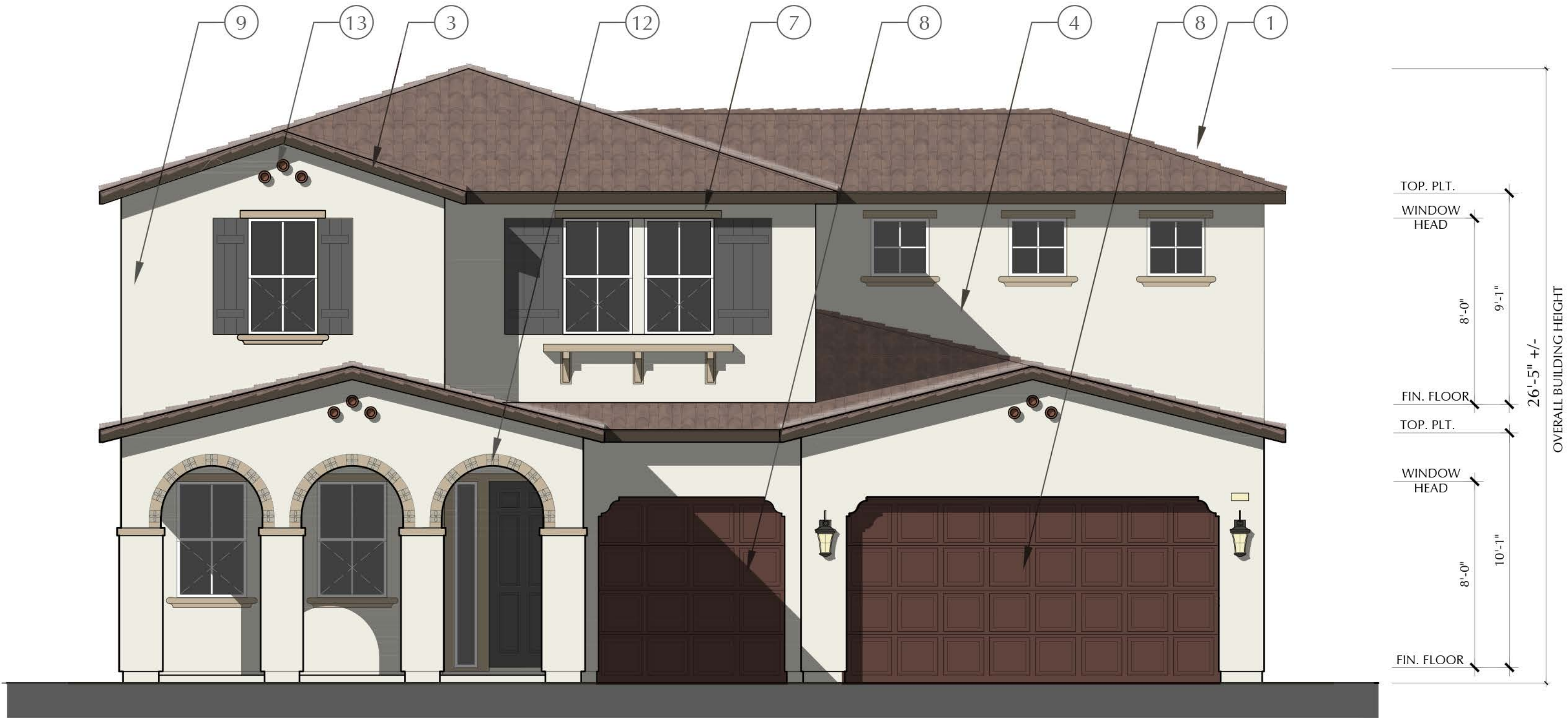
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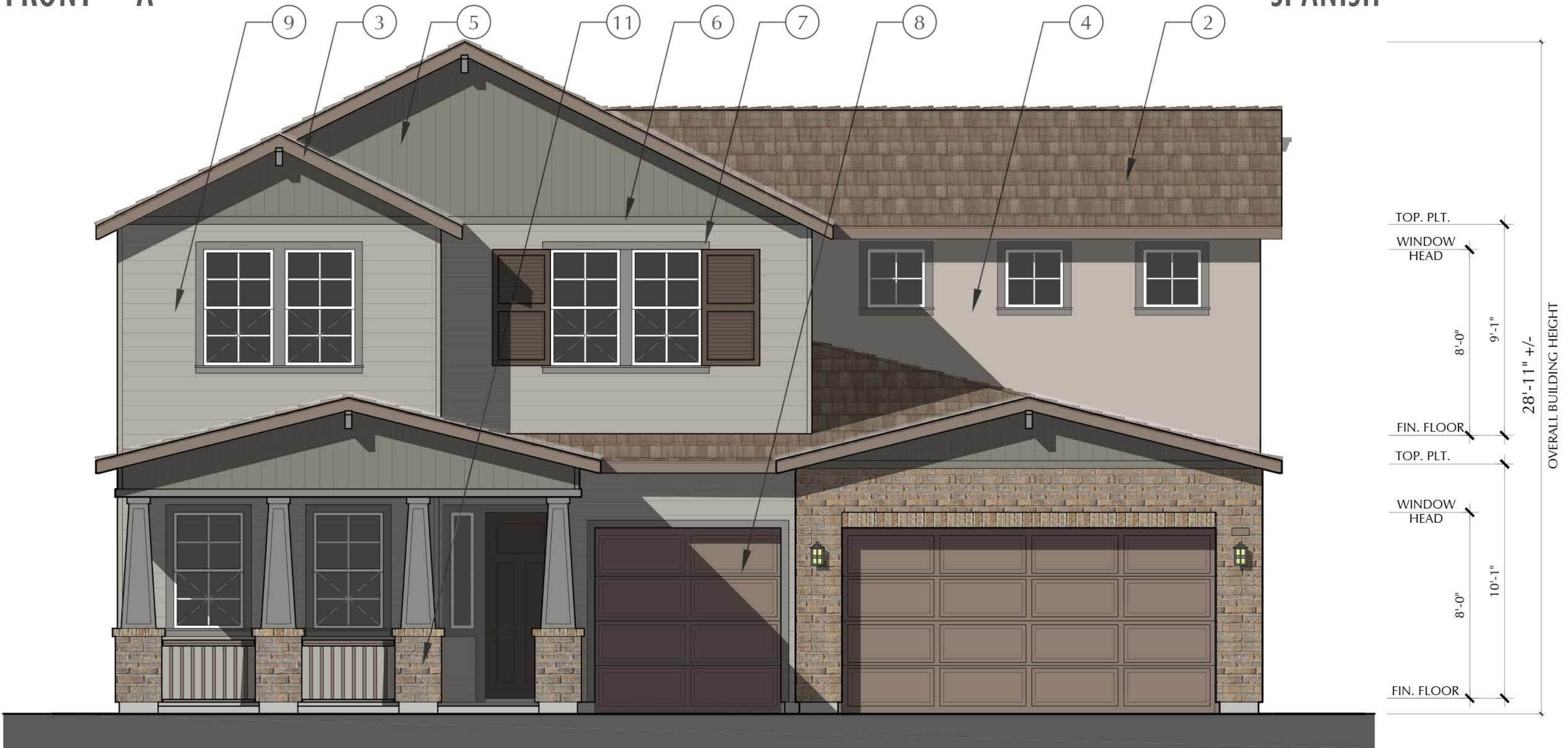
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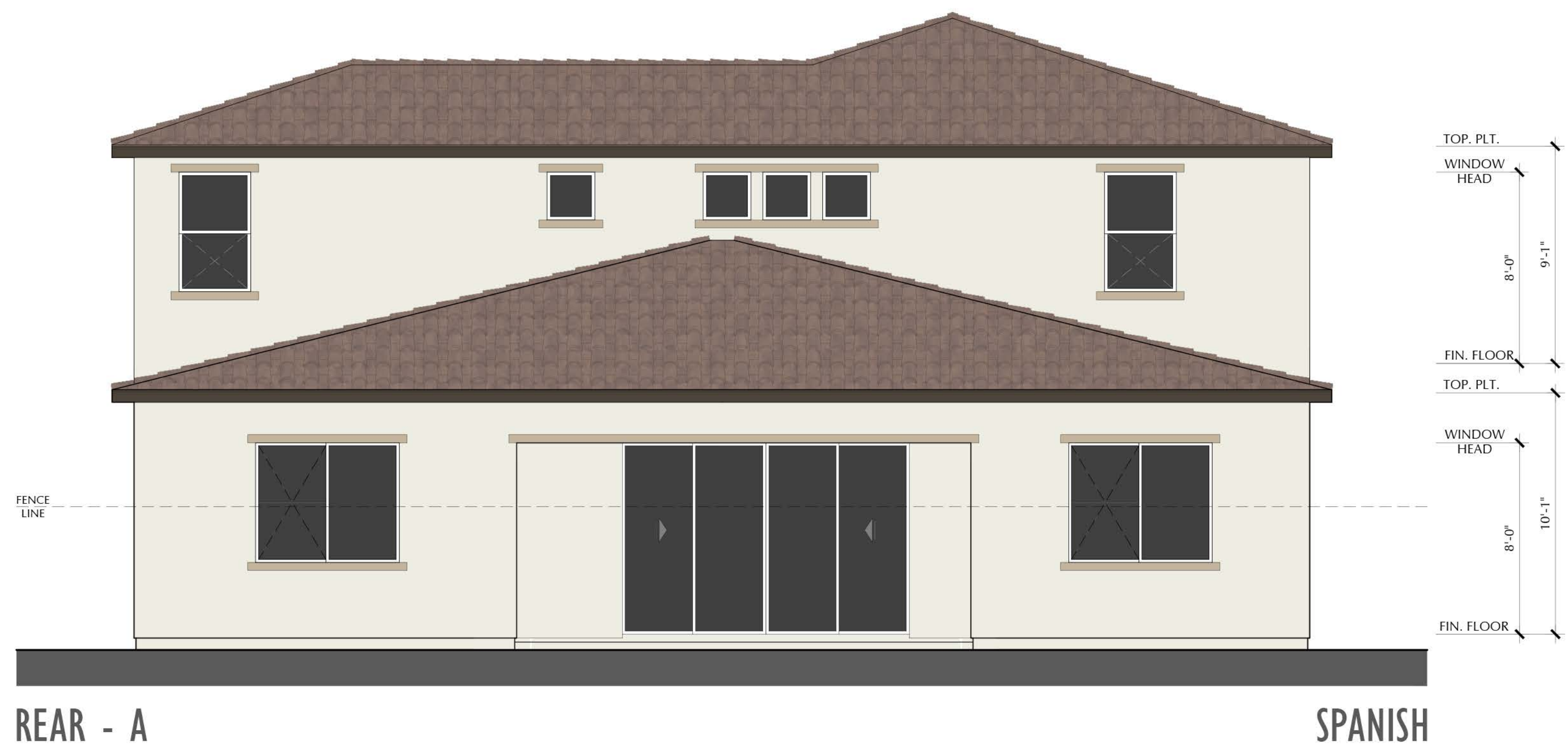
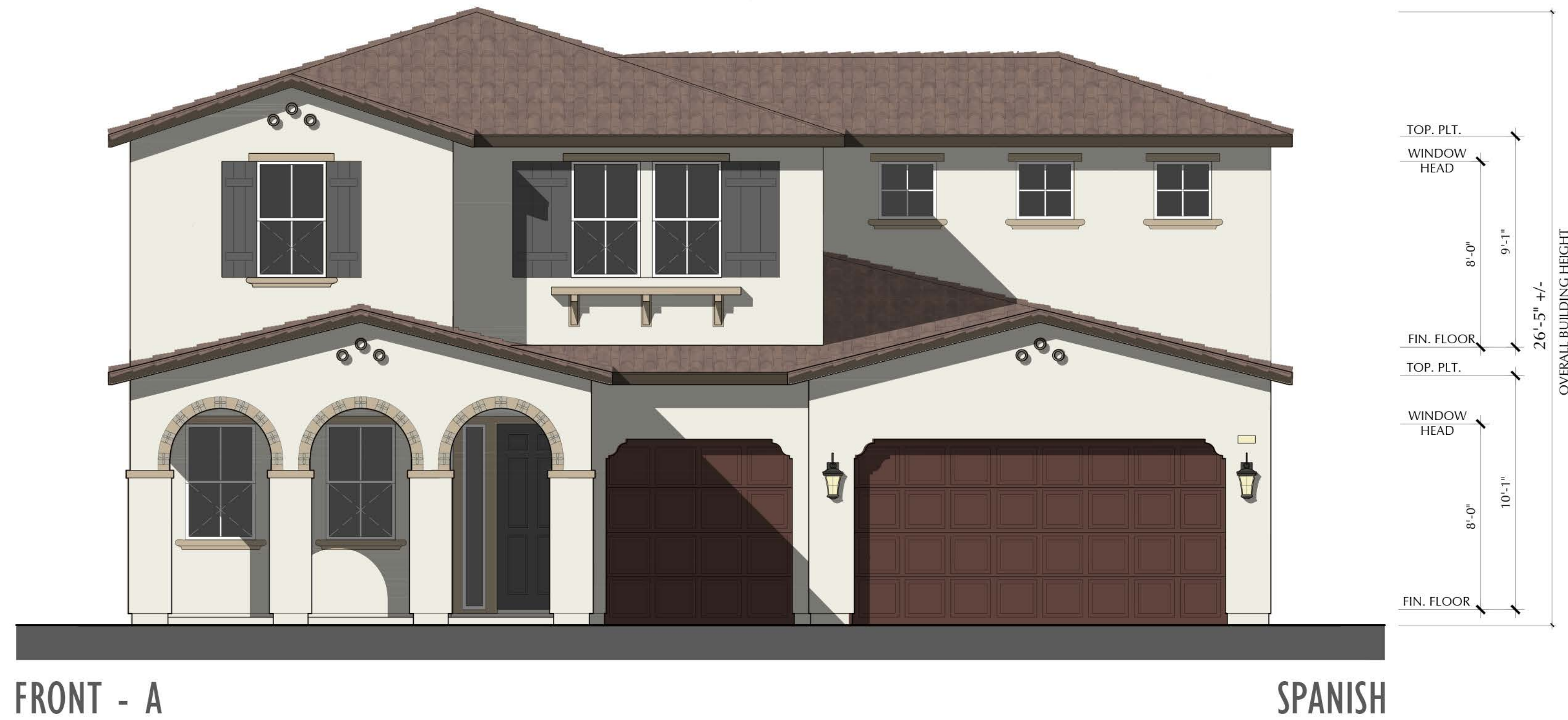
FRONT - A

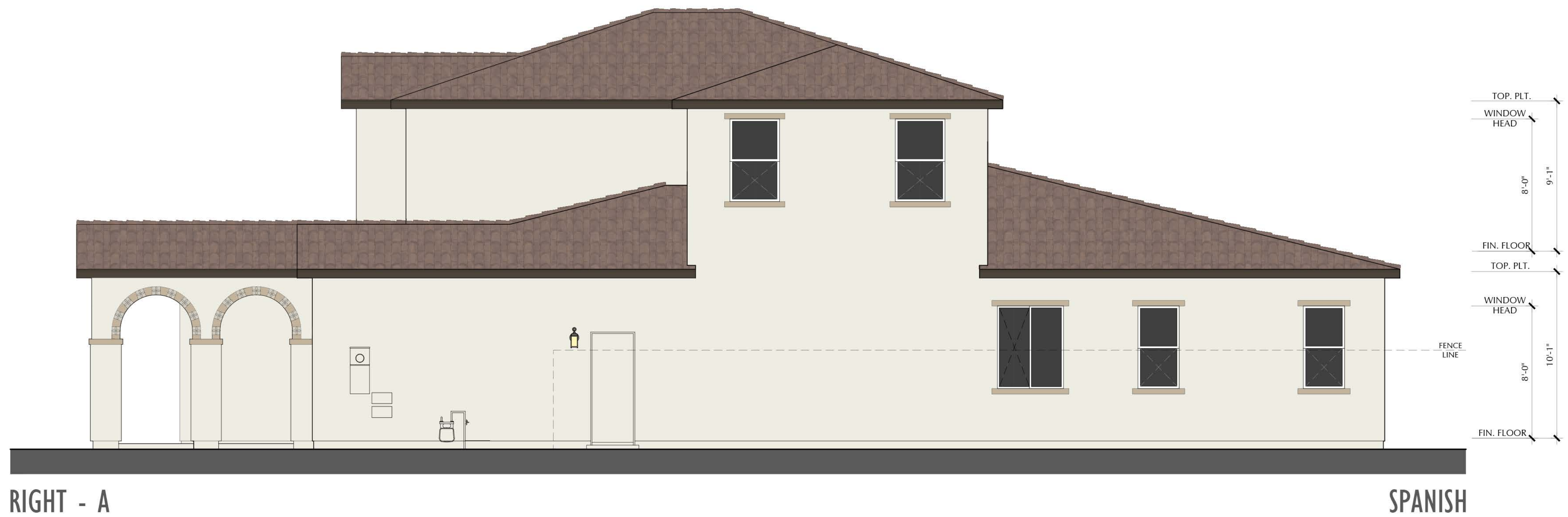
SPANISH



FRONT - B

CALI RANCH







REAR - A

SPANISH

PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181

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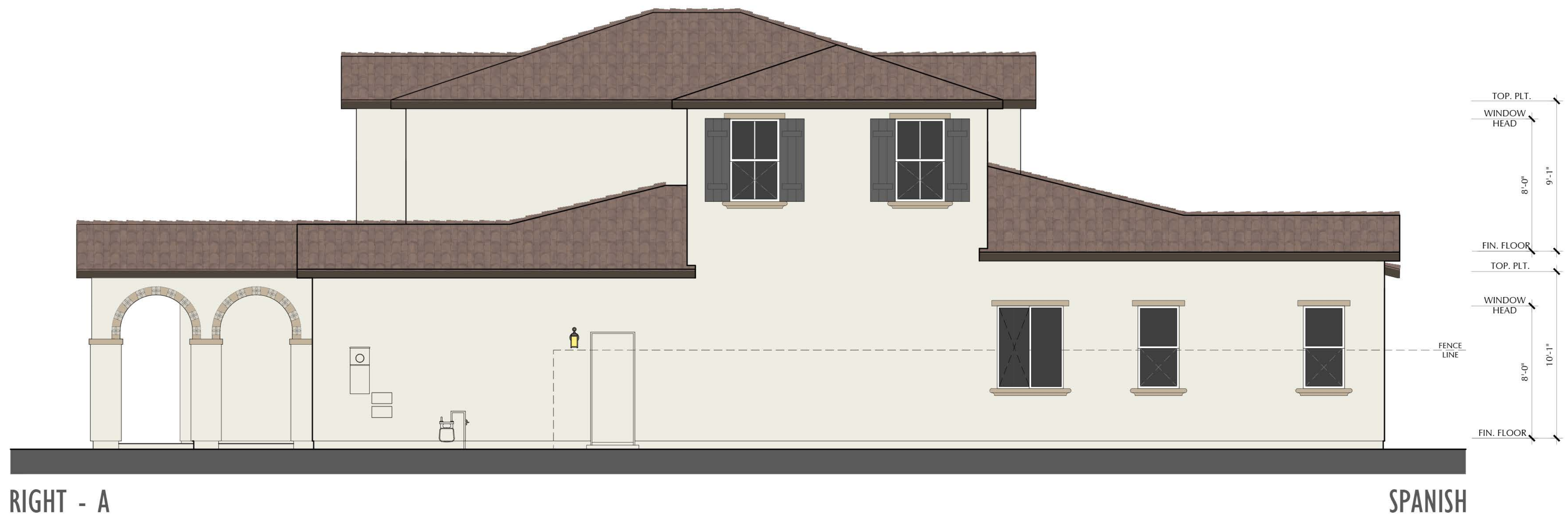
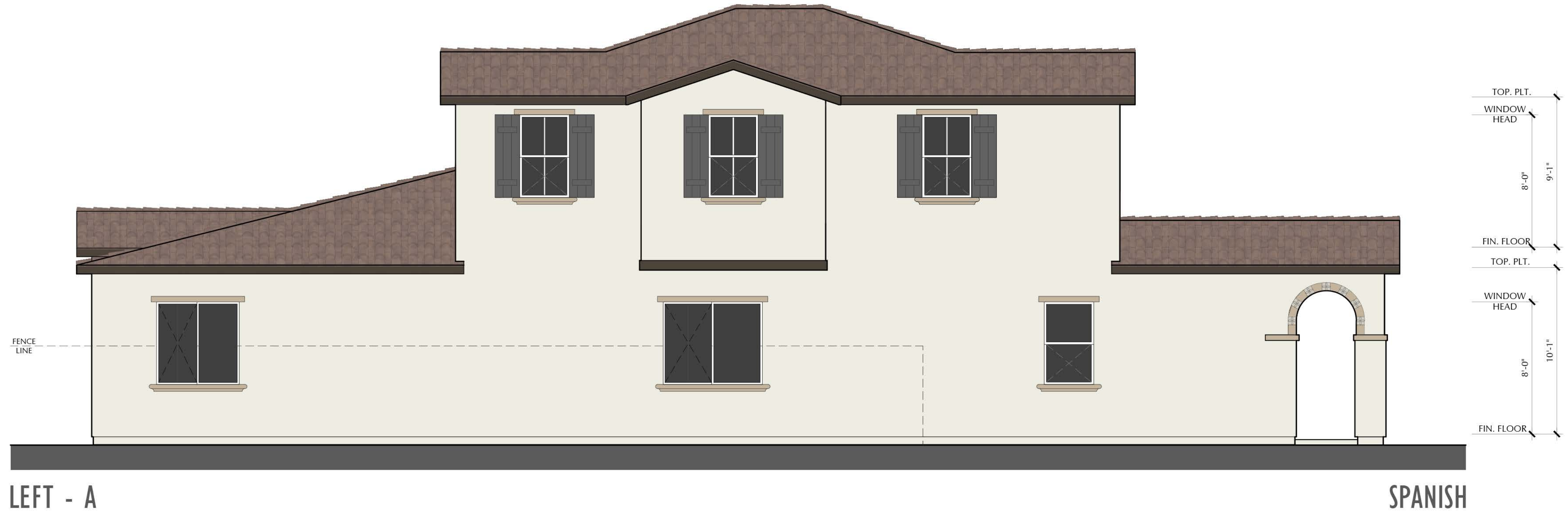
 RICHMOND
AMERICAN HOMES

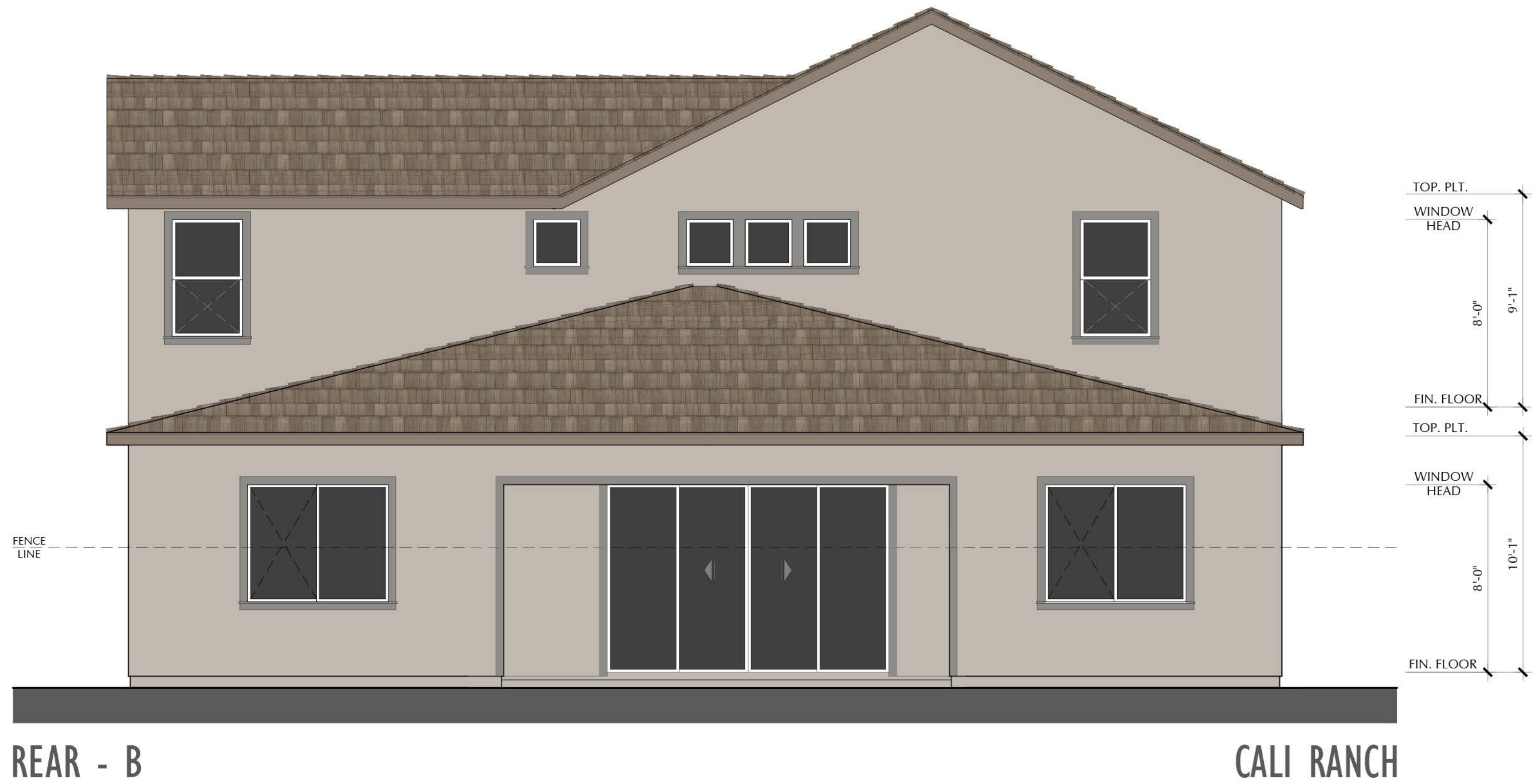
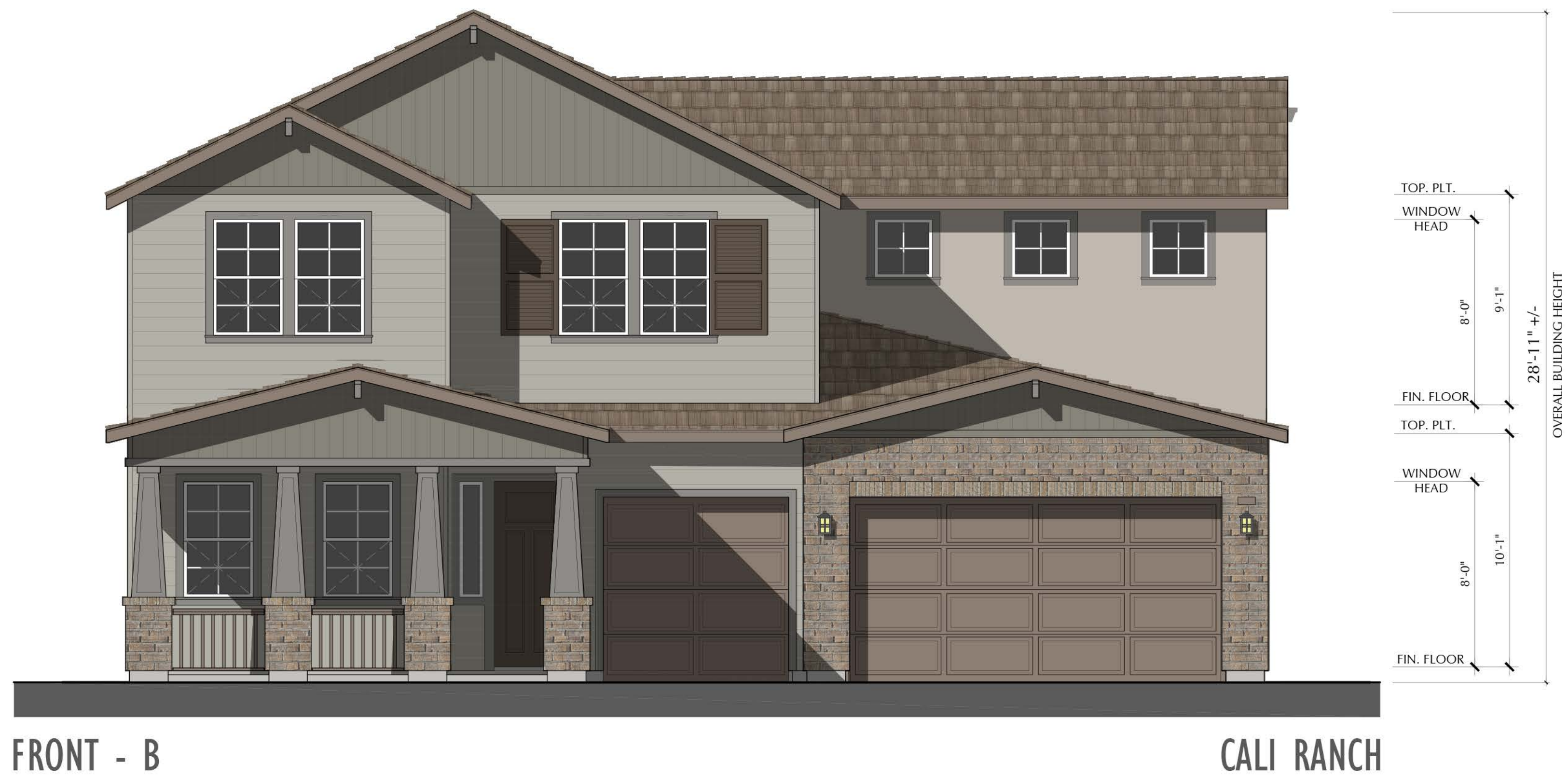
SCHEMATIC DESIGN
MAY 6TH, 2025

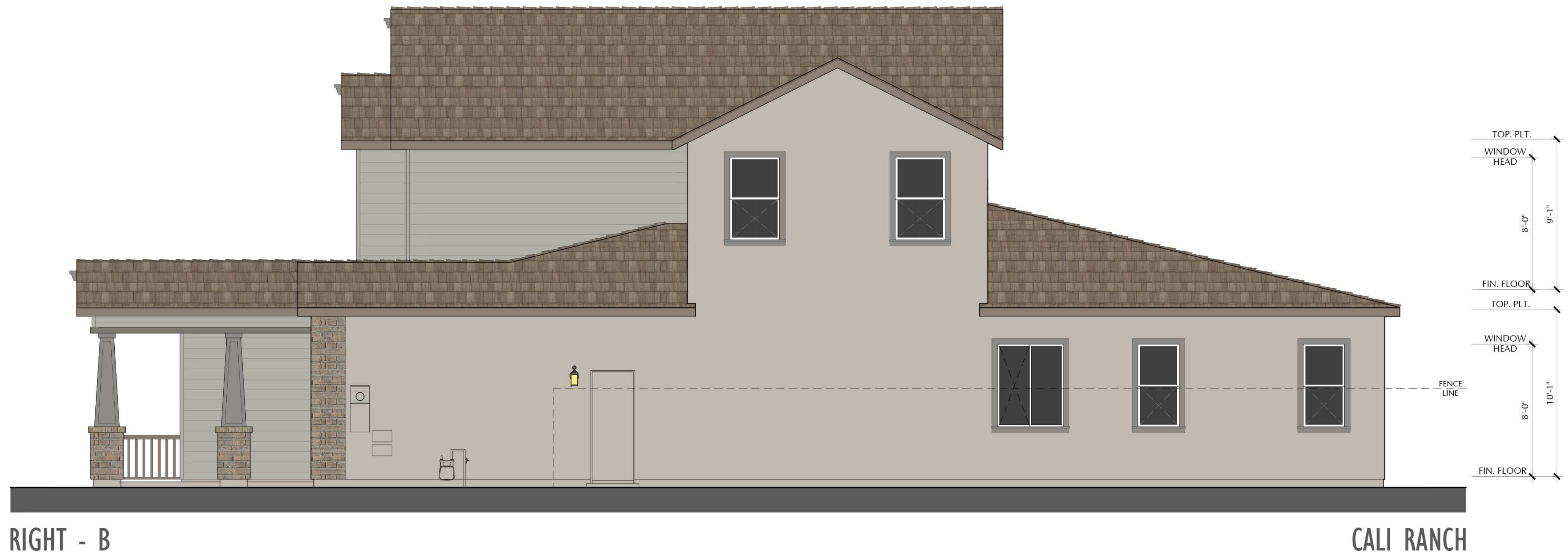
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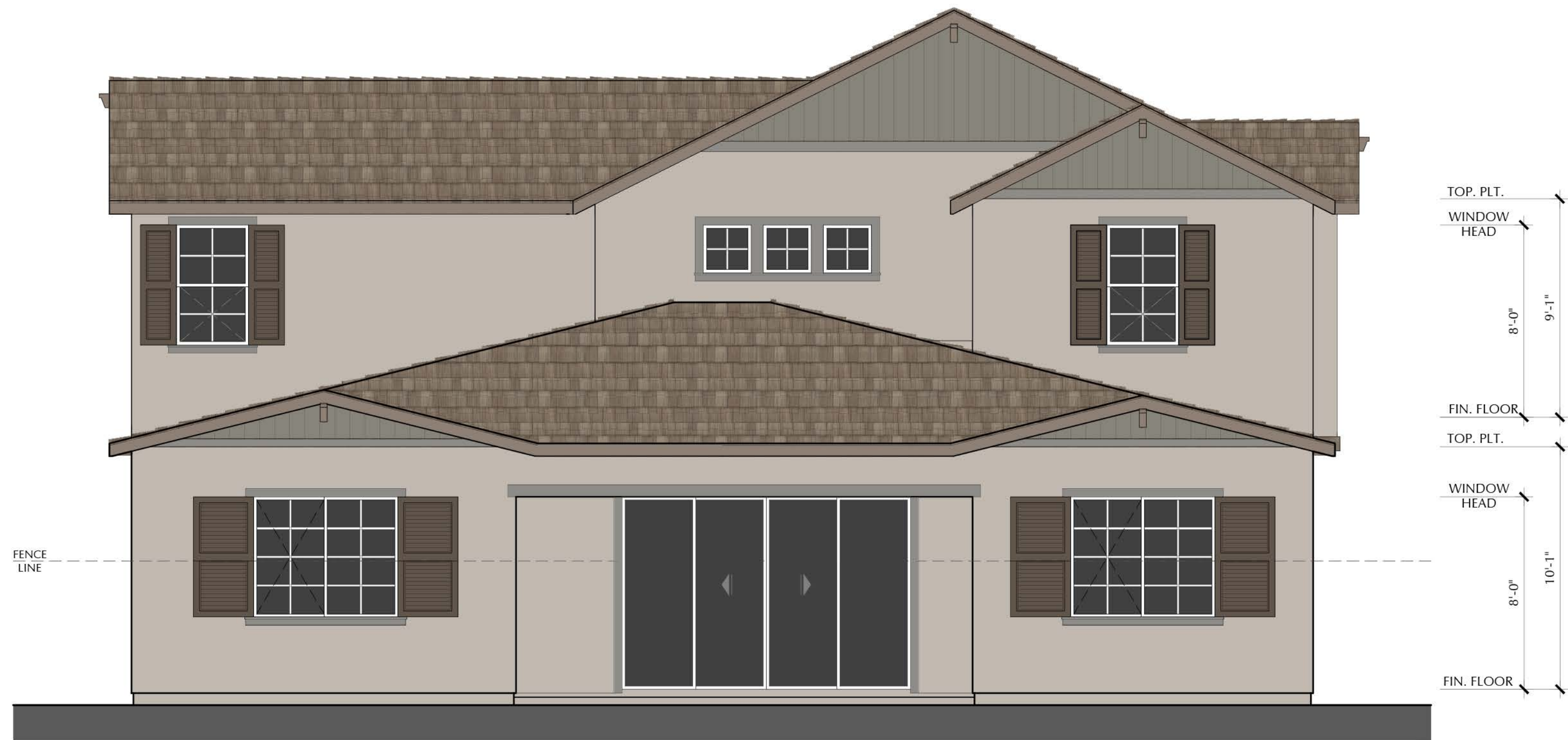


PLAN SA59 PARNELL
ENHANCED REAR ELEVATION
STYLE 'A'









REAR - B

CALI RANCH

PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181

SDK

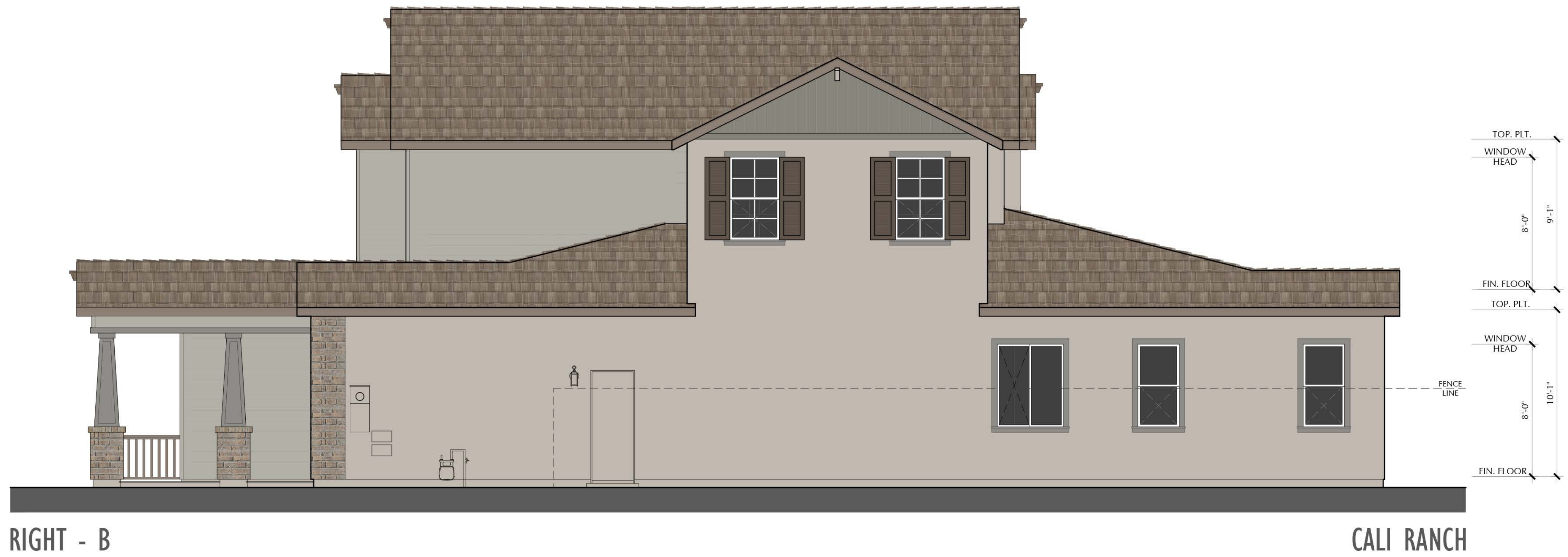
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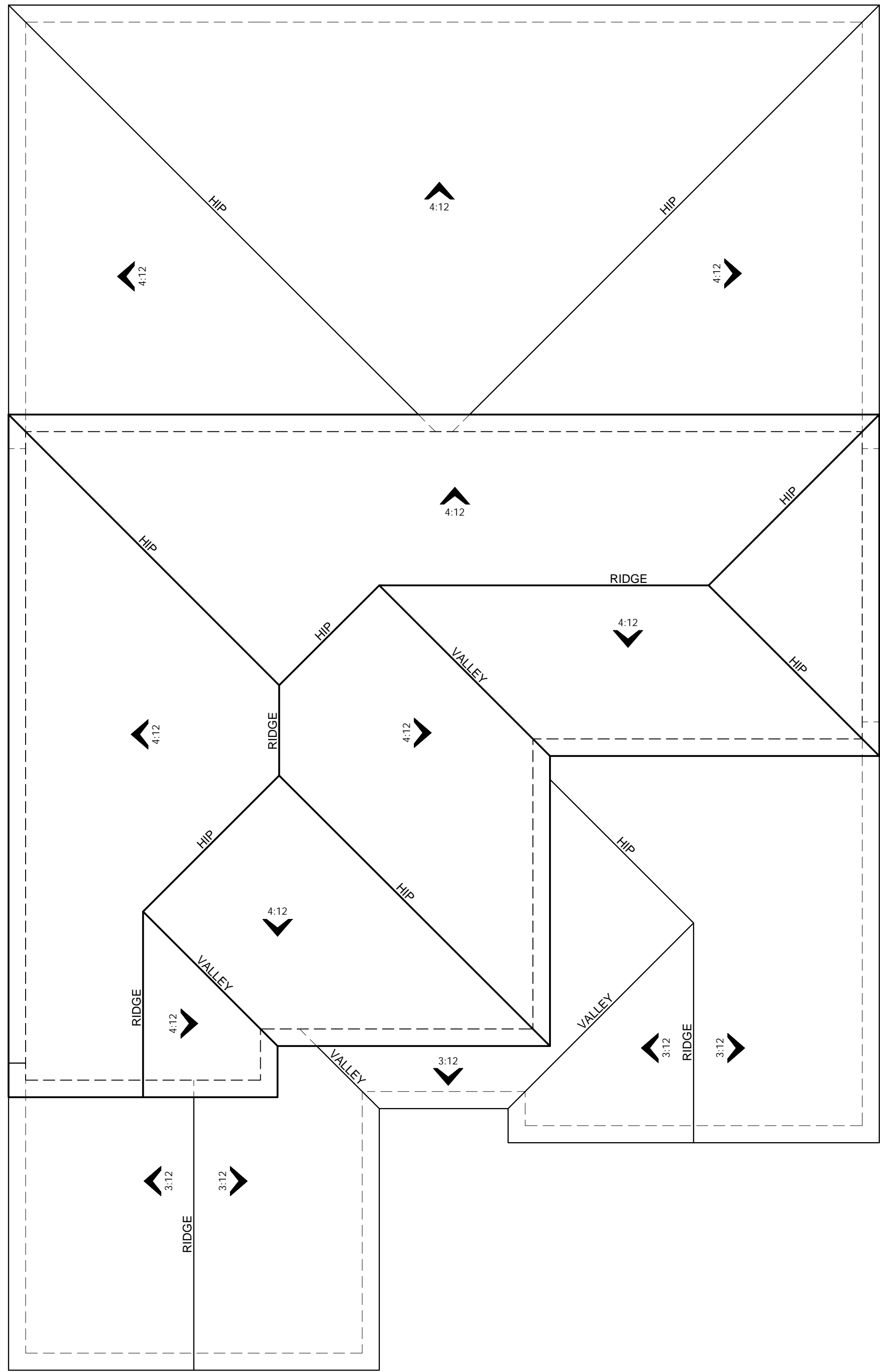
 RICHMOND
AMERICAN HOMES

SCHEMATIC DESIGN
MAY 6TH, 2025

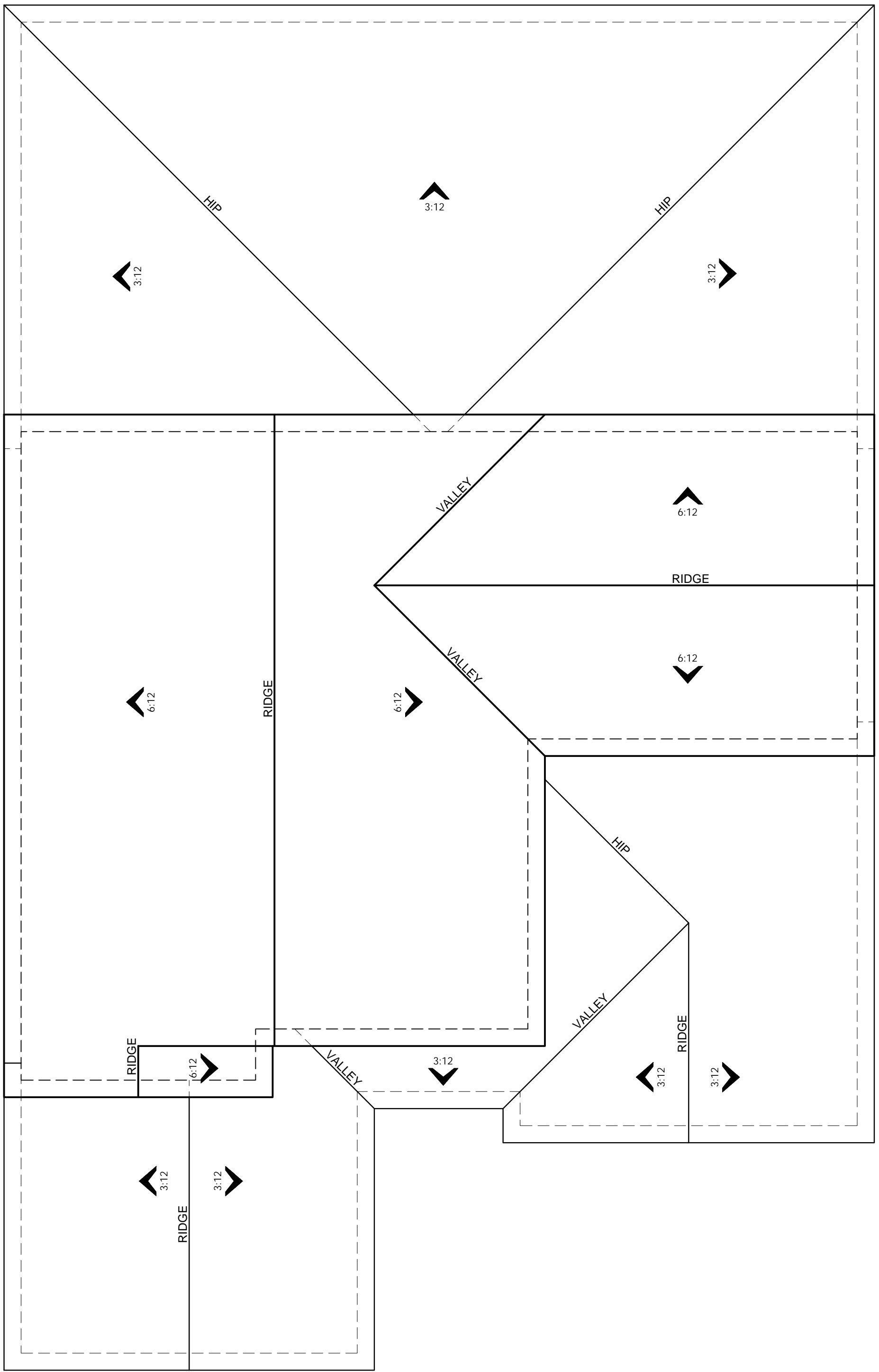
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0 4' 8' 16'

PLAN SA59 PARNELL
ENHANCED REAR ELEVATION
STYLE 'B'

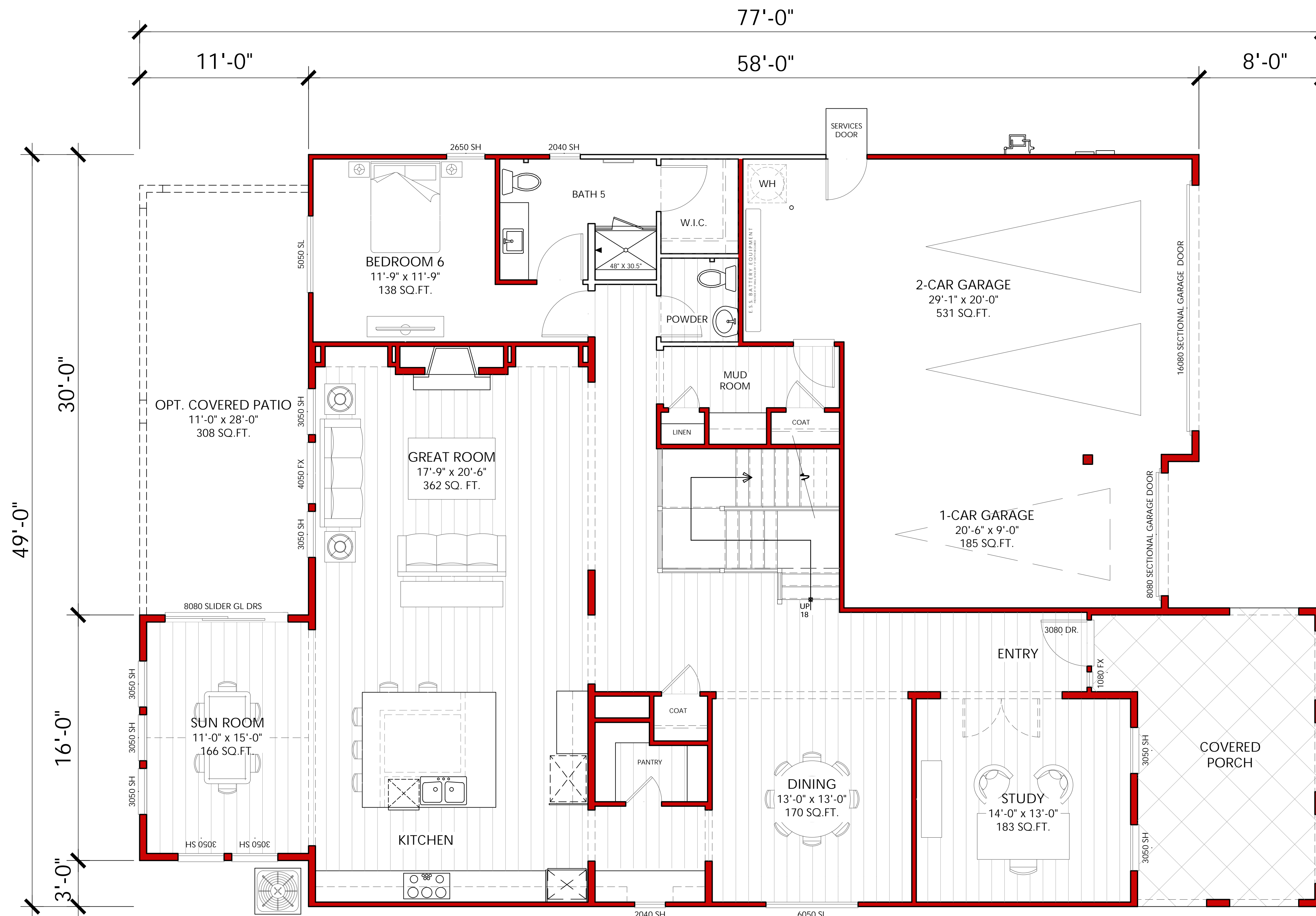




'A' - SPANISH



'B' - CALI RANCH

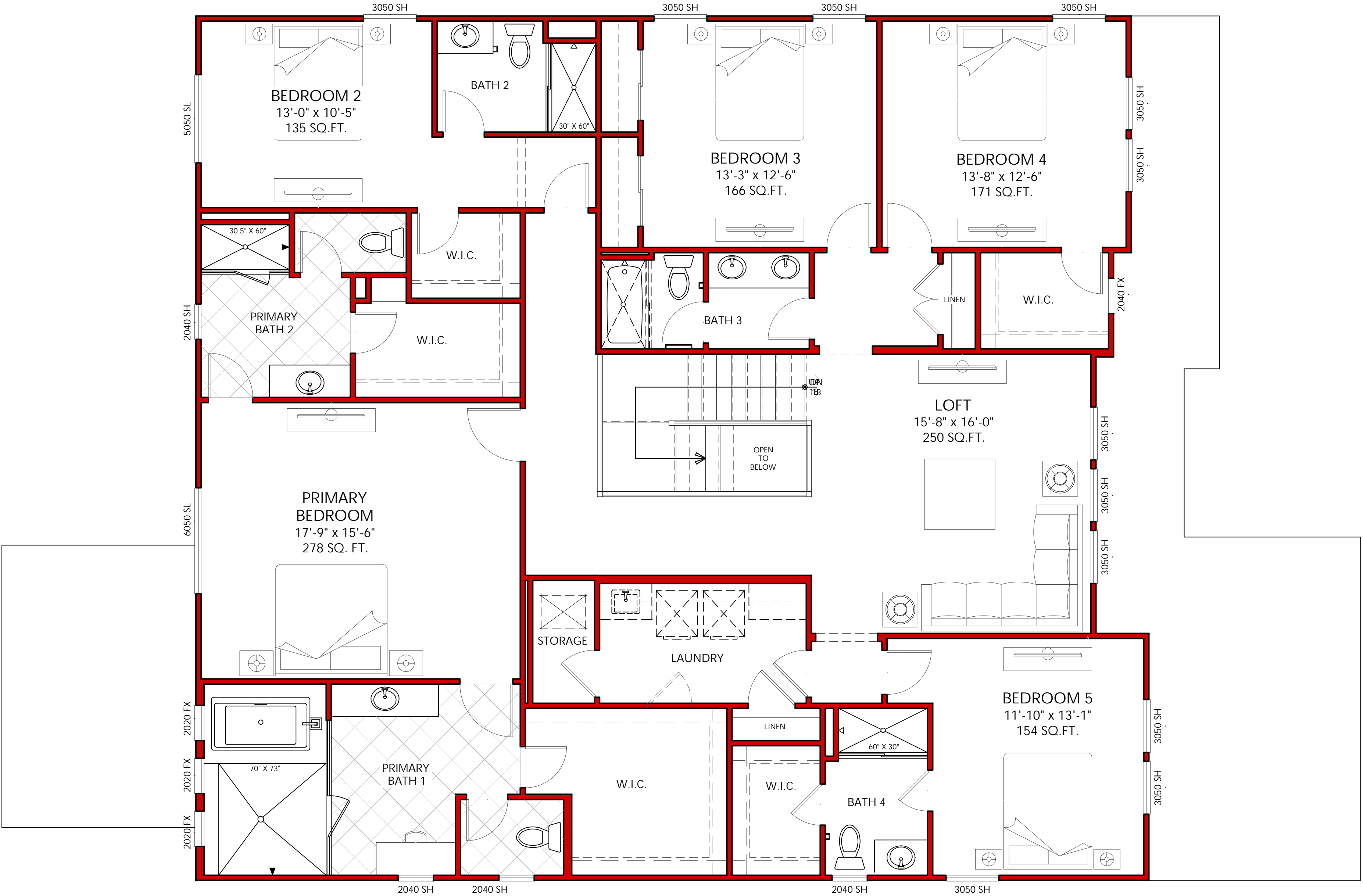


PLAN S43P PAXTON

6 BEDROOMS + STUDY + SUN ROOM + LOFT
6.5 BATHROOMS
3 CAR GARAGE

FIRST FLOOR	2,166 S.F.
SECOND FLOOR	2,484 S.F.
TOTAL	4,650 S.F.

3 CAR GARAGE	741 S.F.
COVERED PORCH	248 S.F.
OPT. COVERED PATIO	308 S.F.



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FRONT - A

SPANISH



FRONT - B

CALI RANCH

PA 10 - PA 24 - 0508
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PROJECT# 109-24181

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ATELIER

RICHMOND
AMERICAN HOMES

SCHEMATIC DESIGN
MAY 6TH, 2025

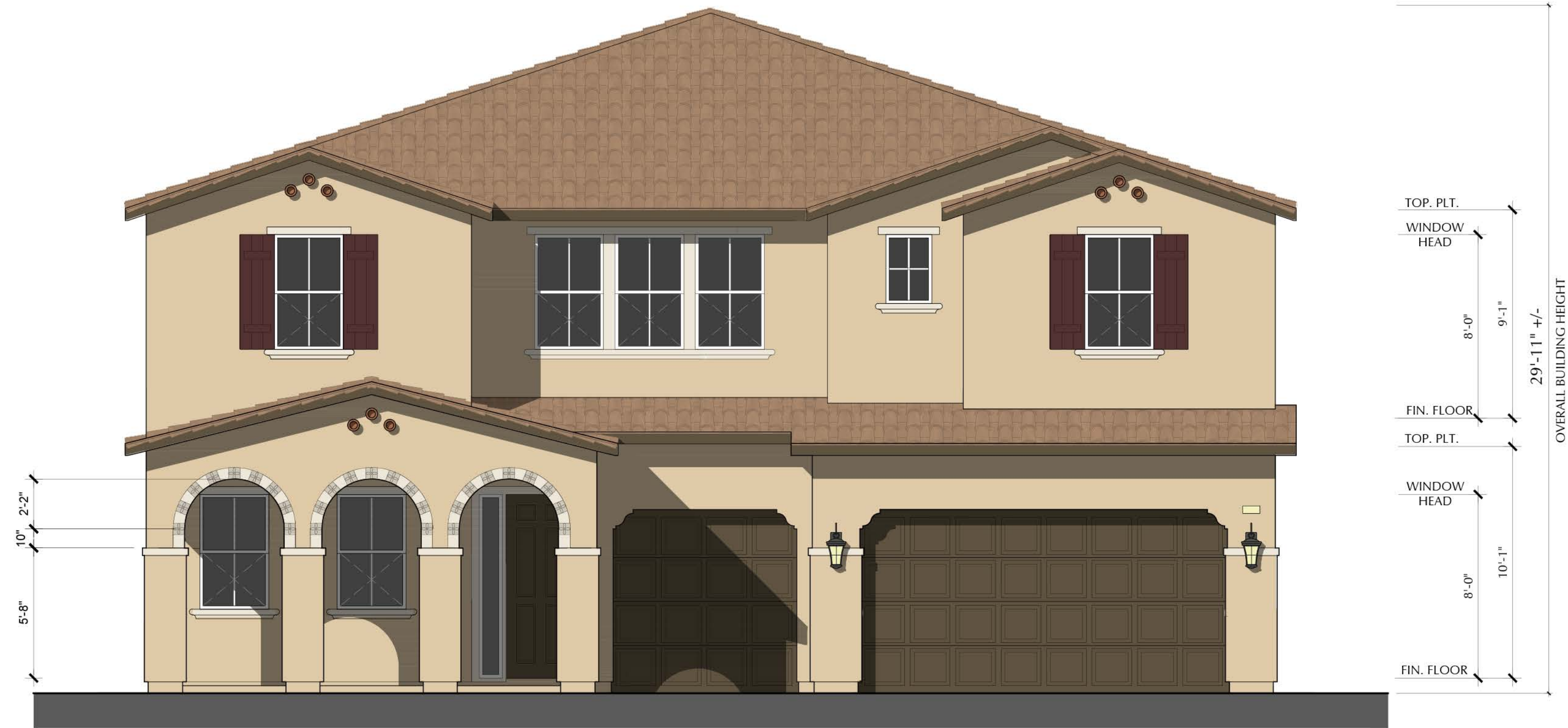
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PLAN S43P PAXTON
FRONT ELEVATION
STYLE 'A' & 'B'

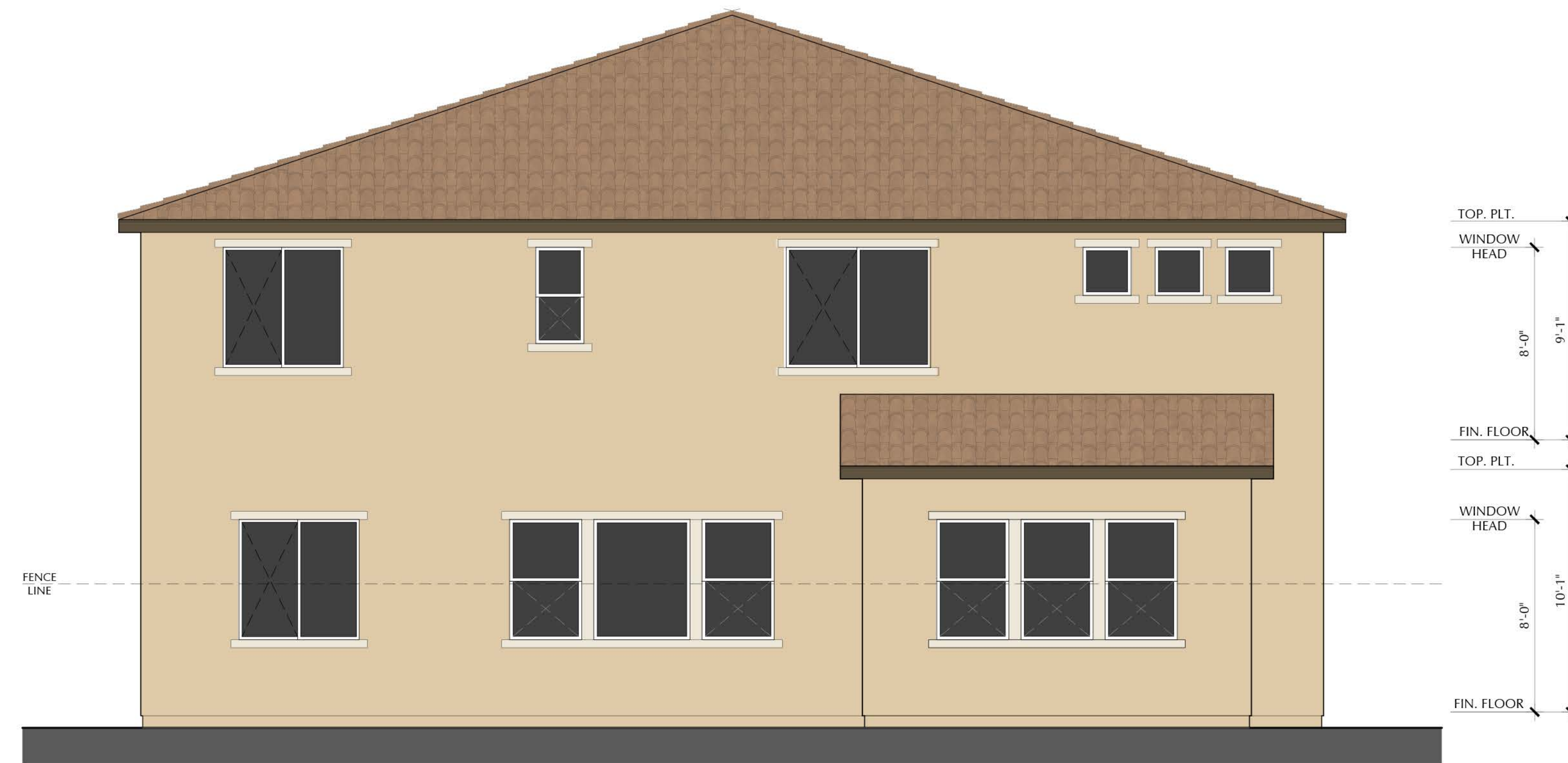
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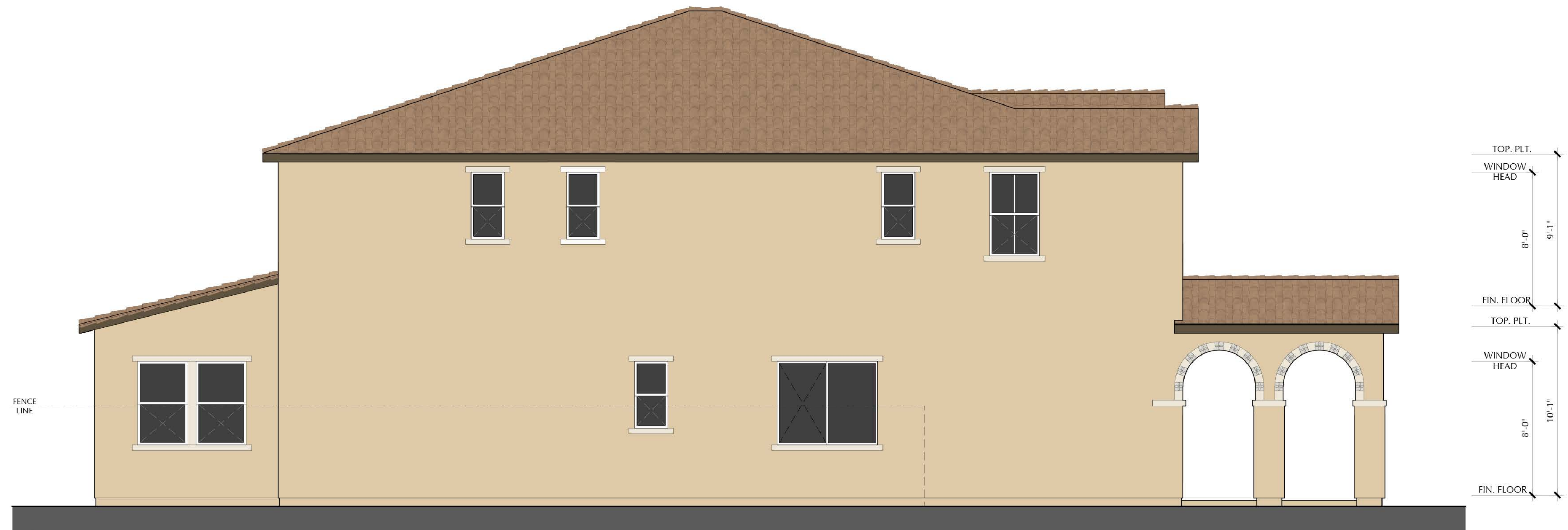
FRONT - A

SPANISH



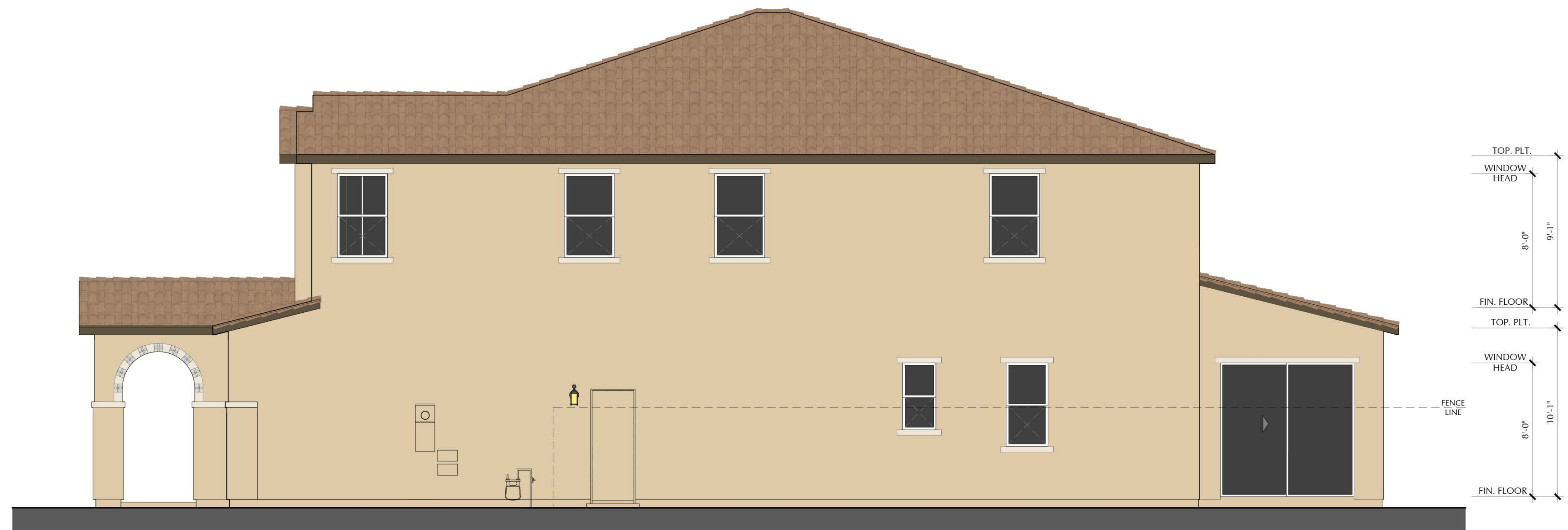
REAR - A

SPANISH



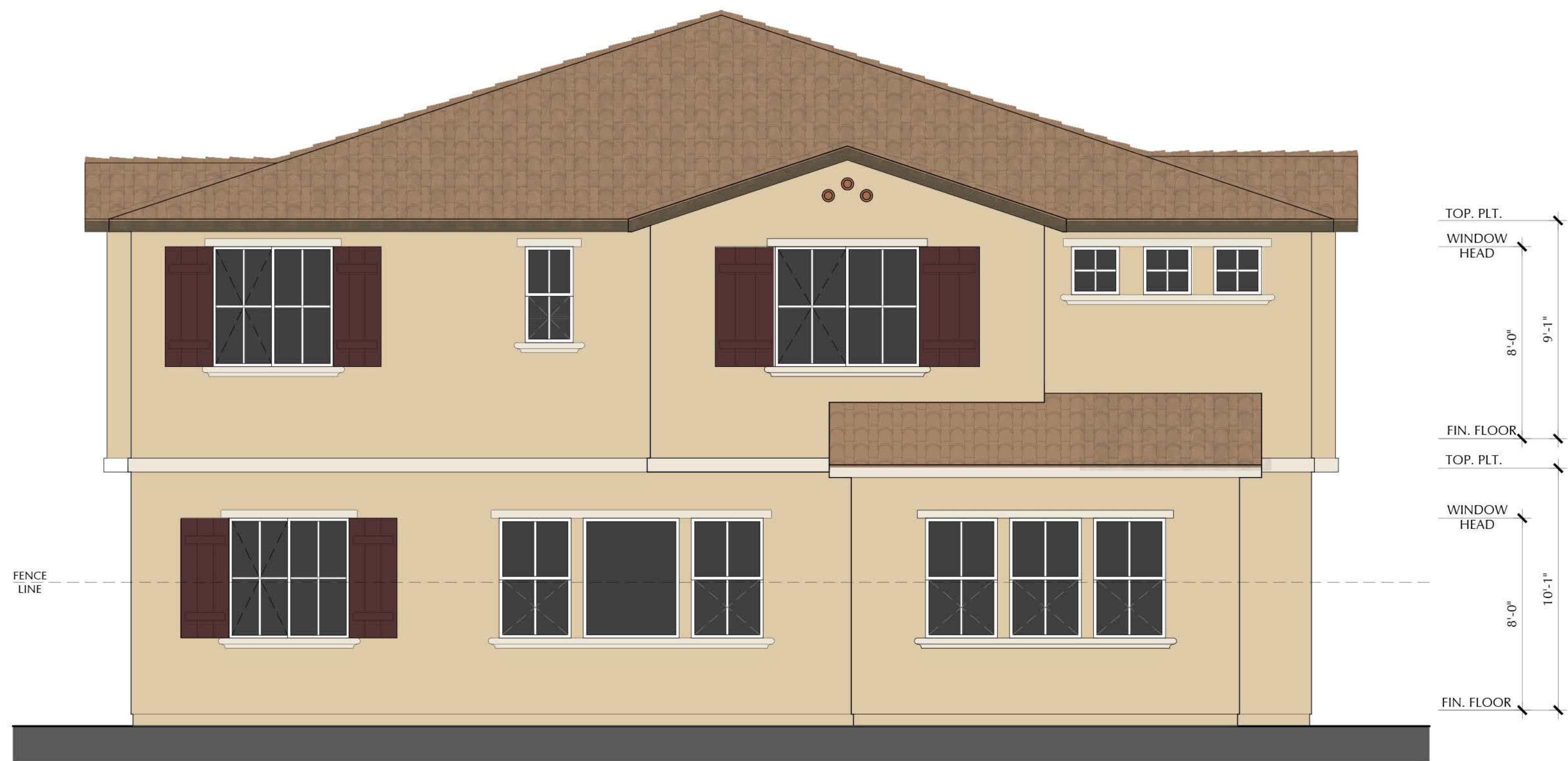
LEFT - A

SPANISH



RIGHT - A

SPANISH



REAR - A

SPANISH

PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181



ATELIER

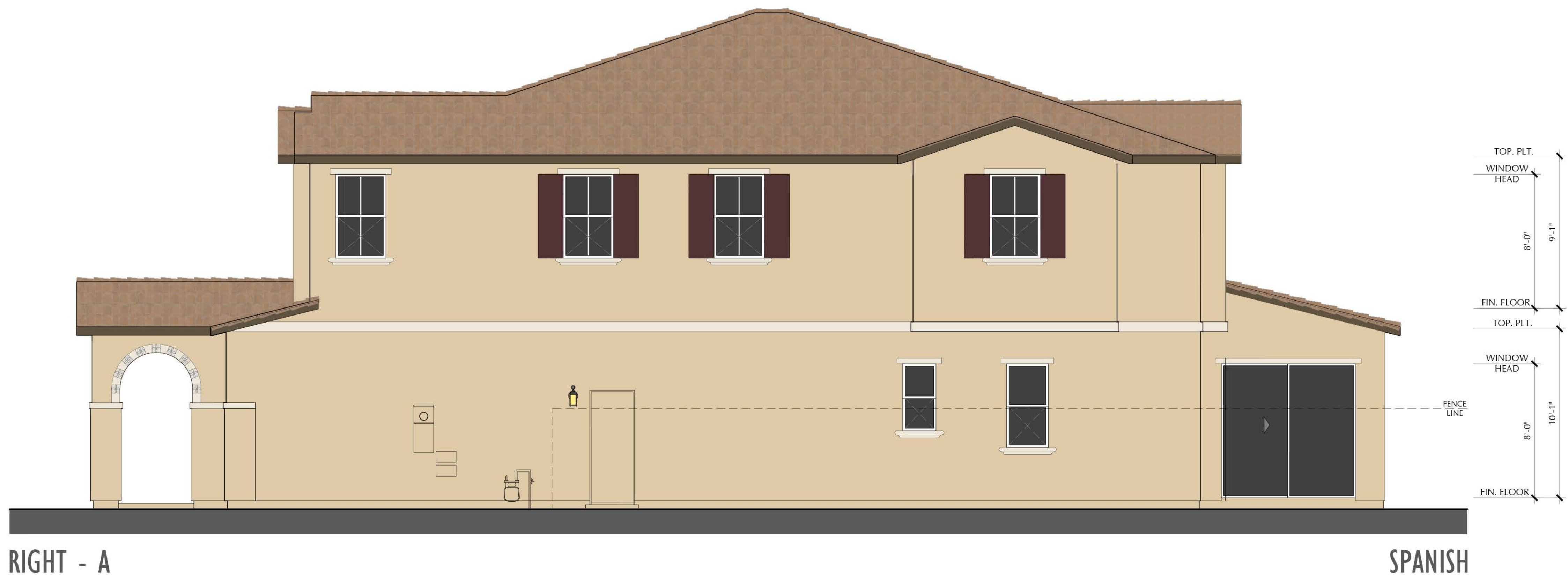
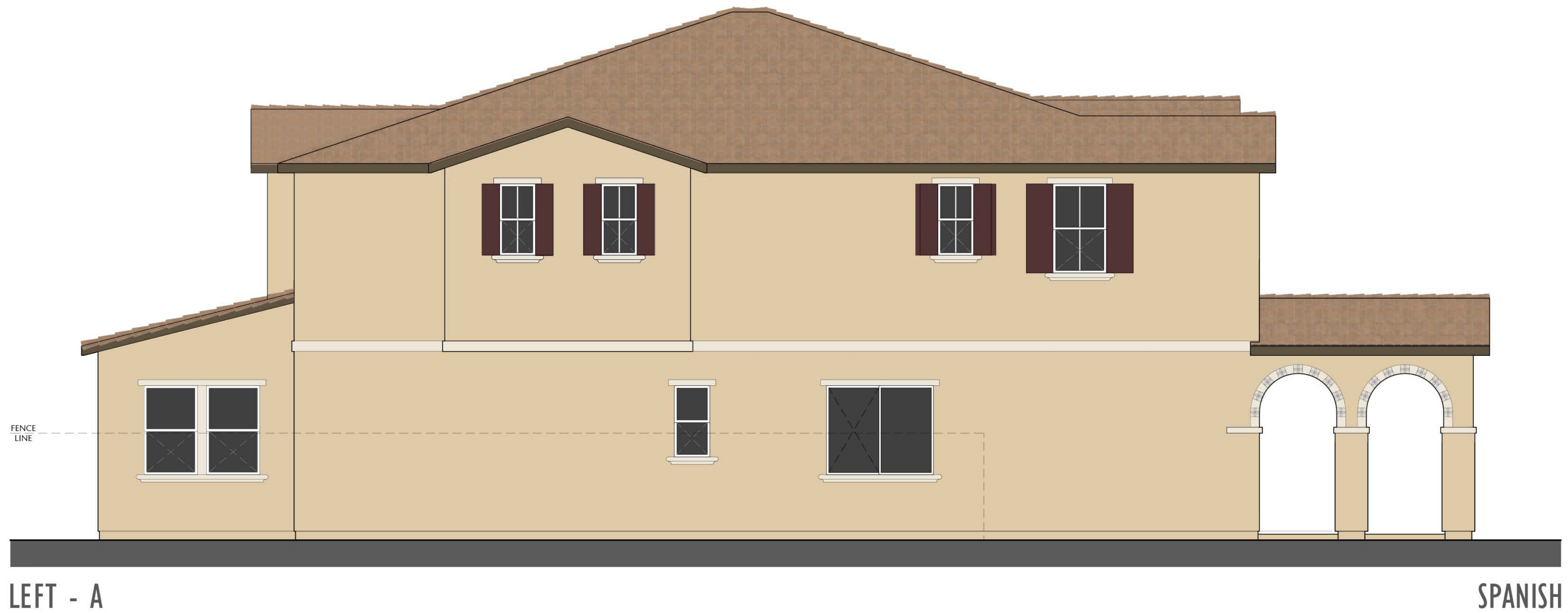


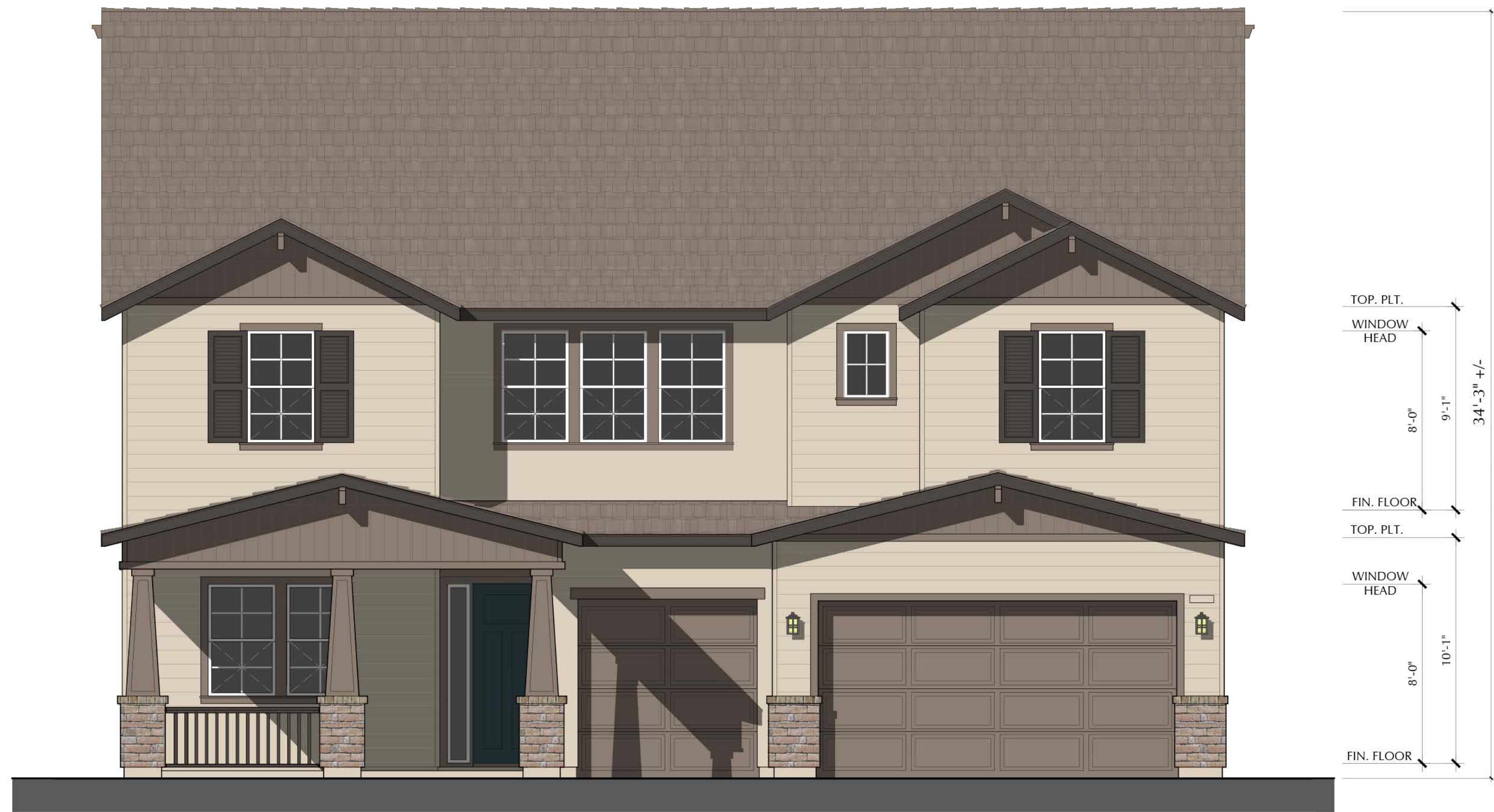
SCHEMATIC DESIGN
MAY 6TH, 2025

SCALE: 1/4"=1'-0"



PLAN S43P PAXTON
ENHANCED REAR ELEVATION
STYLE 'A'





FRONT - B

CALI RANCH



REAR - B

CALI RANCH

PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181

SDK

ATELIER

RICHMOND
AMERICAN HOMES

SCHEMATIC DESIGN
MAY 6TH, 2025

SCALE: 1/4"=1'-0"



PLAN S43P PAXTON
FRONT & REAR ELEVATION
STYLE 'B'

21

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LEFT - B

CALI RANCH



RIGHT - B

CALI RANCH

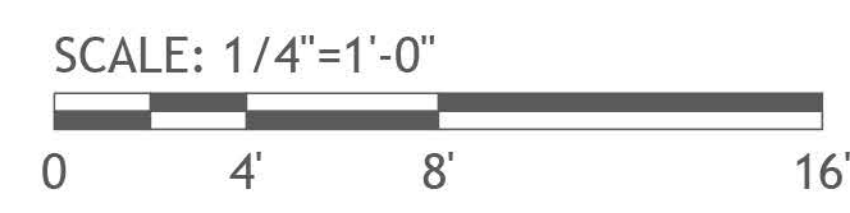
PA 10 - PA 24 - 0508
 GOLDENVIEW ESTATES AT SOMMERS BEND
 TEMECULA, CALIFORNIA
 PROJECT# 109-24181



ATELIER



SCHEMATIC DESIGN
 MAY 6TH, 2025



PLAN S43P PAXTON
 LEFT & RIGHT ELEVATION
 STYLE 'B'

PA 10 - PA 24 - 0508
GOLDENVIEW ESTATES AT SOMMERS BEND
TEMECULA, CALIFORNIA
PROJECT# 109-24181



ATELIER



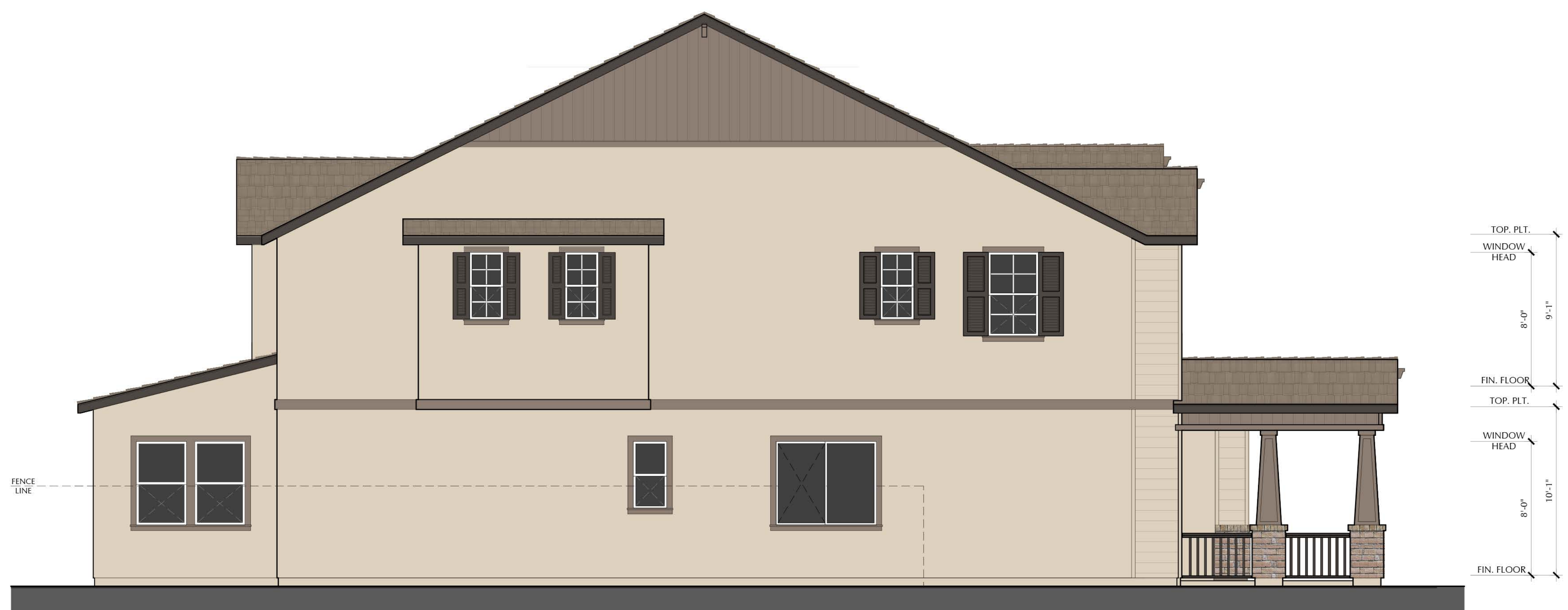
SCHEMATIC DESIGN
MAY 6TH, 2025

SCALE: 1/4"=1'-0"



PLAN S43P PAXTON
ENHANCED REAR ELEVATION
STYLE 'B'





LEFT - B

CALI RANCH



RIGHT - B

CALI RANCH

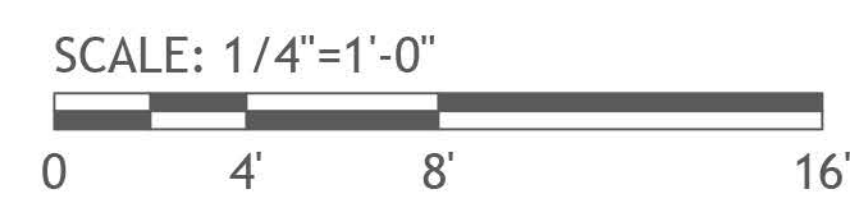
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 TEMECULA, CALIFORNIA
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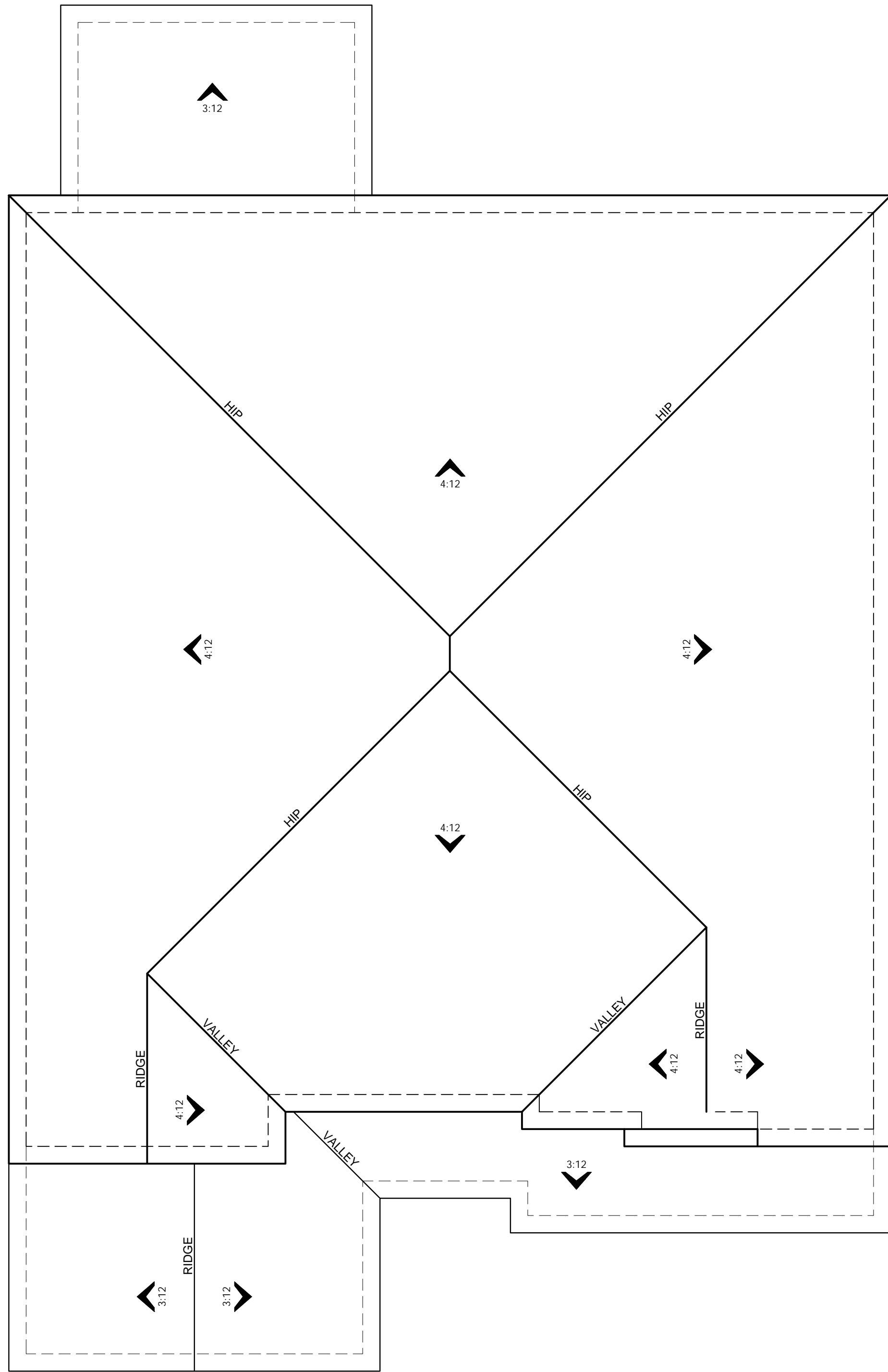
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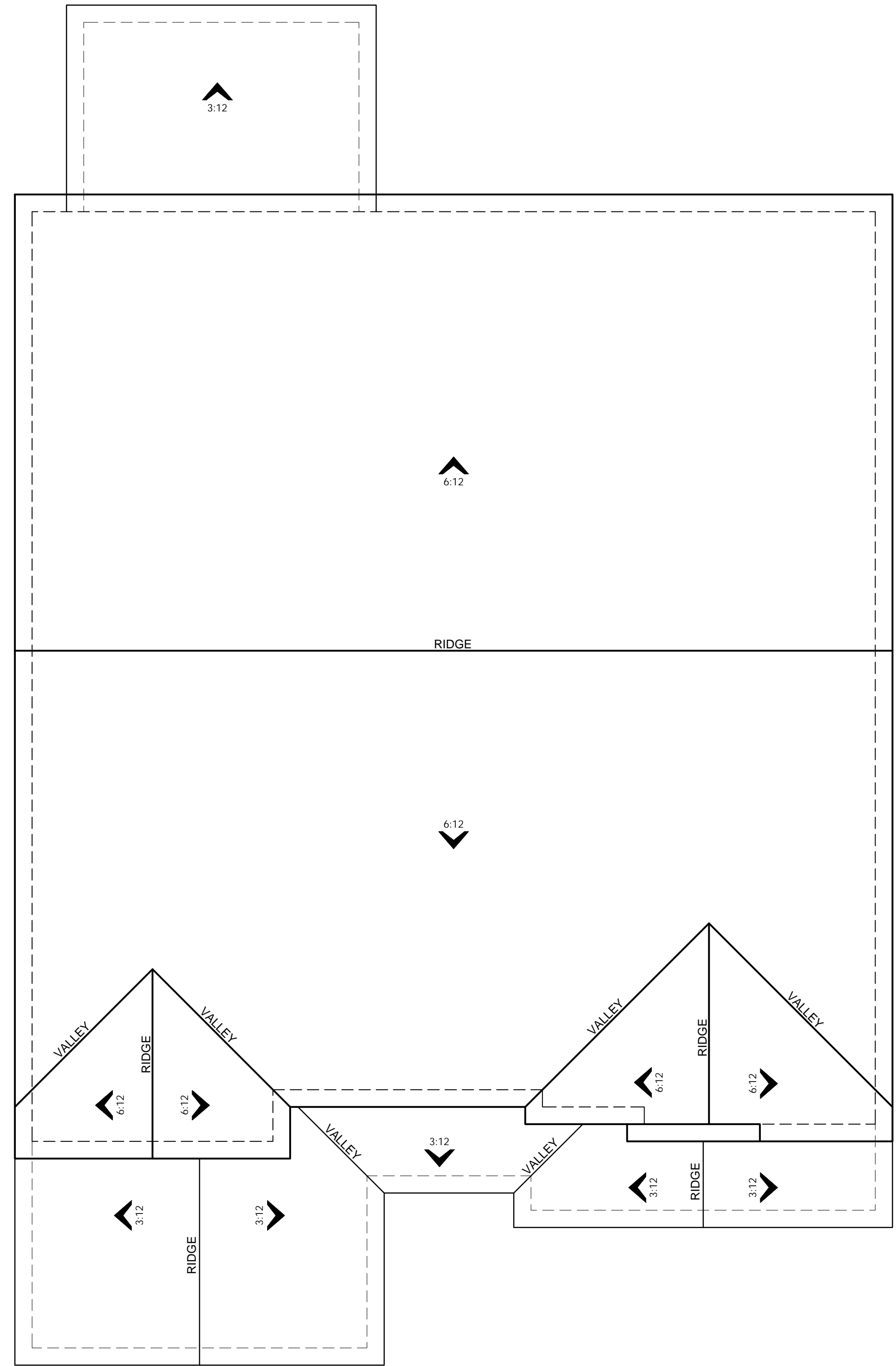
SCHEMATIC DESIGN
 MAY 6TH, 2025



PLAN S43P PAXTON
 ENHANCED LEFT & RIGHT ELEVATION
 STYLE 'B'



'A' - SPANISH



'B' - CALI RANCH

'A' ELEVATIONS
SPANISH

SCHEME #1

BODY STUCCO

SW7551 GREEK VILLA

FOAM TRIM

SW 9111 ANTLER VELVET

SHUTTERS

SW 6257 GIBRALTAR

ENTRY DOOR

SW 6257 GIBRALTAR

GARAGE DOOR

SW 2856 FAIRFAX BROWN

FASCIAS, EAVES & CORBELS

SW7675 SEAL SKIN

FAUX CLAY PIPES

SW6061 TANBARK

ROOFING

EAGLE ROOFING- CAPISTRANO
3606 VALLEJO RANGE

DECORATIVE TILES

www.ARTO.com - DECO TILES

T2-102-A

HACIENDA

ORCO MAC MORTAR: CREAM

SCHEME #2

BODY STUCCO

SW 6107 NOMADIC DESERT

FOAM TRIM

SW 7101 FUTON

SHUTTERS

SW2801 ROOKWOOD DARK RED

ENTRY DOOR

SW 7026 GRIFFIN

GARAGE DOOR

SW 7026 GRIFFIN

FASCIAS, EAVES & CORBELS

SW 7026 GRIFFIN

FAUX CLAY PIPES

SW6061 TANBARK

ROOFING

EAGLE ROOFING- CAPISTRANO
37646 DESERT CLAY BLEND

DECORATIVE TILES

www.ARTO.com - DECO TILES

T3

SANTA CLARA

BONE

ORCO MAC MORTAR: CREAM

'B' ELEVATIONS
CALI RANCH

SCHEME #3

BODY STUCCO & SIDING



FOAM TRIM



SHUTTERS



FASCIAS & EAVES



ENTRY DOOR



GARAGE DOOR



SIDING



ROOFING



BRICK VENEER



SCHEME #4

BODY STUCCO



FOAM TRIM



SIDING (HORIZ.)



FASCIAS & EAVES



ENTRY DOOR & SHUTTERS



GARAGE DOOR



SIDING (VERT.)



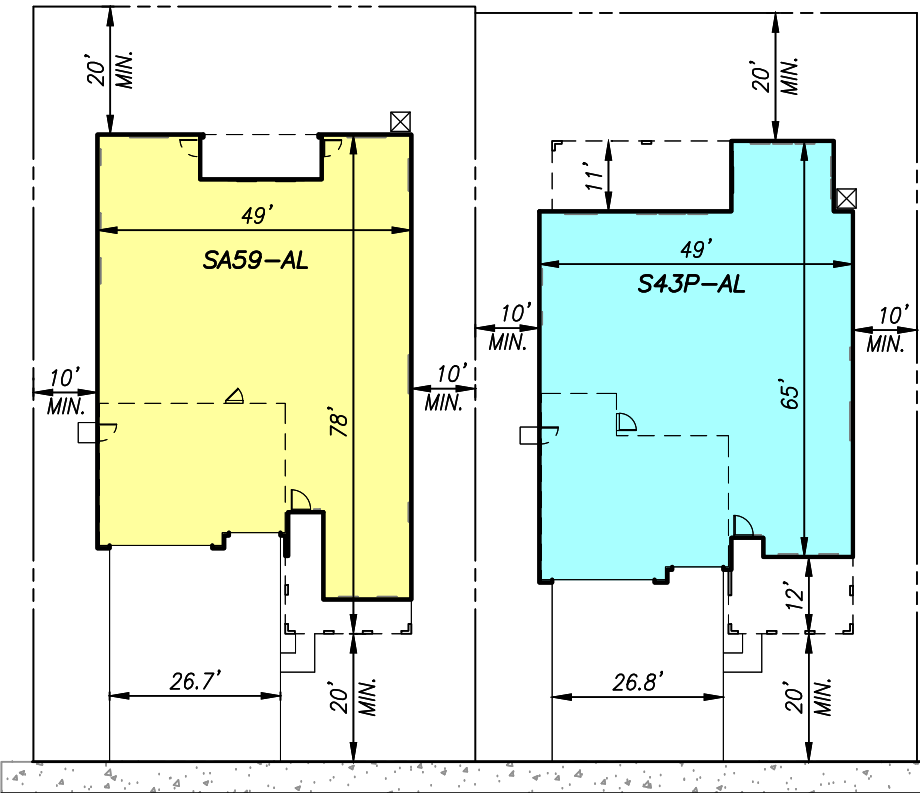
ROOFING



BRICK VENEER



CITY OF TEMECULA
PRODUCT PLACEMENT PLAN
VILLAGE CORE PA 10 - PA24-0508
TRACT NO. 37925

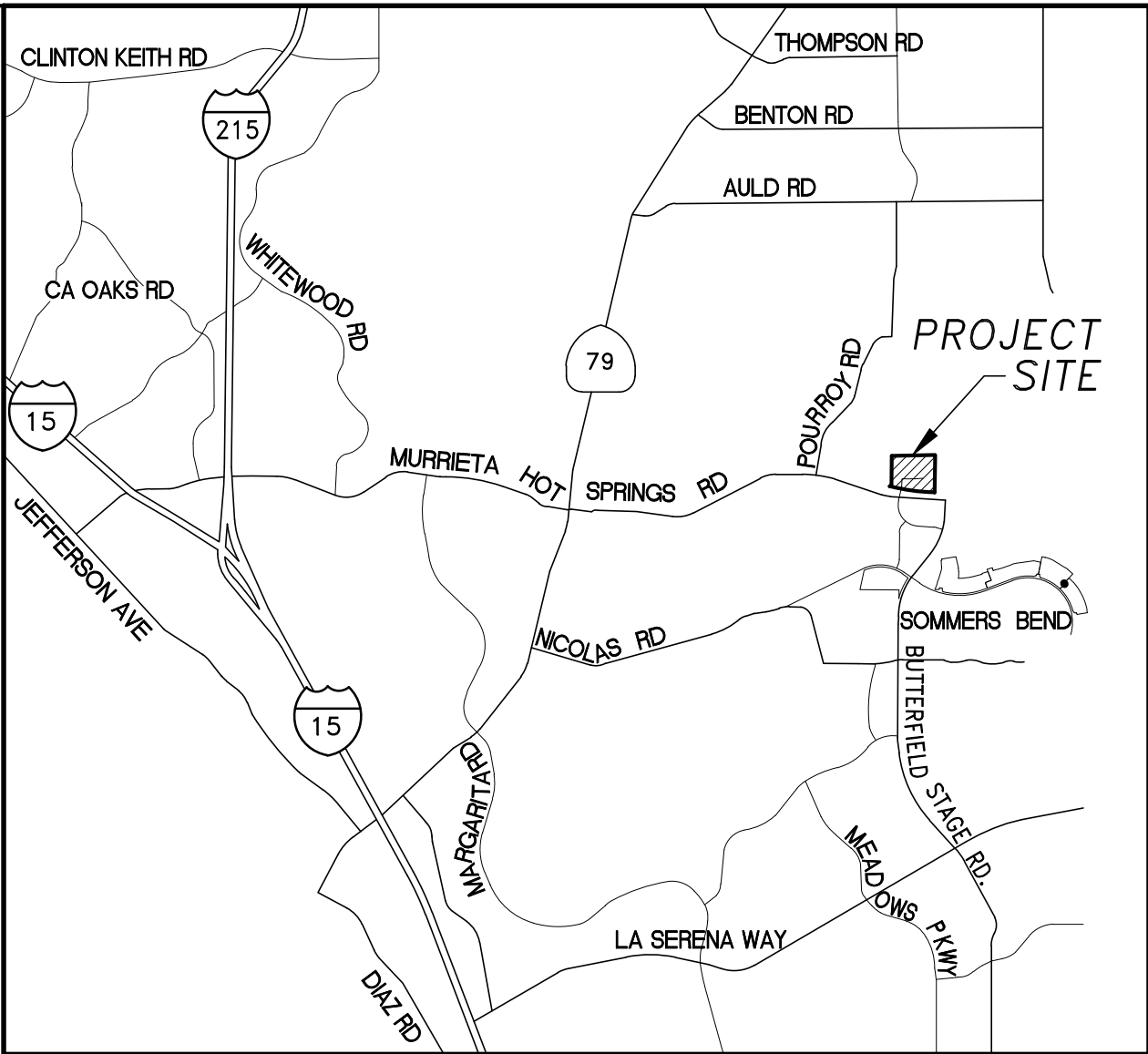


PARNELL
TWO STORY
3,728 S.F.

PAXTON
TWO STORY
4,643 S.F.

SETBACK CRITERIA

- FRONT YARD: 20' MIN. TO BUILDING
18' TO GARAGE
10' TO BUILDING (SIDE ON GARAGE)
- SIDEYARD: 10' MIN.
- REAR YARD: 20' MIN.
- SIDE CORNER: 15' MIN.
- PATIO: 5' MIN.
- LOT COVERAGE: 50% MAX.



TOWNSHIP 7 SOUTH RANGE 2 WEST SECTION 20

VICINITY MAP

N.T.S.

LEGEND OF ABBREVIATIONS & SYMBOLS

- T.C. TOP OF CURB
F.L. FINISH GRADE
F.G. FINISH GRADE
R.G. ROUGH GRADE
F.S. FINISH SURFACE
INV. INVERT OF DRAIN
P. PAD ELEVATION
F.F. FINISH FLOOR ELEV.
G.F.F. GARAGE FINISH FLOOR
DWY. DRIVEWAY
N.T.S. NOT TO SCALE
* INDICATES SIDE OF THE BUILDING WITH ENHANCED ELEVATION
MB MAILBOX LOCATION
- STREET CENTERLINE
STREET RIGHT OF WAY
PROPERTY LINE
TRACT BOUNDARY
- TOP OF SLOPE
TOE OF SLOPE
RETAINING WALL
FIRE HYDRANT
STREET LIGHT
WATER METER
MODEL
PARKING

LEGAL DESCRIPTION:

LOT 1-13 OF TRACT MAP NO. 37925, IN THE CITY OF TEMECULA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 492, PAGES 19 THROUGH 23 INCLUSIVE OF MAPS, RECORDS OF SAID COUNTY.

APN 964-930-01 TO 013

OWNERS/APPLICANT

RICHMOND AMERICAN HOMES
391 N. MAIN STREET, SUITE 205
CORONA, CA 92880
(951) 386-4113
CONTACT: EDGAR GOMEZ
EDGAR.GOMEZ@MDCH.COM

CIVIL ENGINEER

HUNSAKER & ASSOCIATES IRVINE, INC.
3 HUGHES
IRVINE, CA 92618
(949) 583-1010
CONTACT: BEN ETEMADI
BETEMADI@HUNSAKER.COM

LANDSCAPE ARCHITECT:

LANDCREATIVE, INC.
3195-B AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
(714) 352-7573
CONTACT: DAVID SALKOWITZ
DSALKOWITZ@LANDCREATIVEINC.COM

SOILS ENGINEER:

LEIGHTON AND ASSOCIATES, INC.
41715 ENTERPRISE CIRCLE NORTH, SUITE 103
TEMECULA, CA 92590
(951) 296-0530
CONTACT: SIMON SAID
SSAID@VERDANTAS.COM

ARCHITECT:

SDK ATELIER, INC.
9100 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 585-9167
CONTACT: SAM PAYANDEH
SPAYANDEH@SDKATELIER.COM

PRODUCT MIX SUMMARY - VILLAGE CORE TRACT 37925, PA 10				
PRODUCT	A	B	TOTAL	PERCENT
SA59 (PARNELL)	3	3	6	46%
S43P (PAXTON)	3	4	7	54%
TOTAL	6	7	13	100%
PERCENT	46%	54%	100%	

ARCHITECTURAL ELEVATIONS

- A: SPANISH
B: ITALIAN
C: AMERICAN FARMHOUSE
D: CRAFTSMAN

MAP DATE IDENTIFIER	
DATE OF LATEST CHANGE TO THIS MAP	05/23/25 BY: SP
DATE OF THIS PLOT	05/23/25

OWNER/DEVELOPER:

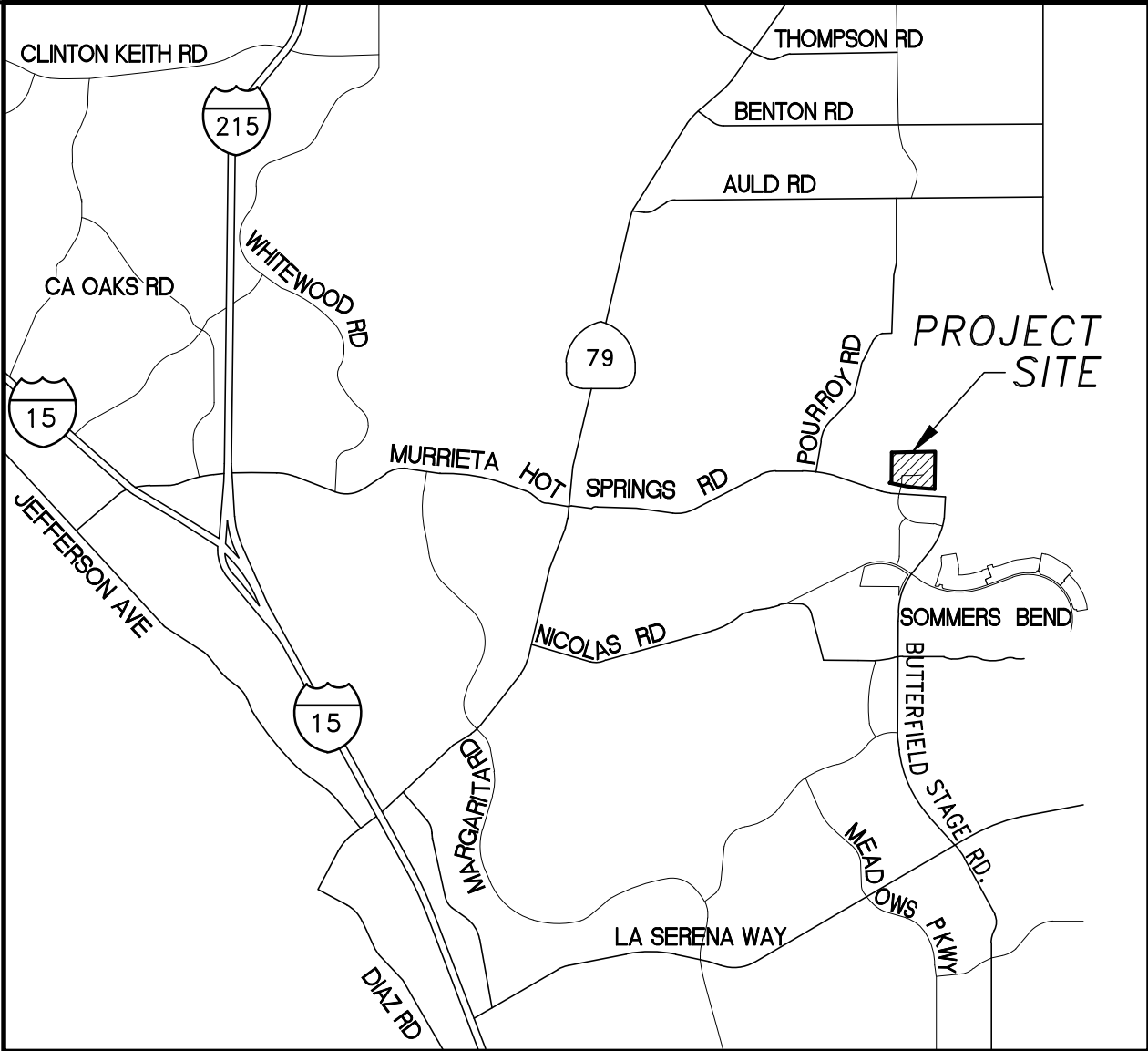
RICHMOND
AMERICAN HOMES
391 N. MAIN STREET,
Suite 205
CORONA, CA 92880
(951) 386-4113

PREPARED BY:

HUNSAKER & ASSOCIATES
IRVINE, INC.
PLANNING ■ ENGINEERING ■ SURVEYING
Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

SHEET 1 OF 1

CITY OF TEMECULA
PHASING PLAN
VILLAGE CORE PA 10 - PA24-0508
TRACT NO. 37925



TOWNSHIP 7 SOUTH RANGE 2 WEST SECTION 20
VICINITY MAP
N. T. S.

LEGEND & SYMBOLS

- PHASE BOUNDARY
- 12 LOT NUMBER
- S875A BUILDING PLAN NUMBER AND ELEVATION DESIGNATION
- M INDICATES MODEL
- P INDICATES MODEL PARKING
- 2/5 PHASE NUMBER
- 2/5 TOTAL LOTS PER PHASE

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COSTA MESA, CA 92626
(714) 352-7573
CONTACT: DAVID SALKOWITZ
DSALKOWITZ@LANDCREATIVEINC.COM

SOILS ENGINEER:

LEIGHTON AND ASSOCIATES, INC.
41715 ENTERPRISE CIRCLE NORTH, SUITE 103
TEMECULA, CA 92590
(951) 296-0530
CONTACT: SIMON SAID
SSAID@VERDANTAS.COM

ARCHITECT:

SDK ATELIER, INC.
9100 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 585-9167
CONTACT: SAM PAYANDEH
SPAYANDEH@SDKATELIER.COM

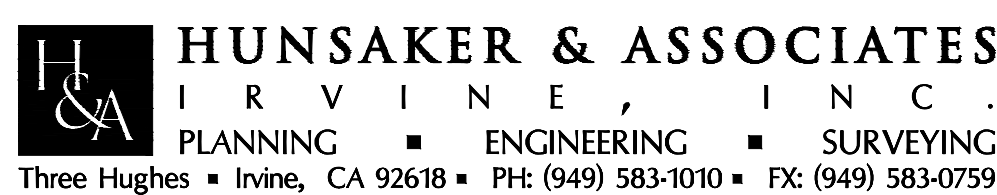
TRACT 37925, PLANNING AREA 10				
PHASE	SA59 (PARNELL)	S43P (PAXTON)	TOTAL	LOTS
1	3	2	5	6-10
2	2	3	5	1-5
MODEL	1	2	3	11-13
TOTAL	6	7	13	

MAP DATE IDENTIFIER	
DATE OF LATEST CHANGE TO THIS MAP	BY: SP
02/03/25	DATE OF THIS PLOT
02/03/25	

OWNER/DEVELOPER:



PREPARED BY:



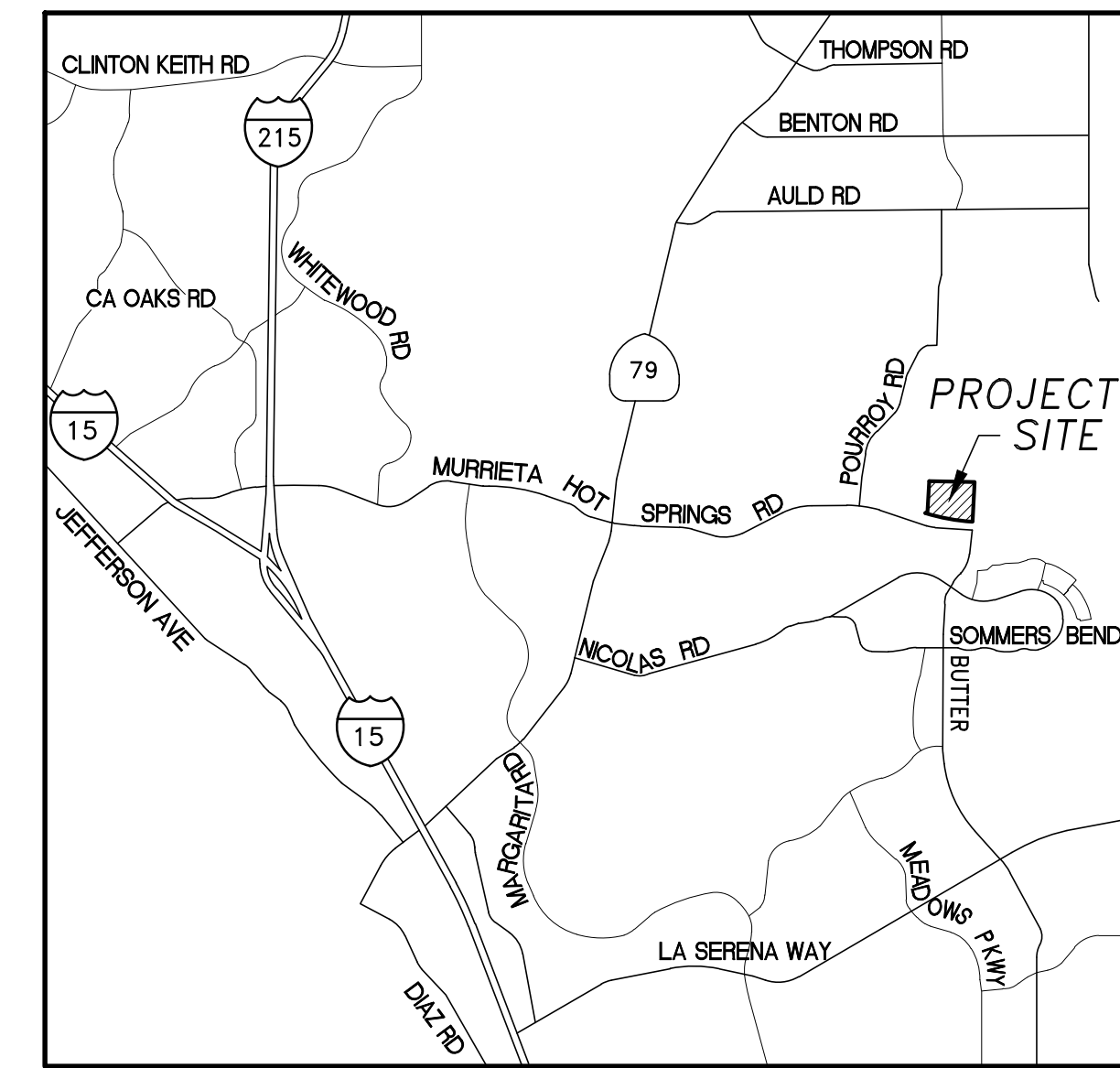
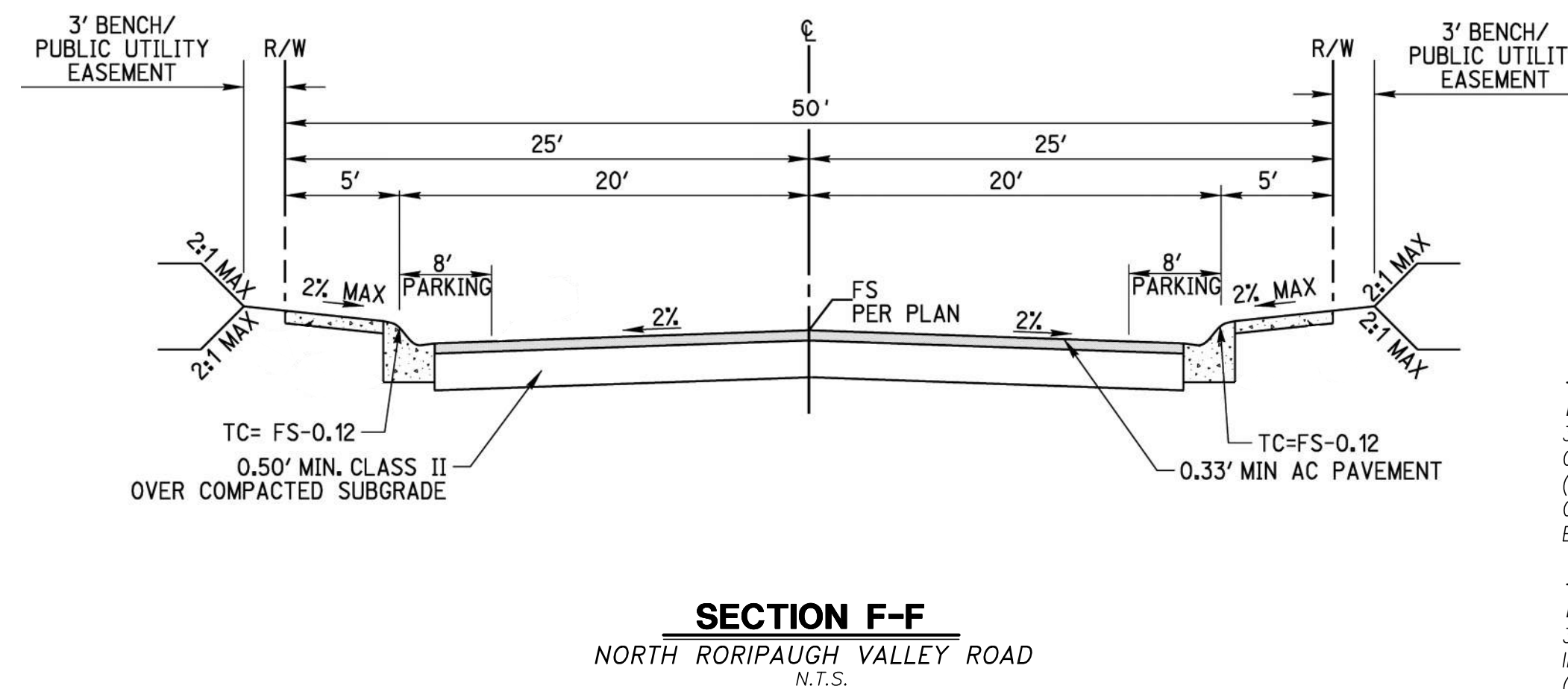
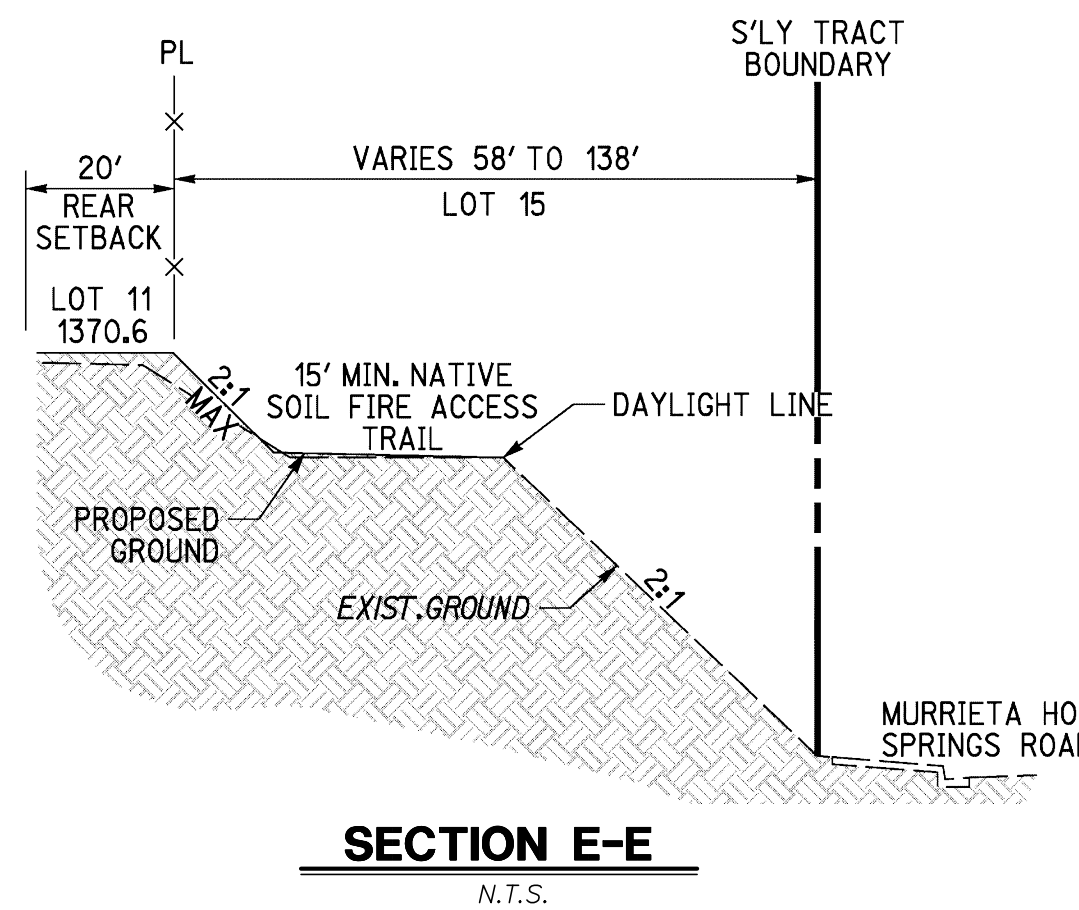
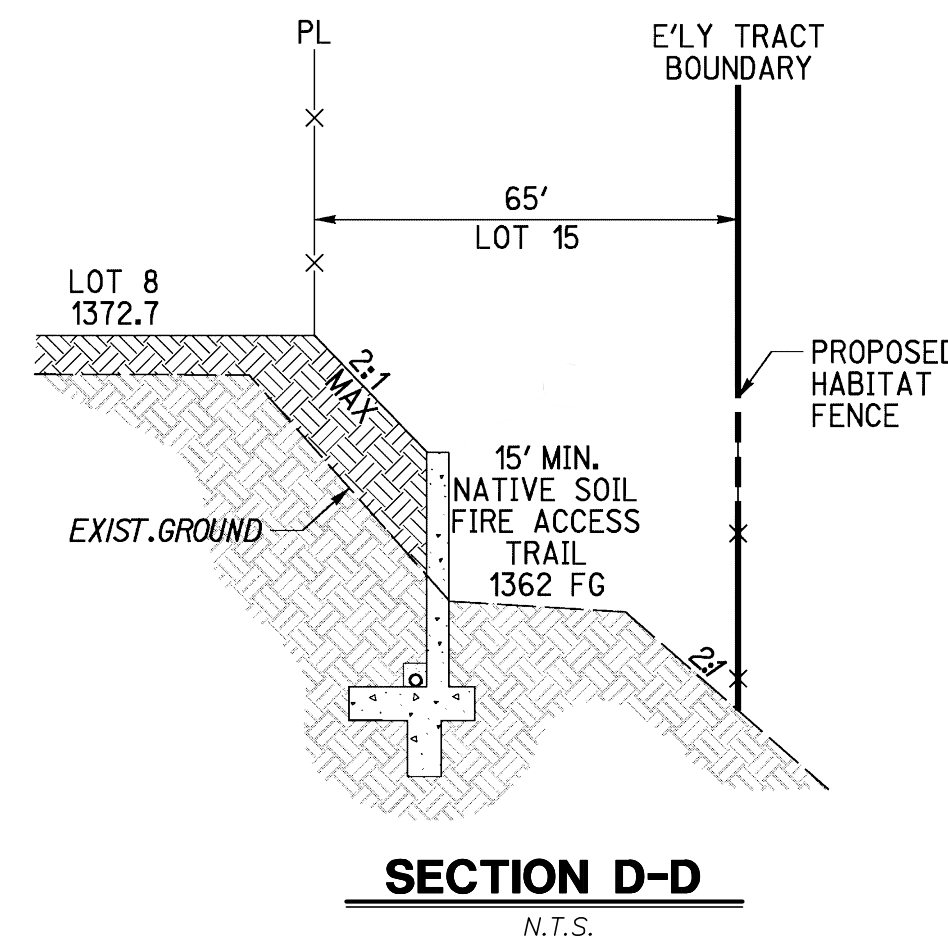
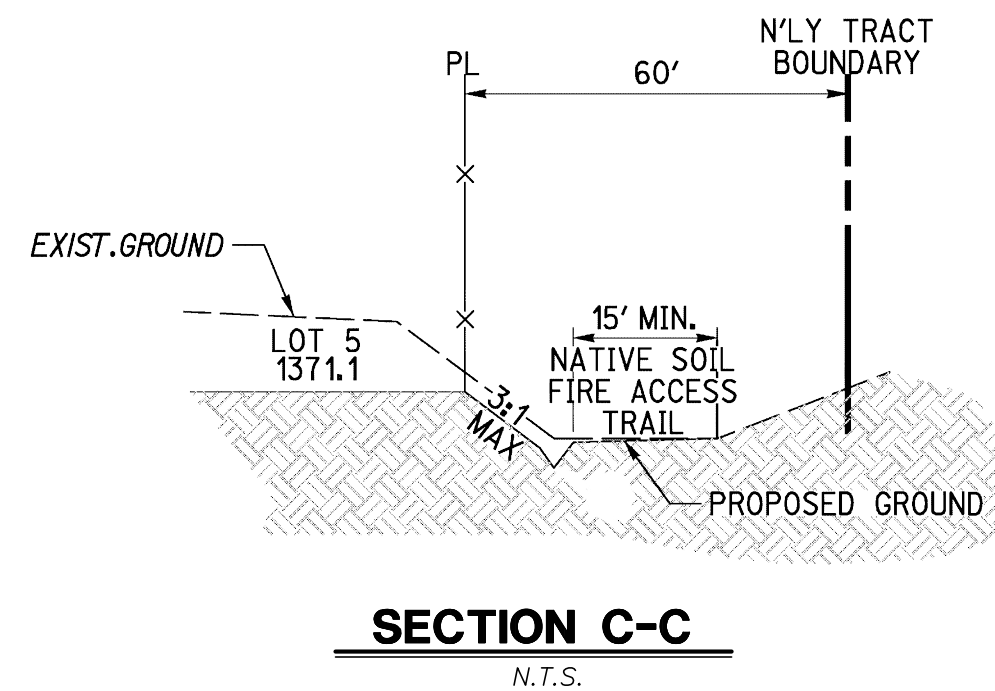
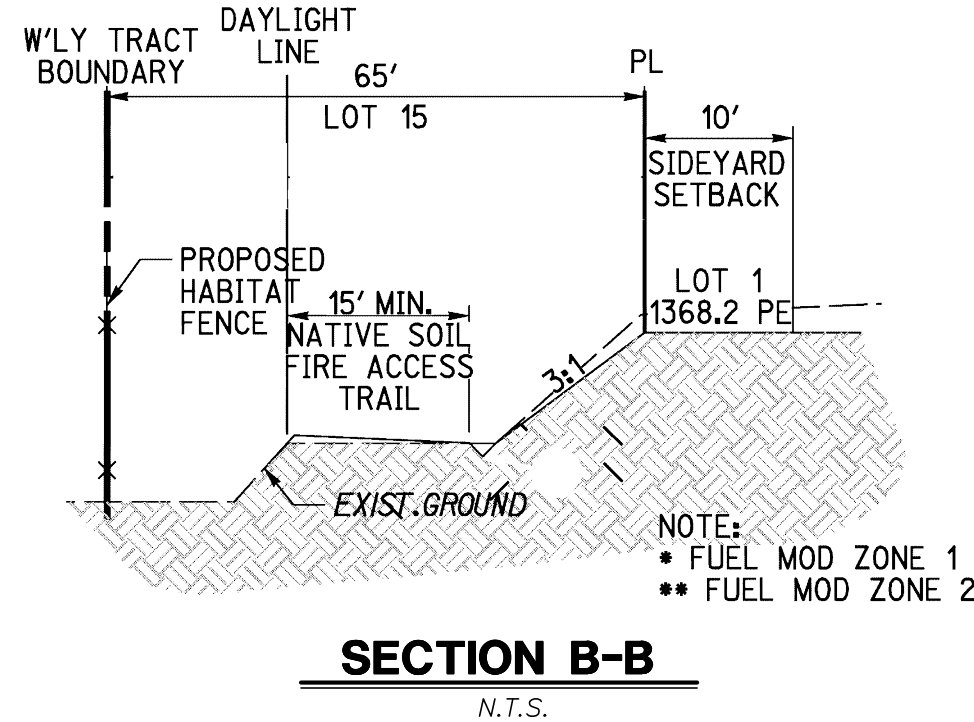
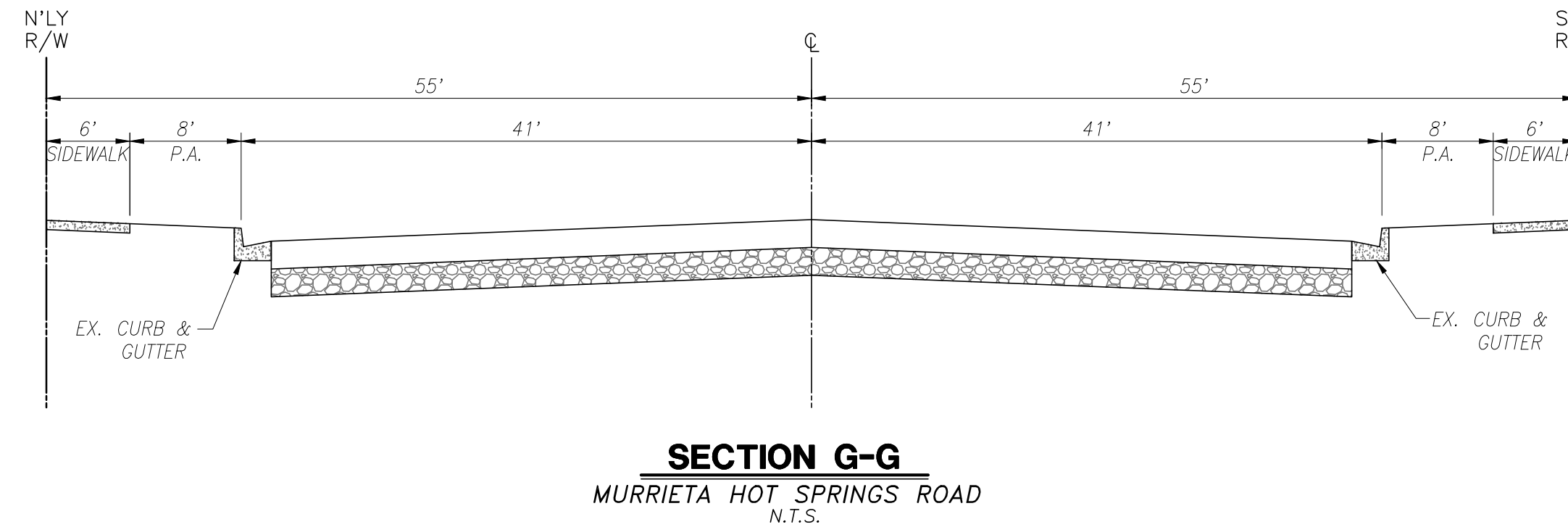
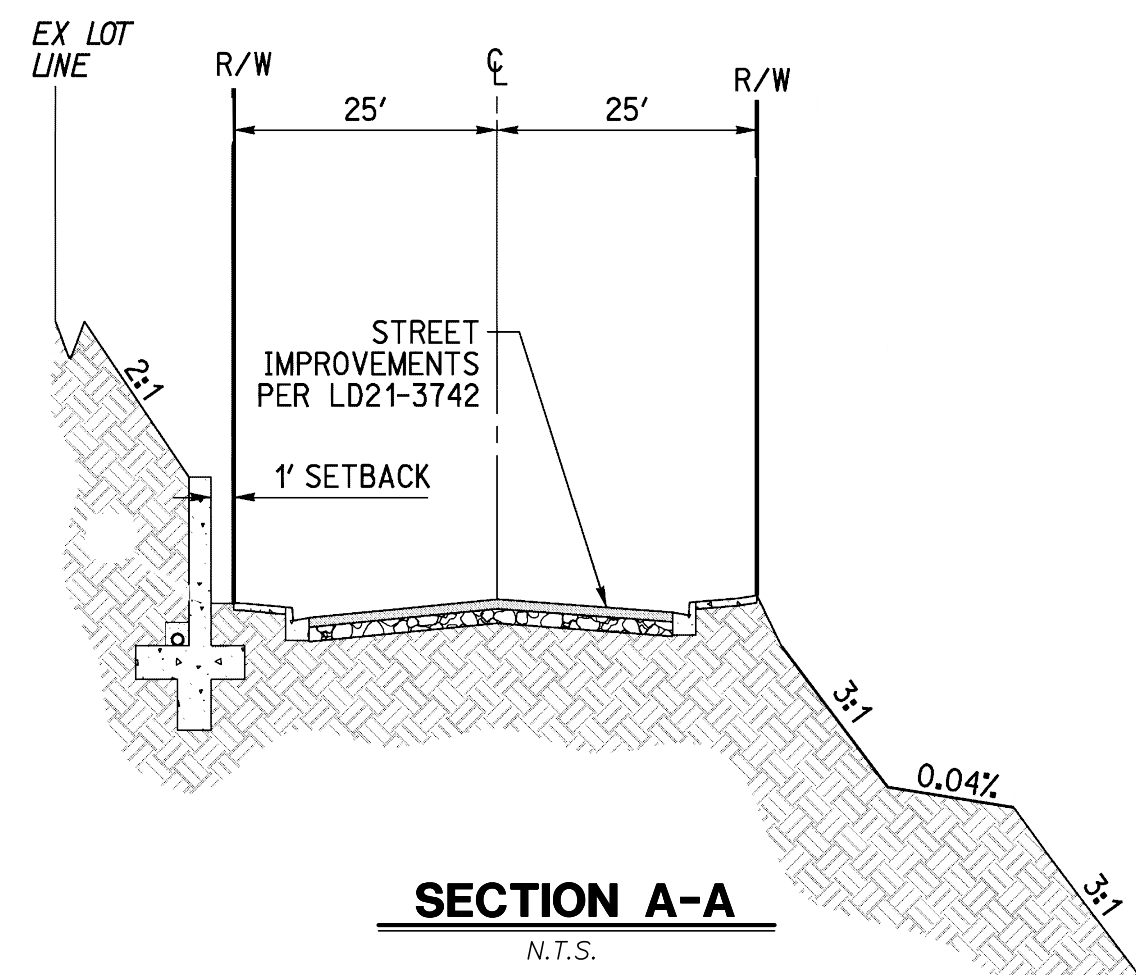
SHEET 1 OF 1

CITY OF TEMECULA

CONCEPTUAL GRADING PLAN

VILLAGE CORE PA 10 - PA24-0508

TRACT NO. 37925



VICINITY MAP
N.T.S.

LEGEND OF ABBREVIATIONS & SYMBOLS

T.C.	TOP OF CURB	---	STREET CENTERLINE
F.L.	FLOWLINE ELEV.	---	STREET RIGHT OF WAY
F.G.	FINISH GRADE	---	PROPERTY LINE
R.G.	ROUGH GRADE	---	TRACT BOUNDARY
F.S.	FINISH SURFACE	---	TOP OF SLOPE
INV.	INVERT OF DRAIN	---	TOE OF SLOPE
P.	PAD ELEVATION	---	RETAINING WALL
F.F.	FINISH FLOOR ELEV.	---	FIRE HYDRANT
G.F.F.	GARAGE FINISH FLOOR	---	STREET LIGHT
D.W.Y.	DRIVEWAY	---	WATER METER
N.T.S.	NOT TO SCALE		

LEGAL DESCRIPTION:

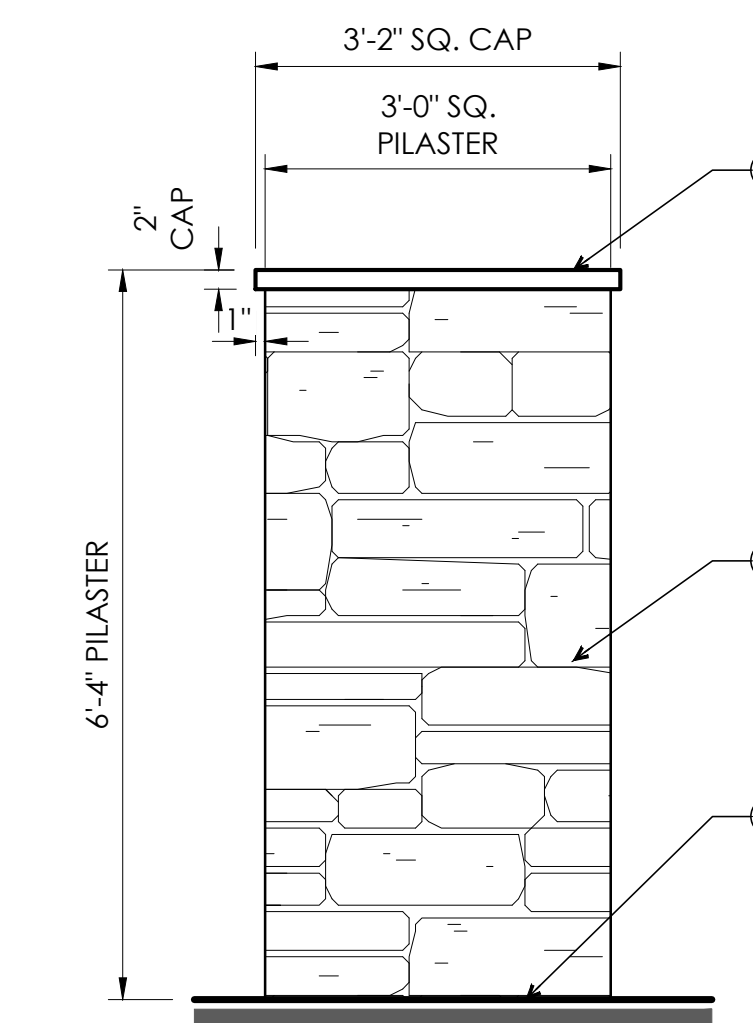
LOT 1-13 OF TRACT MAP NO. 37925, IN THE CITY OF TEMECULA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 492, PAGES 19 THROUGH 23 INCLUSIVE OF MAPS, RECORDS OF SAID COUNTY.

DATA TABLE:

- ASSESSOR'S PARCEL NUMBER - 964-460-007, 964-930-001 TO 013
- PROJECT NAME: VILLAGE CORE, PA 10
- LAND DESCRIPTION: THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF TEMECULA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AND DESCRIBED AS FOLLOWS:
BEING A SUBDIVISION OF LOT 1 OF TRACT MAP NO. 29353-2 AS SHOWN BY MAP ON FILE IN BOOK 342, PAGES 73-85, INCLUSIVE OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
- APPROXIMATE EARTWORK QUANTITIES: CUT - 16,300 CYS FILL - 16,300 CYS
- TOPOGRAPHIC SOURCE: RICK ENGINEERING COMPANY
- PERVIOUS AREA - 71%
IMPERVIOUS AREA - 29%

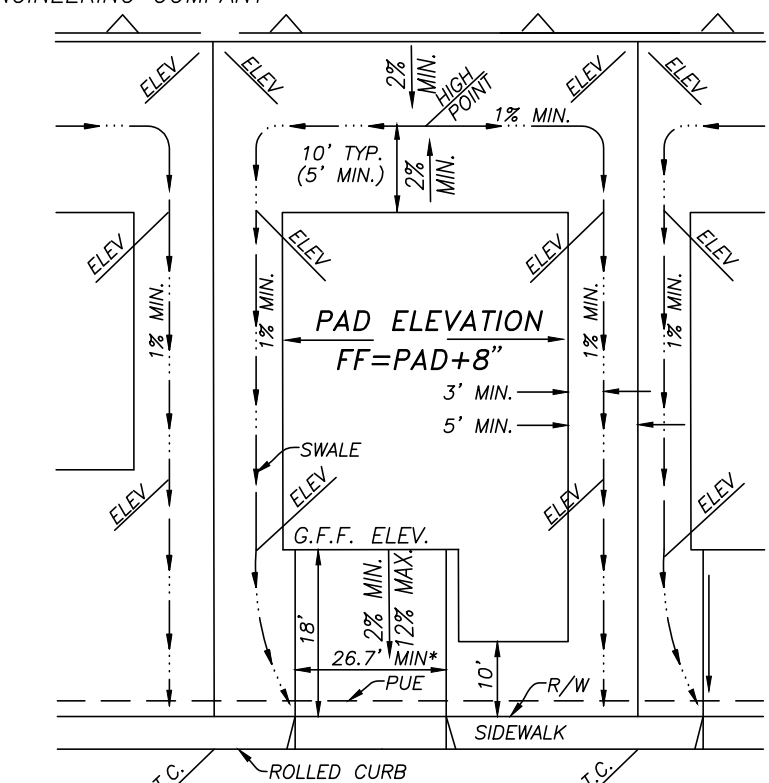
TOPOGRAPHY INFORMATION:

CURRENT CONDITION REFLECTS APPROVED ROUGH/MASS GRADING PLAN BY RICK ENGINEERING COMPANY PLAN LD18-0784 APPROVED SEPTEMBER 5, 2018.
DATE: 10/12/2016
SOURCE: AERIAL RICK ENGINEERING COMPANY



Community Theme Entry Monument - Elevation View
N.T.S.

- 2" THICK STONE CAP TO MATCH SOMMERS BEND COMMUNITY STONE STANDARDS.
- STONE ACCENT VENEER TO MATCH SOMMERS BEND COMMUNITY STONE STANDARDS.
- FINISH GRADE



TYPICAL LOT GRADING AND DRAINAGE DETAIL
N.T.S.

OWNERS/APPLICANT

RICHMOND AMERICAN HOMES
391 N. MAIN STREET, SUITE 205
CORONA, CA 92880
(951) 386-4113
CONTACT: EDGAR GOMEZ
EDGAR.GOMEZ@MDCH.COM

CIVIL ENGINEER

HUNSAKER & ASSOCIATES IRVINE, INC.
3 HUGHES
IRVINE, CA 92618
(949) 583-1010
CONTACT: BEN ETEMADI
BETEMADI@HUNSAKER.COM

LANDSCAPE ARCHITECT:

LANDCREATIVE, INC.
3195-B AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
(714) 352-7573
CONTACT: DAVID SALKOWITZ
DSALKOWITZ@LANDCREATIVEINC.COM

SOILS ENGINEER:

LEIGHTON AND ASSOCIATES, INC.
41715 ENTERPRISE CIRCLE NORTH, SUITE 103
TEMECULA, CA 92590
(951) 296-0530
CONTACT: SIMON SAID
SSAID@VERDANTAS.COM

ARCHITECT:

SDK ATELIER, INC.
9100 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 585-9167
CONTACT: SAM PAYANDEH
SPAYANDEH@SDKATELIER.COM

* THE DRIVEWAY WIDTHS VARY
SEE THE TYPICAL BUILDING PLOT
ON PRODUCT PLACEMENT PLAN.

MAP DATE IDENTIFIER	
DATE OF LATEST CHANGE TO THIS MAP	DATE OF THIS PLOT
05/27/25	05/27/25

OWNER/DEVELOPER:

RICHMOND
AMERICAN HOMES
391 N. MAIN STREET,
Suite 205
CORONA, CA 92880
(951) 386-4113

PREPARED BY:

HUNSAKER & ASSOCIATES
IRVINE, INC.
PLANNING ■ ENGINEERING ■ SURVEYING
157 Technology Drive ■ Irvine, CA 92618 ■ (949) 583-1010

SHEET 1 OF 2

LANDSCAPE NOTES

- UTILITIES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT WHO WILL ARRANGE FOR RELOCATION OF ONE OR THE OTHER. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR, AT HIS OWN EXPENSE, MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM THEIR WORK.
 - TREES AND SHRUBS SHALL BE PLACED A MINIMUM OF 5' AWAY FROM THE WATER METER, GAS METER OR SEWER LATERALS; A MINIMUM OF 10' AWAY FROM UTILITY POLES AND A MINIMUM OF 8' AWAY FROM FIRE HYDRANTS AND FIRE DEPARTMENT DOUBLE CHECK DETECTOR ASSEMBLY.
- IRRIGATION**
- THE LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED AND OPERATED TO PREVENT OR MINIMIZE RUN-OFF AND DISCHARGE OR IRRIGATION WATER ONTO ROADWAY, DRIVEWAY, ADJACENT PROPERTIES AND ANY AREA NOT UNDER CONTROL ON THE USER.
 - ALL PLANTED AREAS SHALL HAVE A MOISTURE SENSING, PERMANENT, AUTOMATIC IRRIGATION SYSTEM WITH RAINS SHUTOFF OVERRIDE, DESIGNED TO PROVIDE A PRECIPITATION RATE OF 0.075"/HR. OR LESS.
 - ALL PLANTED AREAS SHALL BE IRRIGATED WITH DRIP IRRIGATION TO AVOID OVER SPRAY AND RUNOFF INTO NON-IRRIGATED AREAS.
 - THE IRRIGATION SYSTEM SHALL BE CIRCUITED INTO SEPARATE HYDROZONES TO GROUP PLANTS WITH SIMILAR WATER REQUIREMENTS AND SOLAR EXPOSURES.
 - NO IRRIGATION ALLOWED WITHIN 24" OF A NON-PERMEABLE SURFACE

- PLANTING**
- STREET TREES SHALL BE PLANTED BY THE BUILDER ALONG ALL PRIVATE STREET WITHIN ALL PLANNING AREAS AND SHALL BE INSTALLED WITH THE FRONT YARD SIX (6) FEET BEHIND THE PUBLIC UTILITY EASEMENT. ONE (1) STREET TREE PER EVERY 45'-0" SHALL BE PROVIDED WITH AT LEAST ONE (1) TREE PROVIDED AT THE FRONT OF EACH RESIDENTIAL LOT. ALL STREET TREES SHALL BE INSTALLED AT A UNIFORM ON CENTER SPACING. CORNER LOTS SHALL HAVE STREET TREES ON BOTH STREET FRONTAGES. STREET TREES MAY VARY IN SPECIES WITHIN A PLANNING AREA BUT ONLY ONE TREE SPECIES WILL BE ALLOWED PER STREET. PLANNING AREAS THAT ARE SEPARATED BY A PRIVATE STREET SHALL HAVE THE SAME STREET TREE ON EACH SIDE OF THE STREET. MINIMUM SIZE OF THE STREET TREE SHALL BE 24" BOX. TREES SHALL BE INSTALLED WITH ROOT BARRIERS. THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN ALL STREET TREES.
 - A MINIMUM OF ONE (1) TREE SHALL BE INSTALLED WITHIN THE FRONT YARD LANDSCAPING EXCEPT PAS 10, 19, 20 21, 33A AND 33B REQUIRE TWO (2) TREES. THE TREES SHALL VARY IN SPECIES FROM THE STREET TREE AND SHALL ALSO VARY EVERY THIRD (3) LOT IN A ROW. NO FEWER THAN FOUR (4) AND NO MORE THAN EIGHT (8) DIFFERENT SPECIES SHALL BE USED. IN ADDITION TO THE STREET TREE REQUIREMENT, FRONT YARD LANDSCAPING SHALL INCLUDE AT MINIMUM, ONE (1) FIFTEEN-GALLON (15) SIZED TREE PER LOT, ONE FIVE-GALLON (5) TREE PER LOT, AS NOTED, AND A VARIETY OF DROUGHT TOLERANT SHRUBS AND GROUND COVER.
 - ALL TREES, SHRUBS, AND GROUNDCOVERS INCLUDED IN LANDSCAPE AREAS ARE WUCOLS RATED LOW TO MODERATE FOR WATER USE.
 - ALL LANDSCAPING SHALL COMPLY WITH THE CITY OF TEMECULA LANDSCAPE STANDARDS AND WATER EFFICIENT LANDSCAPE REGULATIONS.
 - ALL FRONT YARD LANDSCAPING SHALL BE MAINTAINED BY PRIVATE HOMEOWNER.
 - ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN A NEAT, ORDERLY AND HEALTHFUL CONDITION.

- SLOPE PLANTING**
- ALL SLOPE AREAS THREE FEET (3') AND ABOVE SHALL BE PLANTED WITH PLANT DEEP ROOTING CHARACTERISTICS FOR EROSION CONTROL.
 - SLOPE BANKS FIVE (5) FEET OR GREATER IN VERTICAL HEIGHT BETWEEN 5:1 AND 2:1 SHALL, AT MINIMUM, BE BRIGGATED AND LANDSCAPED WITH A COMBINATION OF APPROPRIATE SHRUBS, VEGETATIVE GROUND COVER, AND MULCH. ONE (1) 15 GALLON OR LARGER TREE PER 600 S.F. OF SLOPE AREA, AND ONE (1) GALLON OR LARGER SHRUB FOR EACH 100 S.F. OF SLOPE AREA.
 - SLOPE BANKS IN EXCESS OF EIGHT (8) FEET IN VERTICAL HEIGHT WITH SLOPES GREATER OR EQUAL TO 2:1 SHALL ALSO PROVIDE ONE(1) FIVE-GALLON (5) OR LARGER TREE PER EACH ONE THOUSAND (1,000) SQUARE FEET OF SLOPE AREA. SLOPE IN ADDITION TO THE ABOVE REQUIREMENTS (UNLESS PROHIBITED BY THE FUEL MODIFICATION REQUIREMENTS, TREES SHOULD BE LOCATED TO PRESERVE VIEWS AND PROVIDE NATURALIZED GROUPING.

- MULCH**
- ALL PLANTED AREA TO RECEIVE A 3" THICK TOP DRESSING; AND ALL GROUND COVER AREAS SHALL BE PLANTED MATERIAL FROM FLATS TO RECEIVE 1 1/2" DEPTH OF TOP DRESSING OF "FOREST FLOOR" ORGANIC BARK MULCH.

- WATER EFFICIENT LANDSCAPE DESIGN**
- REFER TO CITY OF TEMECULA - CHAPTER 17.32 WATER EFFICIENT LANDSCAPE DESIGN GUIDELINES FOR FURTHER INFORMATION OR CLARIFICATION.

LANDSCAPE OBSERVATION NOTES

- OBSERVATION**
- OBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE LANDSCAPE ARCHITECT OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED.
 - OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK:
 - UPON COMPLETION OF GRADING AND SOIL CONDITIONING PRIOR TO PLANTING.
 - WHEN TREES ARE SPOTTED FOR PLANTING, BUT BEFORE PLANTING HOLES ARE EXCAVATED.
 - WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL OBSERVATION WITH THE OWNER OR THEIR REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD.

- CITY OF TEMECULA FIELD OBSERVATION NOTES**
- A MINIMUM OF THREE INSPECTIONS WILL BE REQUIRE PER CONSTRUCTION PHASING.
 - AN IRRIGATION INSPECTION TO VERIFY PIPE DEPTHS AND IRRIGATION MATERIAL CONFORMANCE.
 - A LANDSCAPE INSPECTION TO VERIFY IRRIGATION COVERAGE AND OPERATION, AND TO VERIFY THAT ALL PLANTINGS HAVE BEEN INSTALLED CONSISTENT WITH THE APPROVED CONSTRUCTION PLANS.
 - A FINAL INSPECTION ONCE MULCH HAS BEEN LAID AND ALL PLANT MATERIAL AND IRRIGATION SYSTEM ARE IN PLACE.CONTACT THE PLANNING DEPARTMENT TO SCHEDULE REQUIRED LANDSCAPE INSPECTION. FOR INSPECTIONS CALL: (951) 736-2262 OR (951) 279-3550

HOA MAINTAINED
BASIN LANDSCAPE
PER APPROVED PLANNING
APPLICATION PA20-0567
- LOT 14 BASIN LANDSCAPE PLANS





COMMUNITY THEME ENTRY MONUMENT -
REFER TO SHEET #SD-03







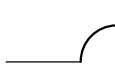

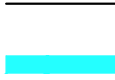


HOA MAINTAINED LANDSCAPE
REFER TO: PLANNING APPLICATION
PA20-0567
- LOT 15 LANDSCAPE PLANS

HOA MAINTAINED LANDSCAPE
REFER TO: PLANNING APPLICATION
PA20-0567
- LOT 15 LANDSCAPE PLANS



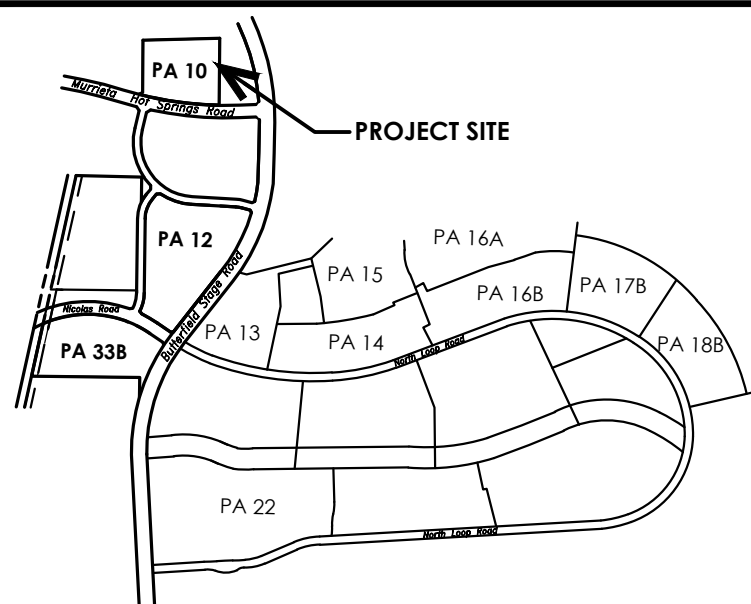
PLANTING LEGEND - STREET TREE			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS
 STREET TREES: 24" BOX	CERCIDIUM X 'DESERT MUSEUM'	DESERT MUSEUM	M
 ACCENT TREES: 24" BOX	ACACIA STENOPHYLLA	SHOESTRING ACACIA	L
	GEUERIA PAVIFLORA	AUSTRALIAN WILLOW	M
	LAURUS NOBILIS 'SARATOGA'	BAY LAUREL	L
	RHUS LANCEA	AFRICAN SUMAC	L
	OLEA EUROPAEA 'SWAN HILL' OR APPROVED EQUAL FRUITLESS OLIVE	SWAN HILL OLIVE	L

LEGEND - PA 10		
TAG:	ITEM:	AREA:
	HOMEOWNER MAINTAINED FRONT YARD LANDSCAPE AREA	19,445 SQ FT
	HOMEOWNER MAINTAINED REAR YARD LANDSCAPE AREA	79,740 SQ FT
	HOA MAINTAINED LANDSCAPE AREA - LOT 15	134,950 SQ FT
	HOA MAINTAINED DETENTION BASIN AREA - LOT 14	18,460 SQ FT
	PA 10 TOTAL ACREAGE	8.1 ACRES
	SINGLE FAMILY UNITS	13 UNITS
	MAILBOX LOCATION	
	UTILITY POC	
	TRANSFORMER	

WALL AND FENCE LEGEND	
TAG:	ITEM:
	COMMUNITY THEME ENTRY MONUMENT 6'-4" TALL ACCENT STONE MONUMENT SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-03
	COMMUNITY WALL PILASTER 6'-4" TALL SLUMP BLOCK PILASTER SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-02
	HABITAT FENCING AND GATES 6'-0" MIN. HEIGHT VINYL-COATED CHAIN-LINK WITH TOP & BOTTOM RAILS SEE FENCE ELEVATION AND DETAILS ON SHEET SD-03
	COMMUNITY WALL 6' FREESTANDING SLUMP BLOCK WALL SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-02
	RETAINING WALL PER CIVIL ENGINEER'S PLANS
	SIDE YARD RETURN WALLS 6' SLUMP BLOCK WALL SEE WALL ELEVATION ON SHEET SD-02
	SIDE YARD ACCESS GATE 6'-0" TALL X 3'-0" WIDE VINYL GATE SEE GATE ELEVATION
	SIDE YARD FENCE 6'-0" TALL PRIVACY VINYL FENCE SEE FENCE ELEVATION ON SHEET SD-02
	REAR YARD FENCE 6'-0" TALL METAL FENCE SEE FENCE ELEVATION ON SHEET SD-02
	METAL FENCE AND MAINTENANCE ACCESS GATE AT BASIN SEE FENCE ELEVATION AND DETAILS ON SHEET SD-02
	THREE-RAIL FENCING 4'-0" TALL VINYL FENCING SEE FENCE ELEVATION AND DETAILS ON SHEET SD-02

SPLIT FACE AND PRECISION BLOCK SPECIFICATIONS
MANUFACTURER: ANGELUS BLOCK
COLOR: SANDSTONE (TAN)

PROJECT LOCATION



APPLICANT:

Richmond American
391 N. Main Street, Suite 205
Corona, CA
Ph: 714.613.3073
Contact: Edgar Gomez

CONSULTANTS:

Landscape Architect: LandCreative 3195 B Airport Loop Drive Costa Mesa, CA 92626 Ph: (714) 352-7688 Contact: David B. Salkowitz	Architect: SDK Atelier Inc 9100 Irvine Center Drive Irvine, CA 92618 Ph: 949.585.9167 ext:207 Contact: Jorge Garcia	Civil Engineer: Hunsaker & Associates, Inc. 3 Hughes Irvine, CA 92618 Ph: 949.583.1010 Contact: Ben Etemadi
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Tract 37925
APN 964-930-01 to 013
PA24-0508
Planning Area 10

Landscape Plan
Overall Site

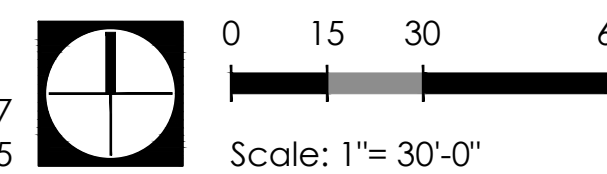
Goldenview at Sommers Bend
City of Temecula . CA

Schematic Design

SD-01

Development Plan Submittal #5

Job No.: LC24027
Print Date: April 10, 2025



Landscape Plan
Front Yard Typical

SD-02

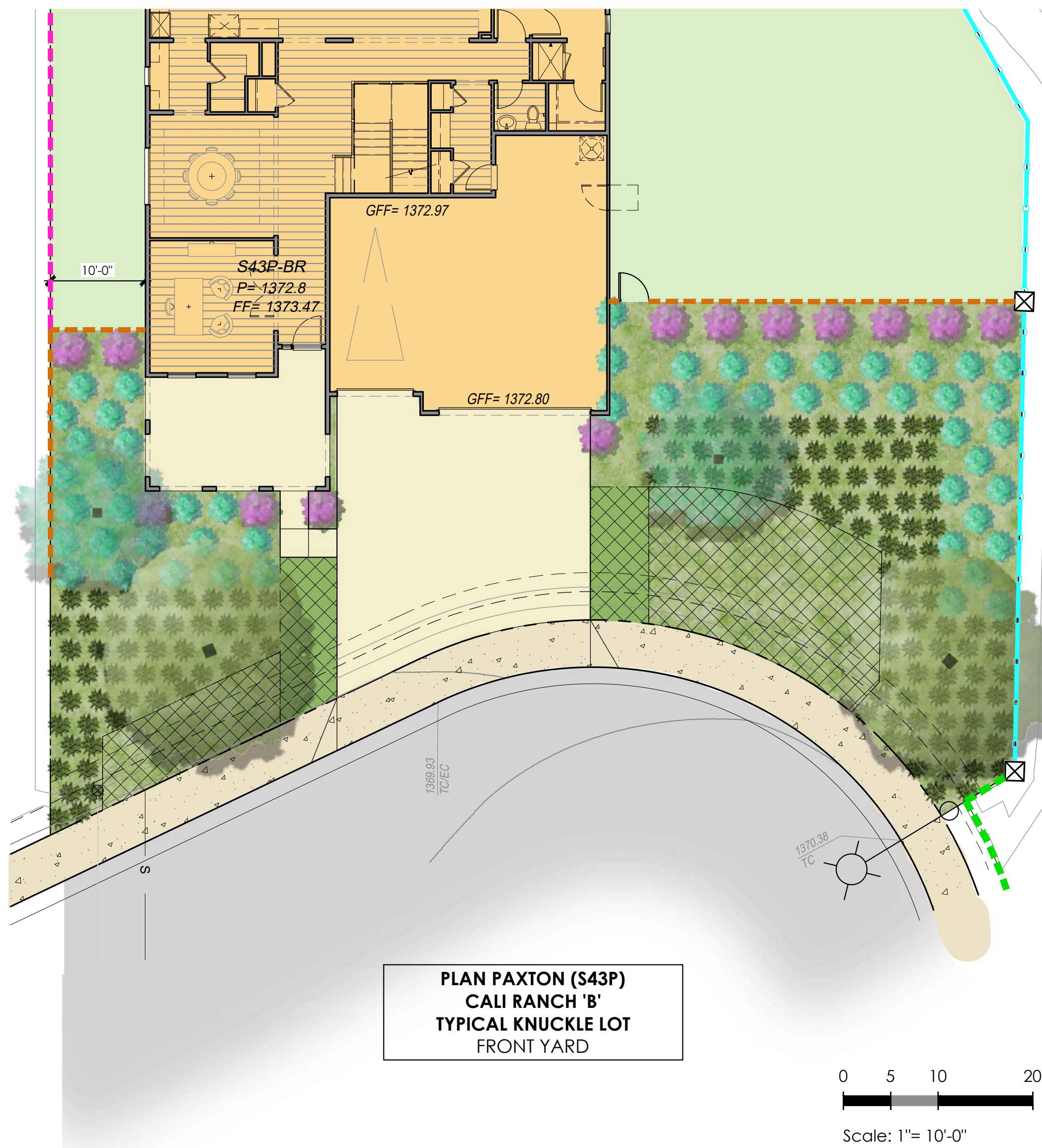
Goldenview at Sommers Bend
City of Temecula . CA

Tract 37925
APN 964-930-01 to 013
PA24-0508
Planning Area 10



Development Plan Submittal #5

Job No.: LC 24027
Date: April 10, 2025

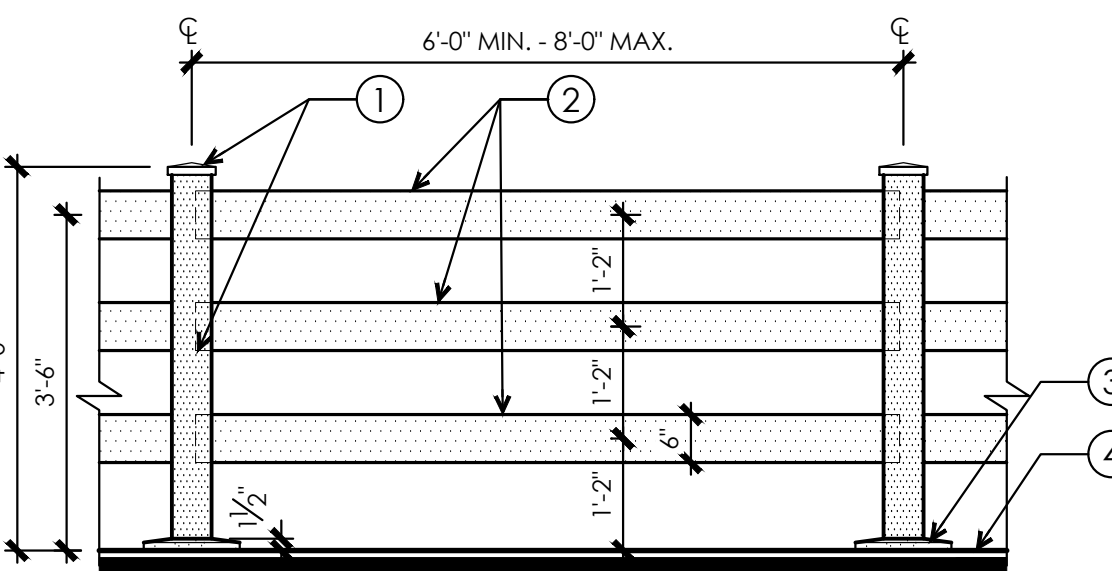


PLANTING LEGEND - STREET TREE

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOL ZONE 4
STREET TREES:			
	CERCIDIUM X 'DESERT MUSEUM'	DESERT MUSEUM	M
24" BOX			

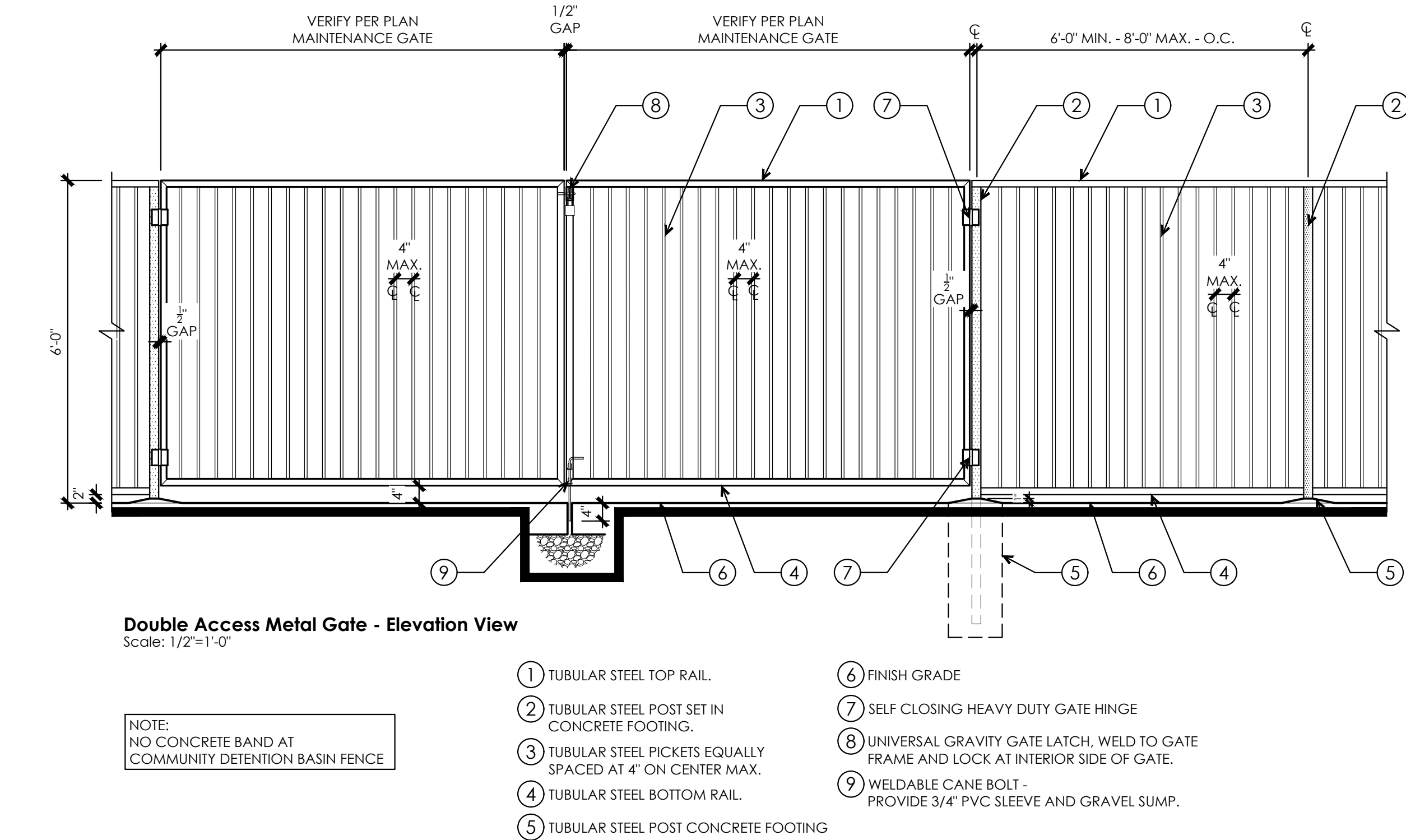
WALL AND FENCE LEGEND

TAG:	ITEM:
	COMMUNITY THEME ENTRY MONUMENT 6'-4" TALL ACCENT STONE MONUMENT SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-03
	COMMUNITY WALL PILASTER 6'-4" TALL SLUMP BLOCK PILASTER SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-02
	HABITAT FENCING AND GATES 6'-0" MIN. HEIGHT VINYL-COATED CHAIN-LINK WITH TOP & BOTTOM RAILS SEE FENCE ELEVATION AND DETAILS ON SHEET SD-03
	COMMUNITY WALL 6" FREESTANDING SLUMP BLOCK WALL SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-02
	RETAINING WALL PER CIVIL ENGINEER'S PLANS
	SIDE YARD RETURN WALLS 6" SLUMP BLOCK WALL SEE WALL ELEVATION ON SHEET SD-02
	SIDE YARD ACCESS GATE 6'-0" TALL X 3'-0" WIDE VINYL GATE SEE GATE ELEVATION
	SIDE YARD FENCE 6'-0" TALL PRIVACY VINYL FENCE SEE FENCE ELEVATION ON SHEET SD-02
	REAR YARD FENCE 6'-0" TALL METAL FENCE SEE FENCE ELEVATION ON SHEET SD-02
	METAL FENCE AND MAINTENANCE ACCESS GATE AT BASIN SEE FENCE ELEVATION AND DETAILS ON SHEET SD-02
	THREE-RAIL FENCING 4'-0" TALL VINYL FENCING SEE FENCE ELEVATION AND DETAILS ON SHEET SD-02
	SPLIT FACE AND PRECISION BLOCK SPECIFICATIONS MANUFACTURER: ANGELUS BLOCK COLOR: SANDSTONE (TAN)

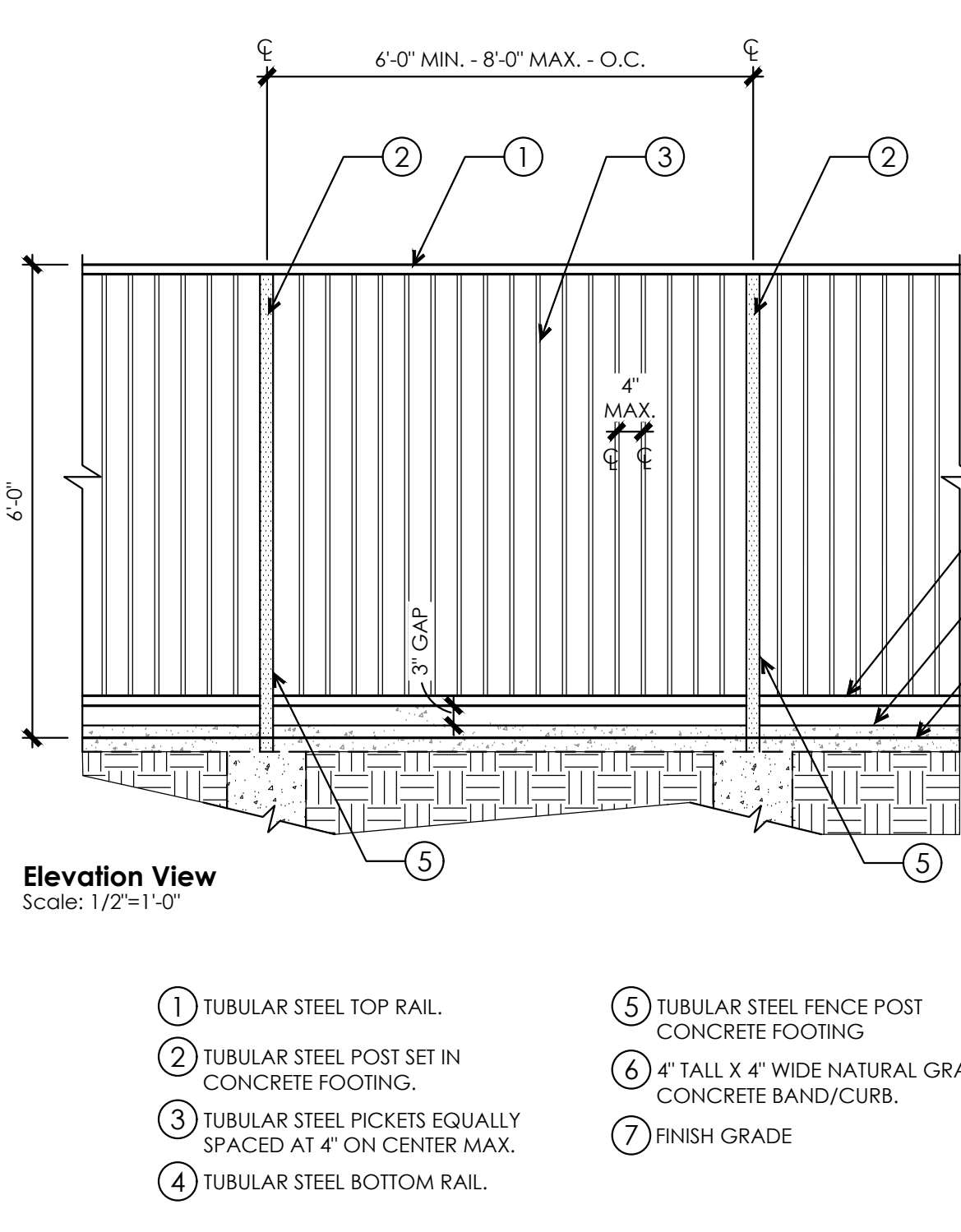


- Elevation View
Scale: 1/2"=1'-0"
- NOTE:
VINYL COLOR TO BE 'WHITE'
- 5" SQUARE VINYL POST WITH VINYL CAP. ATTACH POST TO CONCRETE FOOTING PER MANUFACTURE RECOMMENDATIONS.
 - 5" WIDE T&G VINYL RAIL
 - CONCRETE FOOTING
 - FINISHED GRADE

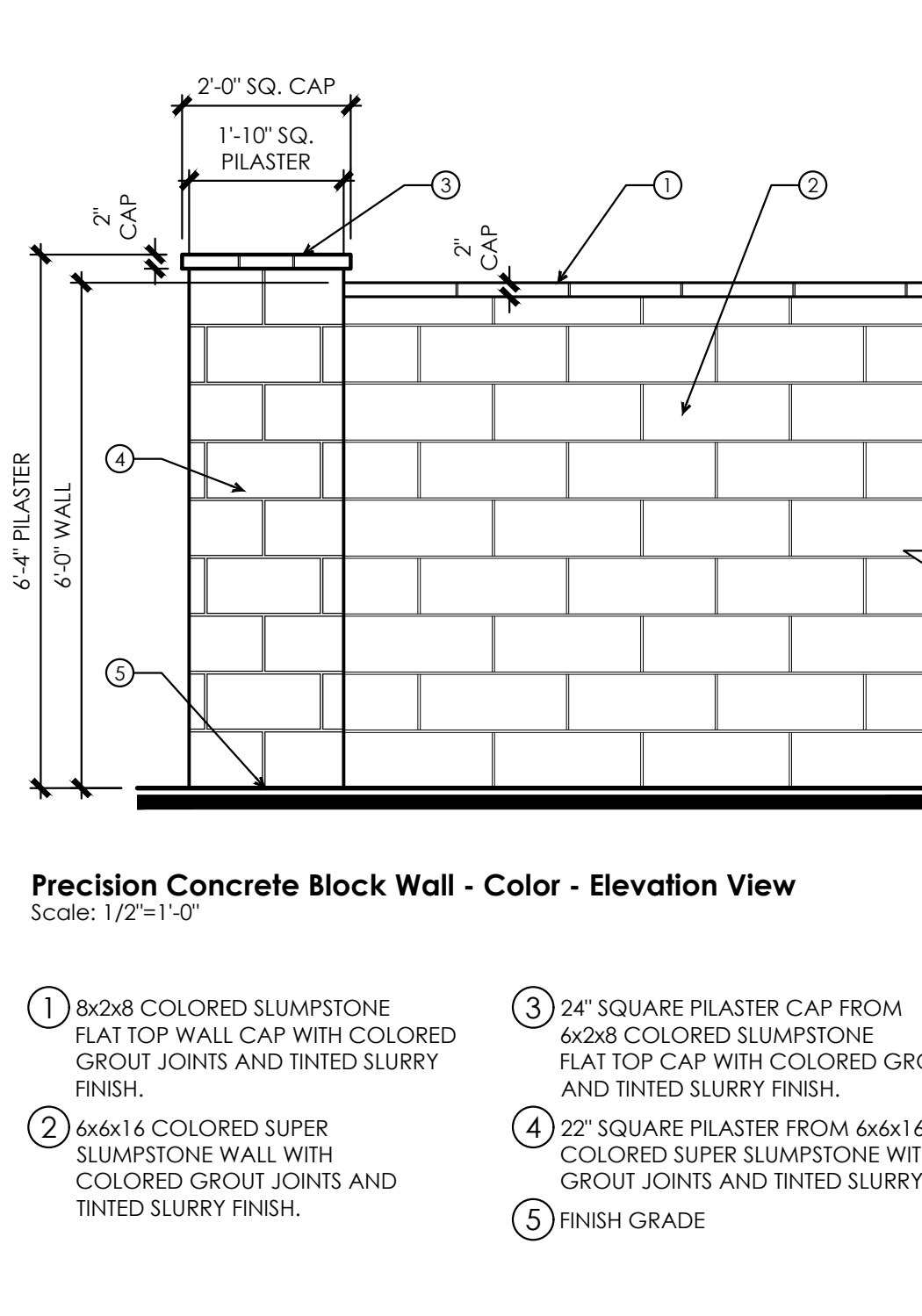
TRAIL FENCING



COMMUNITY SCREEN METAL GATES AND FENCE AT DETENTION BASIN

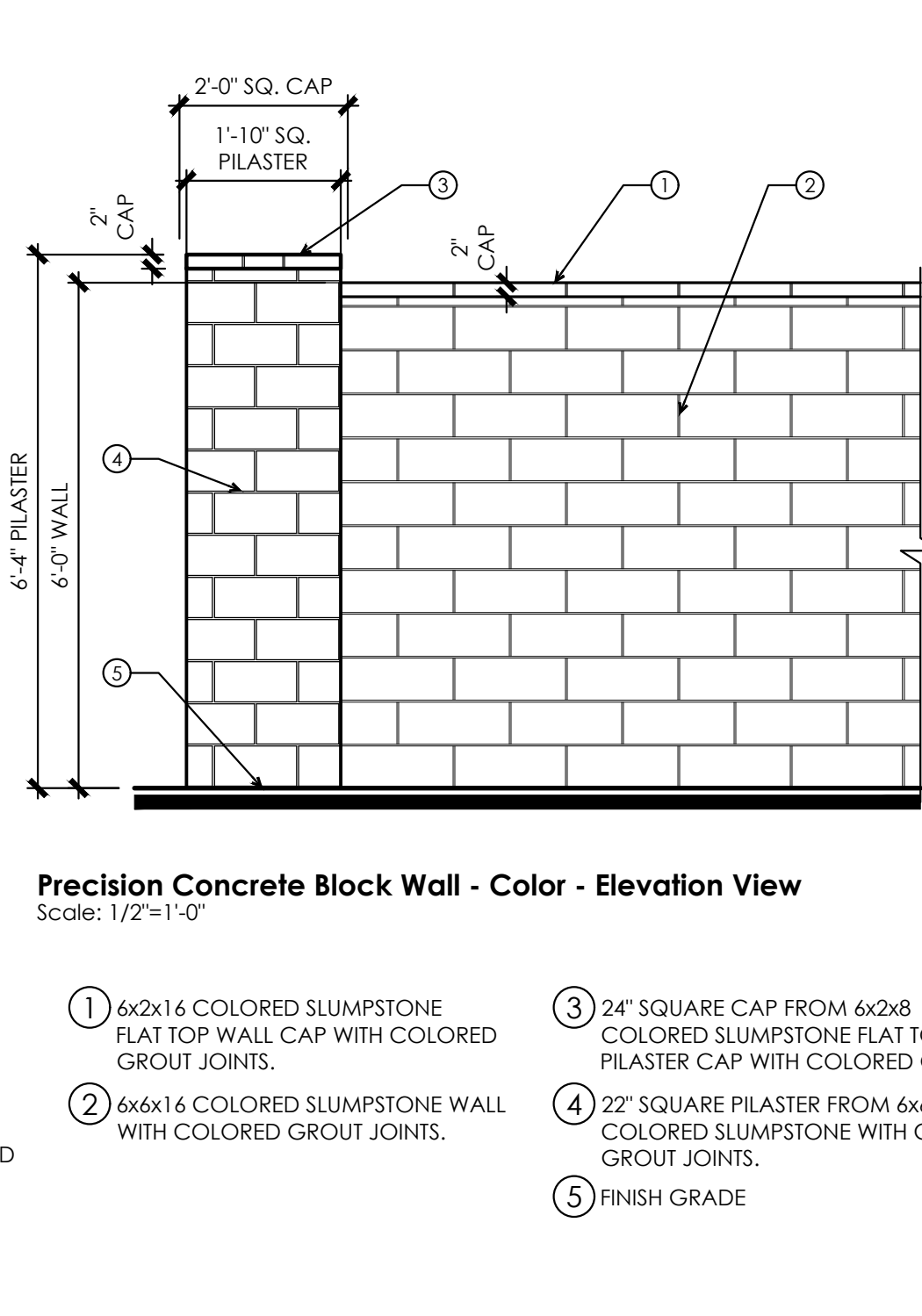


COMMUNITY METAL VIEW FENCING



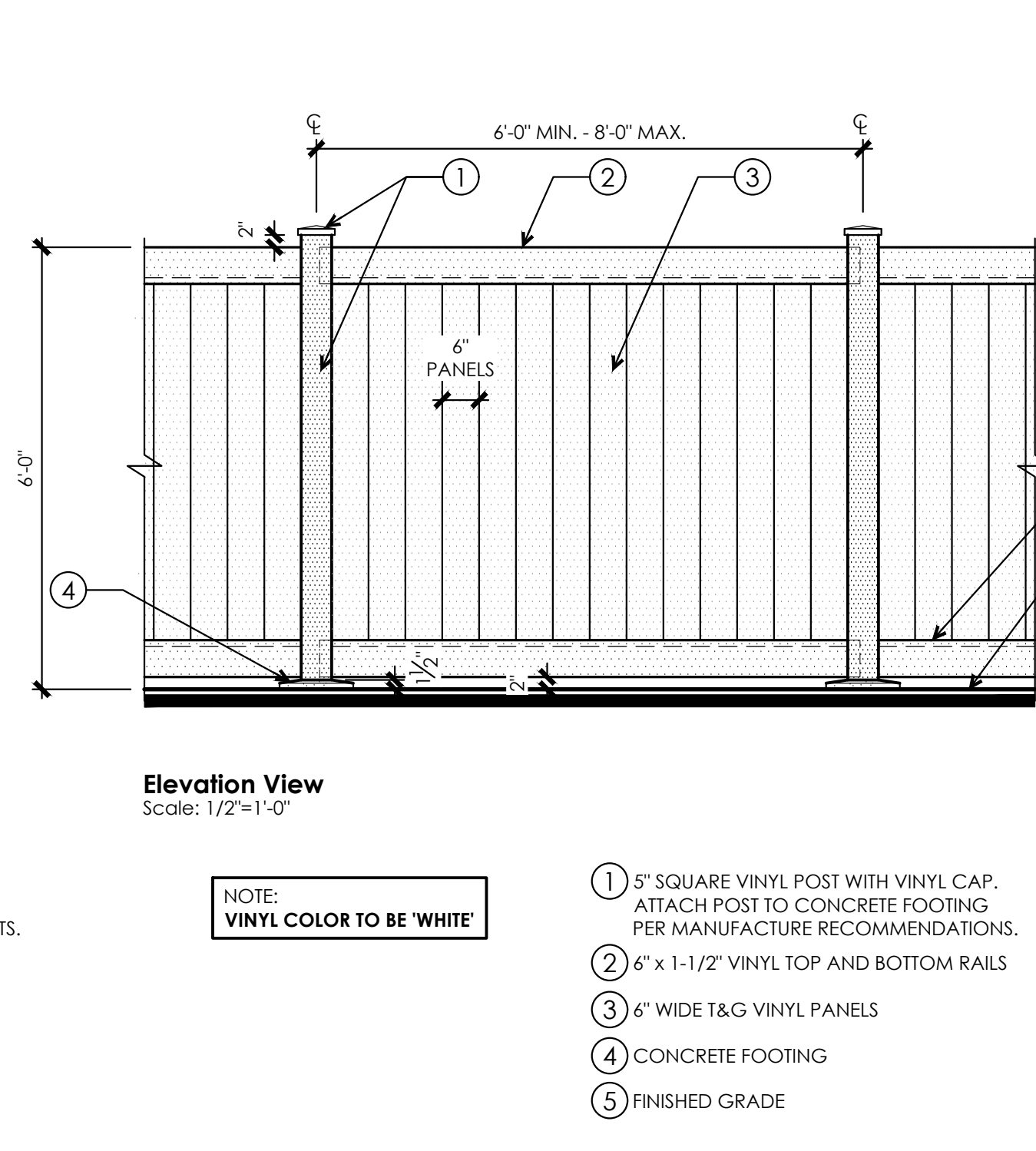
Precision Concrete Block Wall - Color - Elevation View
Scale: 1/2"=1'-0"

- 8x24x8 COLORED SLUMPSTONE FLAT TOP WALL CAP WITH COLORED GROUT JOINTS AND TINTED SLURRY FINISH.
- 6x6x16 COLORED SUPER SLUMPSTONE WALL WITH COLORED GROUT JOINTS AND TINTED SLURRY FINISH.
- 24" SQUARE PILASTER CAP FROM 6x24x8 COLORED SLUMPSTONE FLAT TOP PILASTER CAP WITH COLORED GROUT JOINTS AND TINTED SLURRY FINISH.
- 22" SQUARE PILASTER FROM 6x6x16 COLORED SUPER SLUMPSTONE WITH COLORED GROUT JOINTS AND TINTED SLURRY FINISH.
- FINISH GRADE



Precision Concrete Block Wall - Color - Elevation View
Scale: 1/2"=1'-0"

- 6x24x16 COLORED SLUMPSTONE FLAT TOP WALL CAP WITH COLORED GROUT JOINTS.
- 6x6x16 COLORED SLUMPSTONE WALL WITH COLORED GROUT JOINTS.
- 24" SQUARE CAP FROM 6x24x8 COLORED SLUMPSTONE FLAT TOP PILASTER CAP WITH COLORED GROUT JOINTS.
- 22" SQUARE PILASTER FROM 6x6x16 COLORED SLUMPSTONE WITH COLORED GROUT JOINTS.
- FINISH GRADE



SIDE YARD PRIVACY VINYL FENCING

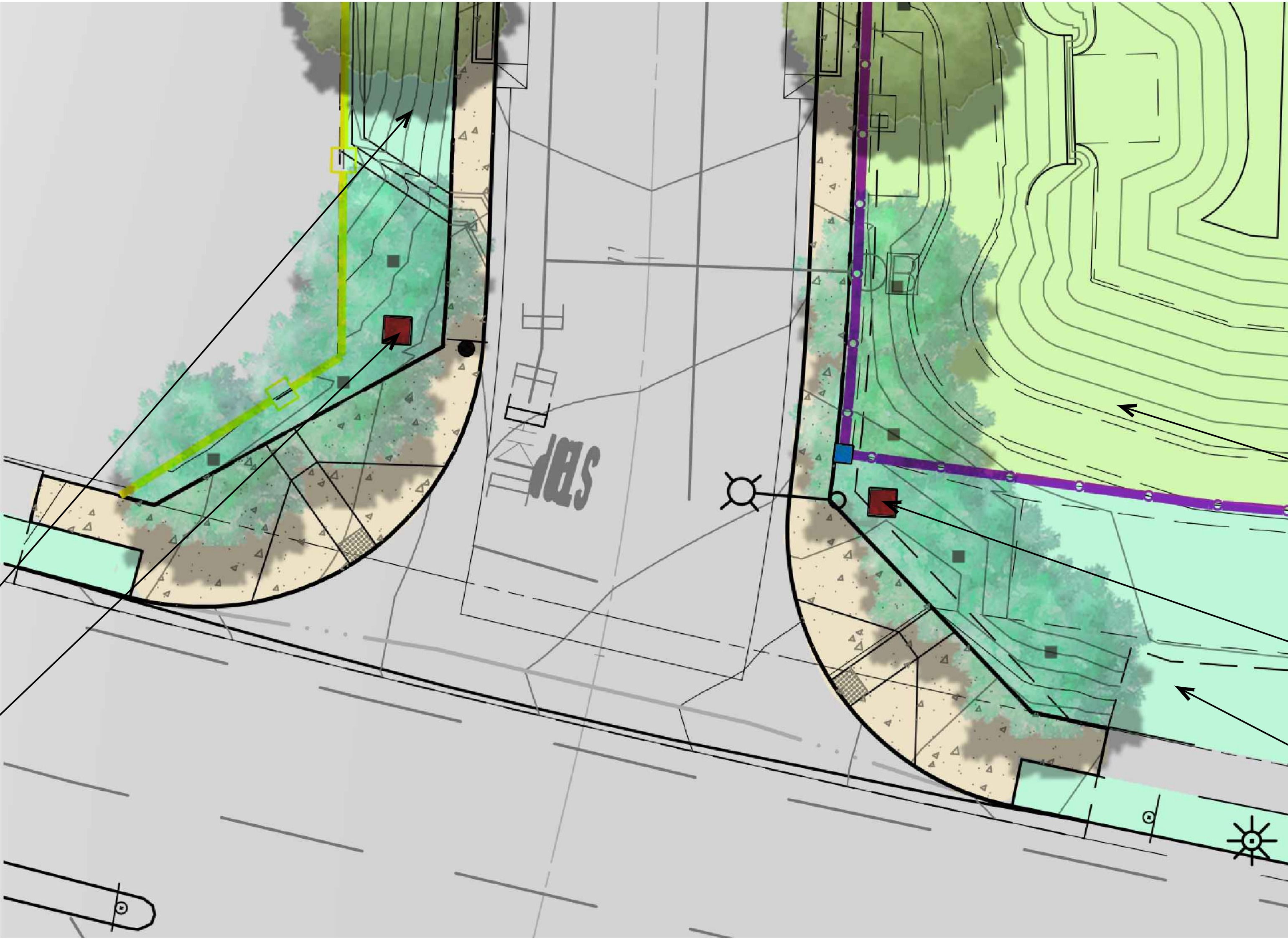
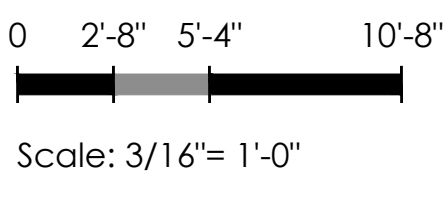
PRELIMINARY PLANT PALETTE -
FRONT YARD TYPICAL -
PLATEAU NEIGHBORHOOD

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOL ZONE 4
STREET AND ACCENT TREES:			
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	L
	GEUZERIA PAVIFLORA	AUSTRALIAN WILLOW	M
	LAURUS NOBILIS 'SARATOGA'	BAY LAUREL	L
	RHUS LANCEA	AFRICAN SUMAC	L
24" BOX			
VERTICAL SHRUBS:			
	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	L
	PODOCARPUS EL. 'MONMAL'	ICEE BLUE YELLOW-WOOD	L
15 GAL.			
MEDIUM SHRUBS:			
	BOULEOULA GRAC. 'BLOND AMBITION'	BLOND AMBITION BLUE GRAMA	L
	CALISTEMON VIT. 'LITTLE JOHN'	'LITTLE JOHN' DWARF BOTTLEBRUSH	L
	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	L
	CISTUS X PURPUREUS	ORCHID ROCK ROSE	L
	CISTUS SKANBERGII	PINK ROCK ROSE	L
	DIANELLA TASMANICA 'SILVER STREAK'	SILVER STREAK FLAX LILY	L
	DIETES GRANDIFLORA	FORTNIGHT LILY	L
	EPILOBIUM SPP	CALIFORNIA FUSHIA	L
	EUONYMUS JAP. 'MICROPHYLLUS'	BOXLEAF EUONYMUS	L
	GALVEZIA SPECIOSA 'FIRECRACKER'	ISLAND BUSH SNAPDRAGON	L
	HESPERALOE PARVIFLORA	RED YUCCA	L
	ILEX VOMITORIA 'STOKES DWARF'	STOKES DWARF YAUPOIN	L
	LAVANDULA X GIN. 'GOODWIN CREEK'	GOODWIN CREEK LAVENDER	L
	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	L
	LEMYUS CONDEN. 'CANYON PRINCE'	BLUE LYME GRASS	L
	MUHLENBERGIA CAP. 'REGAL MIST'	REGAL MIST MUHLENBERGIA	L
	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	L
	ROSA 'ICEBERG'	WHITE ICEBERG ROSE	L
	ROSA X 'NOASCHNEE'	FLOWER CARPET WHITE ROSE	L
	SALVIA 'BEE'S BLISS'	BEE'S BLISS SAGE	L
	SALVIA CLEVELANDII 'POZO BLUE'	CLEVELAND SAGE	L
	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	L
	WESTRINGIA FRUTICOSA 'BLUE GEM'	BLUE GEM COAST ROSEMARY	L
	TEUCRUM CHAMAEDRYS	GERMANDER	L
5 GAL.			
SMALL SHRUBS:			
	CAREX DIVISA	BERKELEY SEDGE	L
	CAREX GLAUCA	BLUE SEDGE	L
	CARRISSA MACROCARPA 'TOMLINSON'	TOMLINSON NATAL PLUM	L
	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	L
	LANTANA SPP.	LANTANA	L
	ROSEMARINUS SPP.	ROSEMARY	L
	SALVIA GREGGII	AUTUMN SAGE	L
	TEUCRUM COSSONII	GERMANDER	L
	VERBENA LILACINA 'DE LA MINA'	CEDROS ISLAND VERBENA	L
5 GAL.			
GROUND-COVERS:			
	BACHCHARIS PILULARIS	COYOTE BRUSH	L
	SALVIA LEUCOPHYLLA 'BEE'S BLISS'	BEE'S BLISS SAGE	L
	ROSEMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON 'CARPET' ROSEMARY	L
1 GAL.			



Neighborhood Entry Monuments

Elevation



HOA MAINTAINED LANDSCAPE
REFER TO: PLANNING
APPLICATION PA20-0567
- LOT 15 LANDSCAPE PLANS

COMMUNITY THEME ENTRY MONUMENT -
SEE DETAIL THIS SHEET

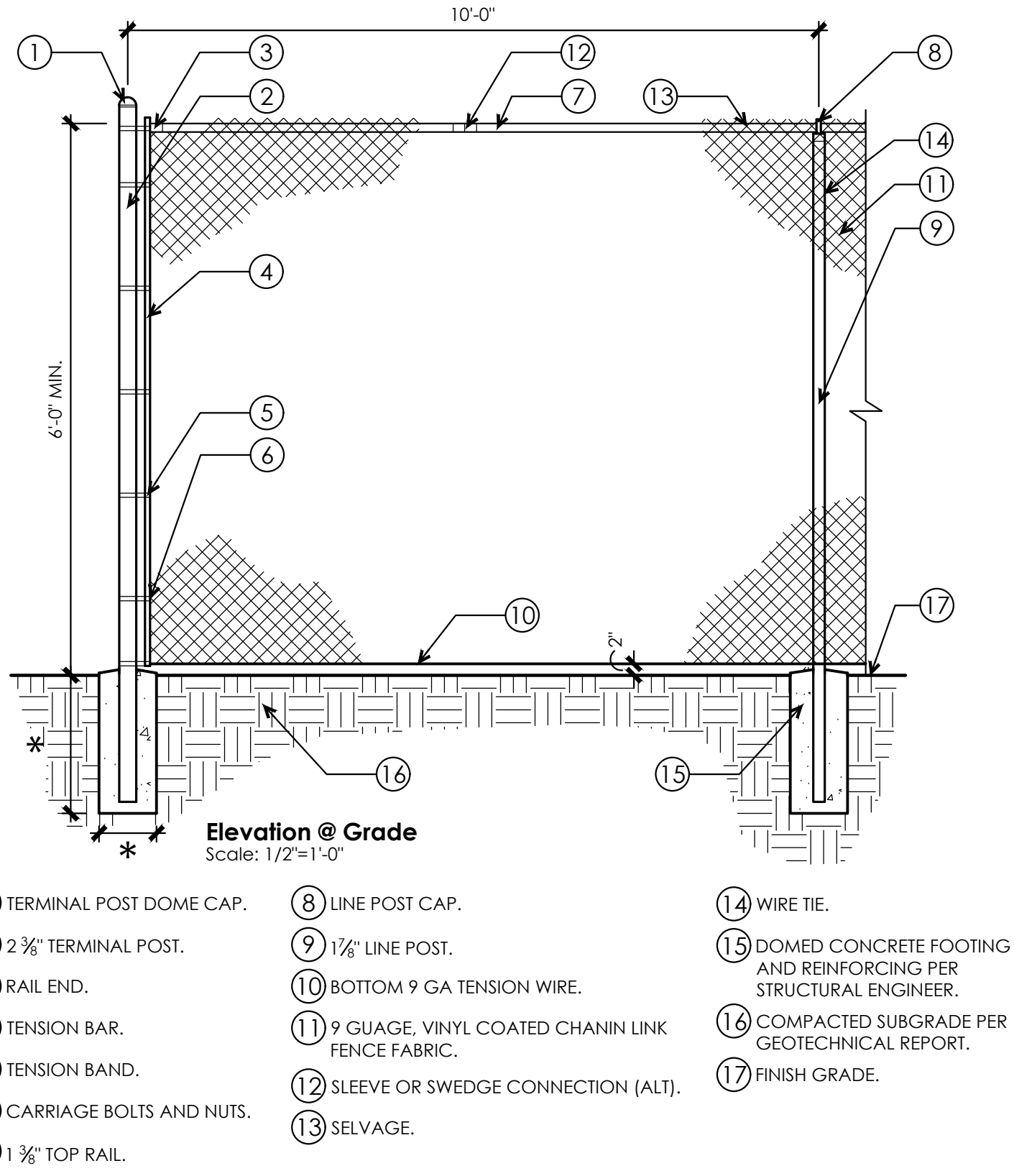
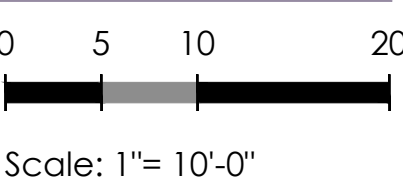
HOA MAINTAINED
BASIN LANDSCAPE
PER APPROVED PLANNING
APPLICATION PA20-0567
- LOT 14 BASIN LANDSCAPE PLANS

COMMUNITY THEME ENTRY MONUMENT -
SEE DETAIL THIS SHEET

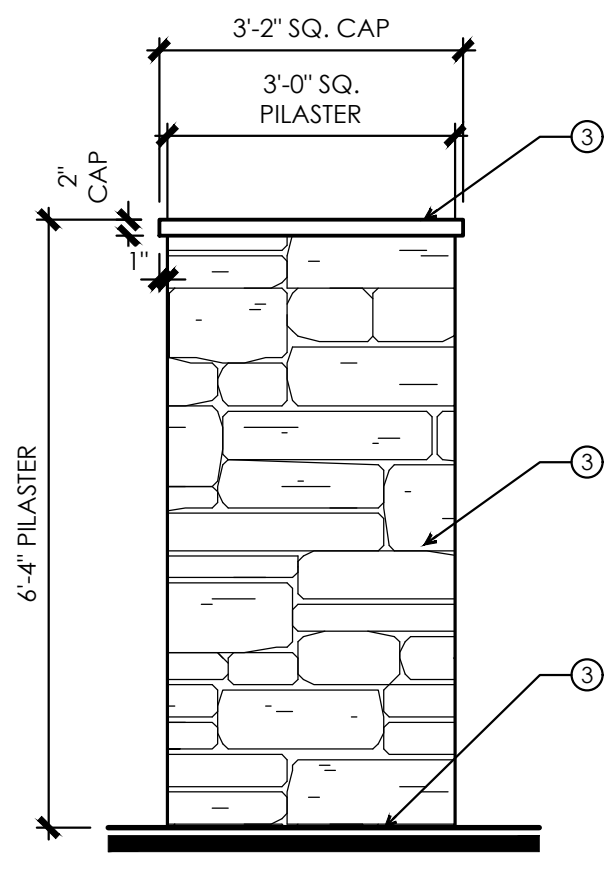
HOA MAINTAINED LANDSCAPE
REFER TO: PLANNING APPLICATION
PA20-0567
- LOT 15 LANDSCAPE PLANS

Neighborhood Entry Monuments

Plan View



HABITAT FENCING



Community Theme Entry Monument - Elevation View
Scale: 1/2"=1'-0"

- 1 2" THICK STONE CAP TO MATCH SOMMERS BEND COMMUNITY STONE STANDARDS.
- 2 STONE ACCENT VENEER TO MATCH SOMMERS BEND COMMUNITY STONE STANDARDS.
- 3 FINISH GRADE

COMMUNITY THEME ENTRY MONUMENT

PLANTING LEGEND - STREET TREE			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS CODE
	CERCIDIUM X 'DESERT MUSEUM'	DESERT MUSEUM	M
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	L
	GEUERIA PAVIFLORA	AUSTRALIAN WILLOW	M
	LAURUS NOBILIS 'SARATOGA'	BAY LAUREL	L
	RHUS LANCEA	AFRICAN SUMAC	L
	OLEA EUROPAEA 'SWAN HILL' OR APPROVED EQUAL FRUITLESS OLIVE	SWAN HILL OLIVE	L

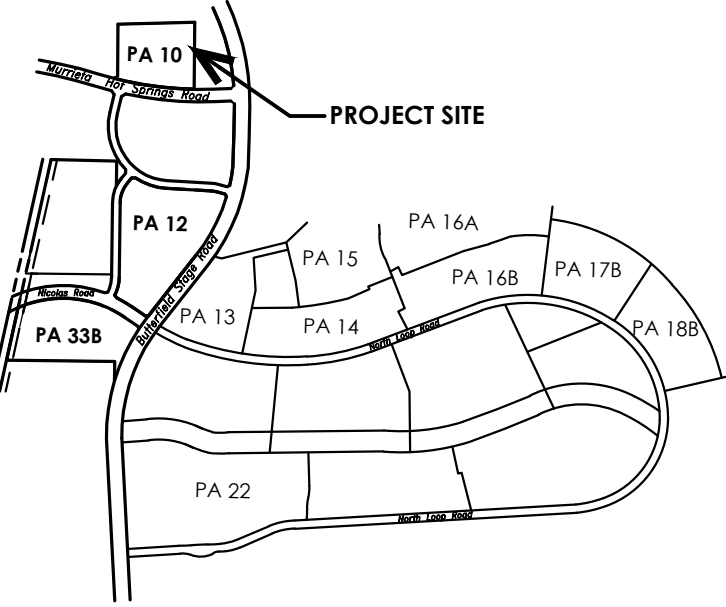
LEGEND - PA 10

TAG:	ITEM:	AREA:
	HOMEOWNER MAINTAINED FRONT YARD LANDSCAPE AREA	19,445 SQ FT
	HOMEOWNER MAINTAINED REAR YARD LANDSCAPE AREA	79,740 SQ FT
	HOA MAINTAINED LANDSCAPE AREA - LOT 15	134,950 SQ FT
	HOA MAINTAINED DETENTION BASIN AREA - LOT 14	18,460 SQ FT
	PA 10 TOTAL ACREAGE	8.1 ACRES
	SINGLE FAMILY UNITS	13 UNITS
	MAILBOX LOCATION	
	UTILITY POC	
	TRANSFORMER	

WALL AND FENCE LEGEND

TAG:	ITEM:
	COMMUNITY THEME ENTRY MONUMENT 6'-4" TALL ACCENT STONE MONUMENT SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-03
	COMMUNITY WALL PILASTER 6'-4" TALL SLUMP BLOCK PILASTER SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-02
	HABITAT FENCING AND GATES 6'-0" MIN. HEIGHT VINYL-COATED CHAIN-LINK WITH TOP & BOTTOM RAILS SEE FENCE ELEVATION AND DETAILS ON SHEET SD-03
	COMMUNITY WALL 6' FREESTANDING SLUMP BLOCK WALL SEE WALL ELEVATION AND WALL DETAILS ON SHEET SD-02
	RETAINING WALL PER CIVIL ENGINEER'S PLANS
	SIDE YARD RETURN WALLS 6' SLUMP BLOCK WALL SEE WALL ELEVATION ON SHEET SD-02
	SIDE YARD ACCESS GATE 6'-0" TALL X 3'-0" WIDE VINYL GATE SEE GATE ELEVATION
	SIDE YARD FENCE 6'-0" TALL PRIVACY VINYL FENCE SEE FENCE ELEVATION ON SHEET SD-02
	REAR YARD FENCE 6'-0" TALL METAL FENCE SEE FENCE ELEVATION ON SHEET SD-02
	METAL FENCE AND MAINTENANCE ACCESS GATE AT BASIN SEE FENCE ELEVATION AND DETAILS ON SHEET SD-02
	THREE-RAIL FENCING 4'-0" TALL VINYL FENCING SEE FENCE ELEVATION AND DETAILS ON SHEET SD-02
SPLIT FACE AND PRECISION BLOCK SPECIFICATIONS MANUFACTURER: ANGELUS BLOCK COLOR: SANDSTONE (TAN)	

PROJECT LOCATION



APPLICANT:

Richmond American
391 N. Main Street, Suite 205
Corona, CA
Ph: 714.613.3073
Contact: Edgar Gomez

CONSULTANTS:

Landscape Architect:	Architect:	Civil Engineer:
LandCreative 3195 B Airport Loop Drive Costa Mesa, CA 92626 Ph: (714) 352-7688 Contact: David B. Salkowitz	SDK Atelier Inc 9100 Irvine Center Drive Irvine, CA 92618 Ph: 949.585.9167 ext:207 Contact: Jorge Garcia	Hunsaker & Associates, Inc. 3 Hughes Irvine, CA 92618 Ph: 949.583.1010 Contact: Ben Etemadi

Tract 37925
APN 964-930-01 to 013
PA24-0508
Planning Area 10



Landscape Plan
Entry Monument Enlargement

Goldenview at Sommers Bend
City of Temecula . CA

Schematic Design