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Photo-Historic First National Bank 2



Photos-Current Conditions 3

e. First National Bank, 1914; Neo-Classical style.

The facade of the First National Bank is based on Neo-Classical architecture ideas. Neo-Classical architecture (i.e., modern buildings based on ancient Greek and Roman architecture) have been used for centuries in the U.S. for commercial and civic buildings in order to create the impression of permanence, tradition and security. This building creates a strong presence on Front Street, and its concrete construction reinforces the impression of permanence. The facade of the bank is based on a traditional composition of a base, middle and top. The bank's base consists of two elements: a 3-foot tall waterable (foundation), and simulated stone masonry up to the second floor. The first floor masonry style with large blocks and deep mortar joints is called rustication, and was commonly used in Classical architecture to create the impression of a heavy and solid base. Resting upon this textured base, the upper floor of the bank has smooth surfaces and more refined detailing. The facade is a clear and well-proportioned example of architectural ideas traveling from ancient Greece, through the European Renaissance, all the way to Old Town Temecula.



Figure V-15a: Photo of the museum model.



Figure V-15b: The First National Bank building.



Figure V-15c: Façade sketch of the First National Bank

City of Temecula - Old Town Specific Plan

V-12

V. DESIGN GUIDELINES

e. Neo-Classical Revival

Modern buildings designed according to ancient Greek and Roman architectural principles are referred to as Neo-Classical revival. This style has been used for centuries in the U.S. to create the impression of permanence, tradition and security for civic and commercial buildings. Neo-Classical design can be used for prominent free-standing buildings, or can be used to create buildings that fit into a streetscape composed of other styles. Facades of Neo-Classical buildings are based on a traditional composition of a base, middle and top and are composed of architectural elements with standard detailing.

The First National Bank in Old Town illustrates a Neo-Classical technique called rustication. The ground floor appears to be constructed of masonry with large blocks and deep mortar joints. This was commonly used on classical facades to create the impression of a heavy and solid base. Resting upon this textured base, the upper floor of the bank has smooth surfaces and more refined detailing.

Traditional stone buildings often emphasized the difference between the base and the middle elements through the use of horizontal courses of large masonry blocks to create an impression of rugged strength. This technique was popular during the Renaissance in Europe, and was used with both "curved arch" openings and "flat arch" openings (like the bank). While the bank is constructed of cast in place concrete, the designer utilized rustication to create a traditional impression.

Color Palette

The wide range of colors which might have been used for exterior decoration in the late 1800s are well represented in the Sherwin-Williams Preservation Exterior Palette (see the appendices section of the Specific Plan). These are historic 19th Century hues that capture the grace and elegance of another era. While use of these colors is recommended, other similar colors will be considered. The Temecula Planning Department maintains a full color brochure of the Sherwin-Williams Preservation Exterior Palette for public inspection. The Director of Planning may also identify other color palettes for Old Town that have the potential to achieve the same results.



Figure V-69a, b: Two examples of free-standing Neo-Classical style buildings.



Figure V-70: Rusticated arches from the European Renaissance.

City of Temecula - Old Town Specific Plan

V-45

V. DESIGN GUIDELINES



Figure V-71a, b, c: Examples of Neo-Classical buildings that fit well into streetscapes with other architectural styles.

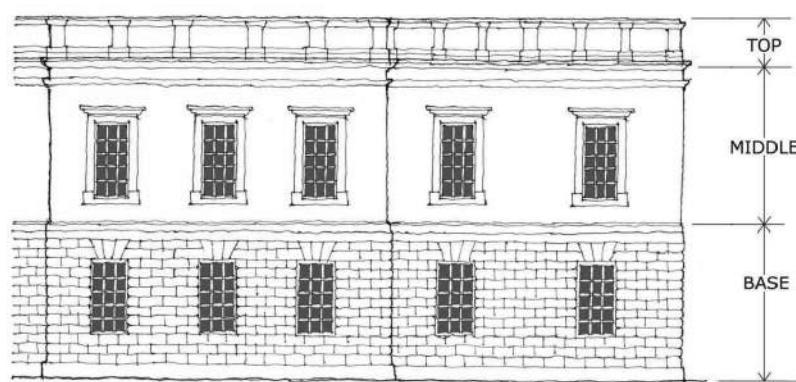


Figure V-72a, b: The First National Bank building in Old Town, and the Queen's residence at the Royal Observatory in London.

City of Temecula - Old Town Specific Plan

V-46

Old Town Temecula
rqtex
28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 985-0301



Designed
Drawn By CEG
Checked CAC
Date 11/04/2024

PA23-0449

GAUCHO GRILL

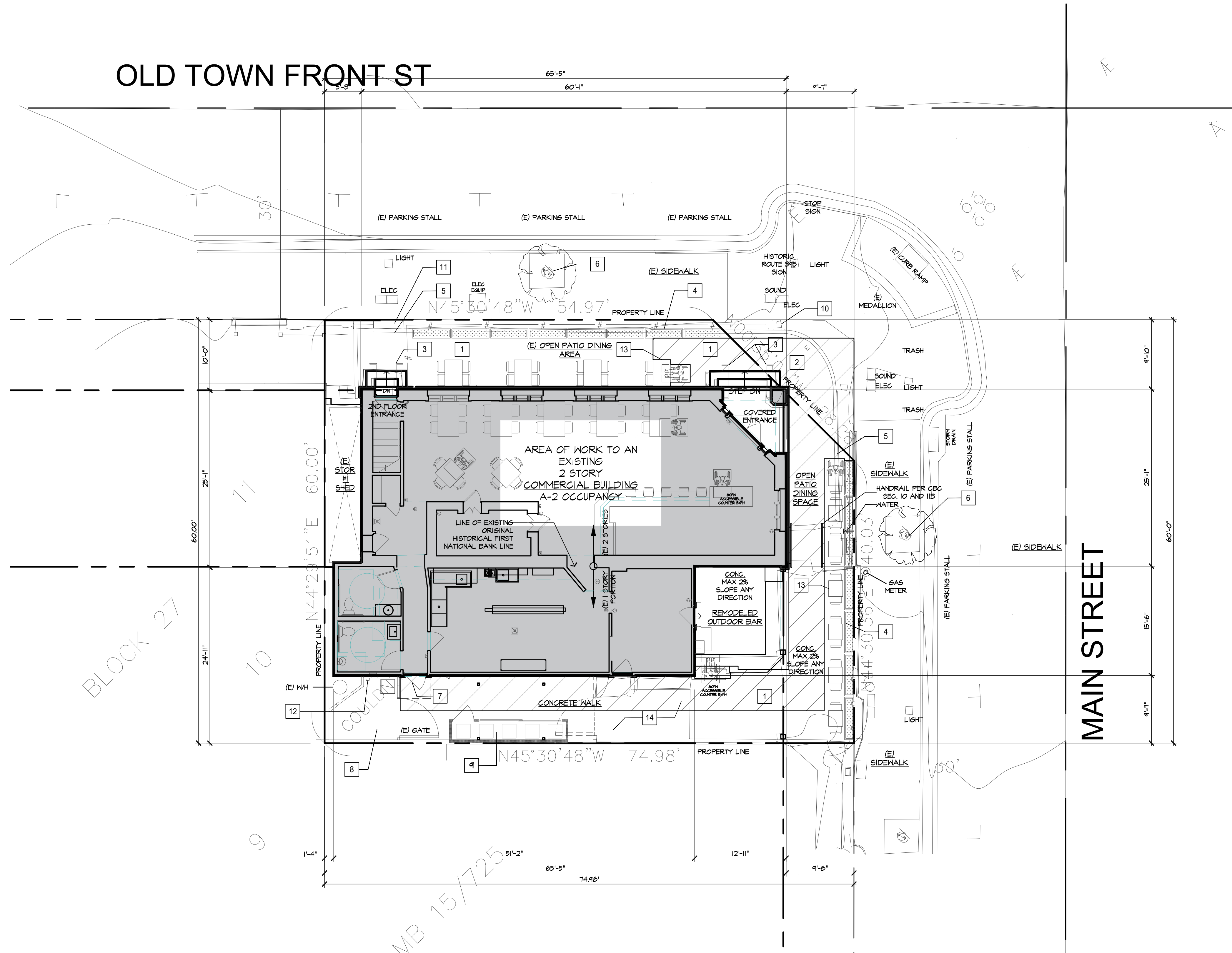
28645 OLD TOWN FRONT ST.
TEMECULA, CA 92590

Revisions	Sym.	Revisions	Sym.
PA23-0449 VS CUP PLAN CHECK	-		
By CEG			
Date 01/04/25			
Job Number: 2422			
Drawing Number			

t102

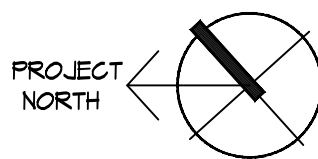
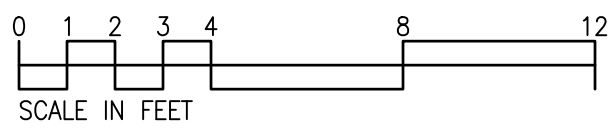
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SITE PLAN

1/8" = 1'-0"



SITE PLAN NOTES:

- ON SITE HARDSCAPE GROUND SURFACES TO BE DEMOLISHED AND REGRADED TO A MAX 2% SLOPE IN ANY DIRECTIONS PER ACCESSIBILITY REQMTS.
- EXISTING ON SITE DECORATIVE STONE INSETS TO BE REUSED AND RESET PER CITY AND HISTORICAL COMMITTEE REQMTS.
- ALL CITY PROPERTY INCLUDING RIGHT-OF-WAY ELEMENTS WORK IN THIS AREA WILL REQ. TO SUBMIT PLANS TO PUBLIC WORKS FOR APPROVAL.
- PER PUBLIC WORKS; ALL NEW FRONTAGE IMPROVEMENTS SHALL BE PER Old Town Specific Plan - TO BE STAMPED CONCRETE-
- DINING TABLE/SEATING, 5% SHALL BE ACCESSIBLE OF EACH TYPE AND IN EACH LOCATION SPACE. PER CBC CHAPT IIB
- NEW RAISED PLANTER SHALL BE CORTEN STEEL SEE ELEVATIONS

SITE ELEMENT NOTES:
ALL PLANTERS, SHALL BE SET TO
EDGE OF ON-SITE BOUNDARY LINE,
VERIFY IF FIELD WITH CITY
INSPECTOR AND PUBLIC WORKS

SITE PLAN KEYNOTES

- EXISTING WALKING PATIO SURFACE TO BE REPLACED WITH DECORATIVE CONCRETE, VERIFY TO BE ACCESSIBLE TYPE WITH POSITIVE DRAINAGE FLOW (MAX. 2% SLOPE) HATCHED AREA INDICATED PUBLIC ACCESSIBLE ROUTE
- PUBLIC RIGHT-OF-WAY WITH STAMPED COLORED CONCRETE WORK PER APPROVAL FROM PUBLIC WORKS DEPT.
- NEW METAL HANDRAIL TO MATCH EXISTING
- NEW RAISED CORTEN STEEL LANDSCAPE PLANTERS
- (E) STONE BAND INSET BETWEEN HARDSCAPE SURFACES, TO BE REUSED AND RESET TO NEW SURFACE GRADE. MAX SLOPE 2%
- (E) TREE AND PLANTER TO REMAIN
- REPLACED DOOR W/ OPERABLE BY AUTOMATIC POWER BUTTON ACTUATOR AND MANUAL OPERATED WITH INTERIOR PANIC HARDWARE
- EXISTING WATER HEATER AND UTILITY SPACE
- NEW TRASH AREA COVERED ENCLOSURE, SLOPE 2% FOR DRAINAGE
- EXISTING STONE HITCHING POST TO REMAIN
- REPLACED STEP WITH NEW MATCHED CONCRETE STEP.
- (E) UPGRADED ELECTRICAL PANEL, AS REQUIRED
- MOVABLE PATIO TABLE, CHAIRS AND UMBRELLA UNIT, APPROXIMATE LOCATIONS. SEE UMBRELLA NOTES THIS SHEET FOR ADDITIONAL INFORMATION.
- EXISTING PATIO COVER TO REMAIN AND RECONDITIONED

UMBRELLA GUIDELINES:

- UMBRELLAS SHALL BE MADE OF HIGH QUALITY CANVAS MATERIAL (NOT PLASTIC, VINYL OR ALUMINUM) AND BE TALL ENOUGH TO ACCOMMODATE ADEQUATE PEDESTRIAN ACCESS.
- UMBRELLA COLORS SHOULD BE MONOTONES COMPATIBLE WITH THE SHERMAN-WILLIAMS PRESERVATION PALETTE AND BE COORDINATED WITH THE PAINT AND ARCHITECTURE OF ADJACENT BUILDINGS. MULTI-COLORED DESIGNS ARE DISCOURAGED AND SHOULD BE AVOIDED.
- THE NAME OF THE ESTABLISHMENT MAY BE PRINTED ON THE UMBRELLA VALANCE. OTHER TYPES OF ADVERTISING DIRECTLY RELATED TO THE BUSINESS MAYBE PRINTED ON UMBRELLA VALANCES SUBJECT TO THE REVIEW AND APPROVAL OF THE DIRECTOR OF PLANNING.
- UMBRELLAS SHOULD BE TRADITIONAL DESIGNS THAT INTEGRATE WELL WITH ADJACENT BUILDING ARCHITECTURE.
- WOOD AND METAL MULTI-POST CANOPY STRUCTURES USED WITH FABRIC UMBRELLAS ARE PERMITTED WHERE HISTORICALLY APPROPRIATE.
- ALUMINUM EASY-UPS ARE PROHIBITED EXCEPT WHERE USED IN CONJUNCTION WITH AN APPROVED TEMPORARY USE PERMIT.
- THE UMBRELLAS SHOULD BE SECURED WITH A BASE AND SHOULD HAVE A MINIMUM CLEARANCE OF AT LEAST 7 FEET IN HEIGHT, MEASURED FROM THE GROUND LEVEL TO THE LOWEST POINT OF THE UMBRELLA CANOPY OR FRAMEWORK.
- UMBRELLAS SHOULD NOT ENCRoACH INTO THE PEDESTRIAN ZONE.



Designed	
Drawn By	CEG
Checked	CAC
Date	11/04/2024

PA23-0499

GAUCHITO GRILL

28465 OLD TOWN FRONT ST.
TEMECULA, CA 92590

Revisions	By	Date	Job Number
PA23-0499 VS CUP PLAN CHECK	CEG	01/04/25	2422

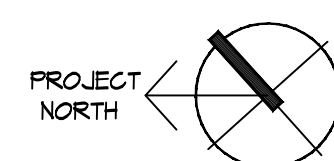
Drawing Number

a101

Architectural floor plan of a restaurant layout. The plan includes the following areas and features:

- EXISTING OPEN PATIO DINING**: Located at the top and right edges of the plan.
- ENTRANCE**: Situated on the right side, leading into the main dining area.
- DINING ROOM TO BE REMODELED**: The large central area, outlined with a dashed line.
- BAR TO BE REMODELED**: A U-shaped bar area within the dining room, outlined with a dashed line.
- VAULT**: A rectangular room located in the center-left.
- KITCHEN**: Located at the bottom center, containing a sink, stove, and island.
- KITCHEN STORAGE**: An area adjacent to the kitchen.
- REMODEL OUTDOOR BAR TO REMAIN**: Located on the right side, near the existing outdoor patio.
- EXISTING OUTDOOR PATIO CANOPY TO REMAIN**: Located at the bottom right.
- EXISTING TRASH/UTILITY SPACE**: Located at the bottom left.
- WH** (Washroom): Located near the trash/utility space.
- ELEC METER**: Located near the trash/utility space.
- CORRIDOR**: A narrow hallway connecting the restrooms and vault to the main areas.
- (E) WOMEN** and **(E) MEN**: Restrooms located on the left side.
- STAIRS**: Located on the left side, with "UP" and "DN" (down) directions.
- STORAGE**: Located on the far left.
- CLG** (Closets): Several closets are marked throughout the plan, including one in the vault and others in the kitchen area.
- SOFF** (Soffit): Marked in the vault and kitchen areas.
- (E) LINE OF PATIO ABOVE**: A dashed line indicating the boundary of the patio area above.

1/4" - 1'-0"



FLOOR PLAN NOTE:
FLOOR BASE AS-BUILT PLAN
PREPARED AND PROVIDED BY OWNER,
ALL DIMENSIONS SHALL BE VERIFIED IN
FIELD FOR ACCURACY AND
TOLERANCES.

INDICATES: (E) EXISTING, (D) DEMOLITION, (N) NEW/PROPOSED

Designed	
Drawn By	CEG
Checked	CAC
Date	11/04/2024

28645 OLD TOWN FRONT ST.
TEMECULA, CA 92590

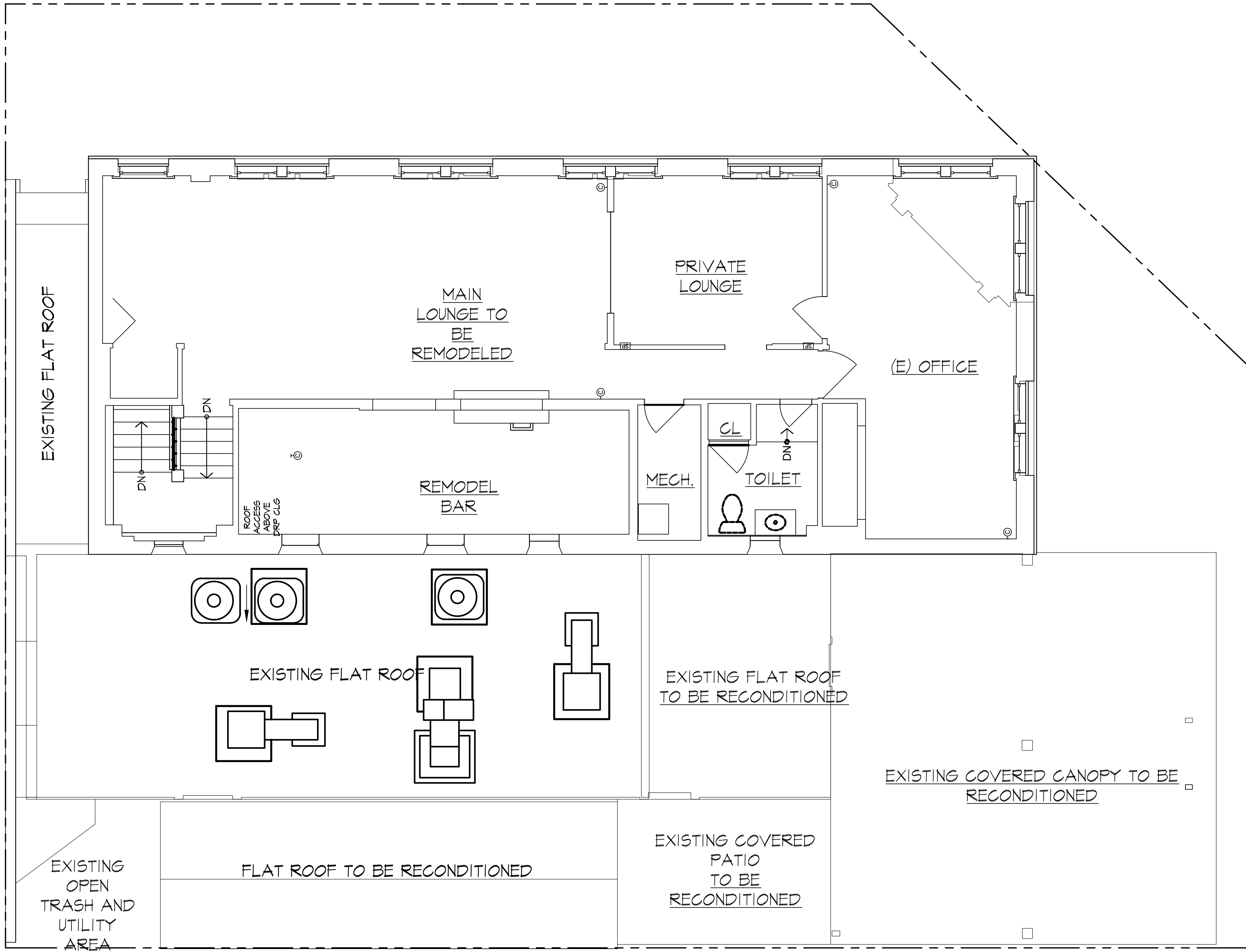
PA23-0499

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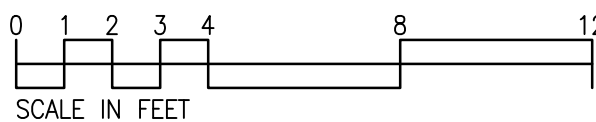
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Drawing Number

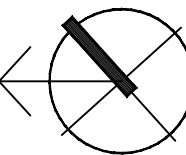
a201



EXISTING SECOND FLOOR PLAN/PARTIAL ROOF PLAN

$$1/4'' = 1'-0''$$


PROJE
NORTH



DEMOLITION PLAN LEGEND	
	(E) Existing walls or elements to remain
	(E) Existing walls or elements to be demolished

FLOOR PLAN NOTE:

FLOOR BASE AS-BUILT PLAN

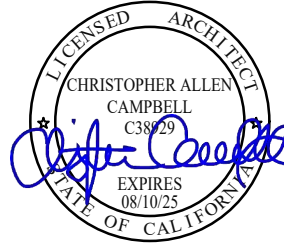
PREPARED AND PROVIDED BY OWNER,
ALL DIMENSIONS SHALL BE VERIFIED IN
FIELD FOR ACCURACY AND
TOLERANCES.

INDICATES: (E) EXISTING, (D) DEMOLITION, (N) NEW/PROPOSED

Old Town Temecula

rqtex

28465 Old Town Front Street, Suite 201
Temecula CA 92590



Designed

Drawn By CEG

Checked	CAC
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Date 11/04/2024

PA23-0499

GAUCHO GRILL

28645 OLD TOWN FRONT ST.
TEMECULA, CA 92590

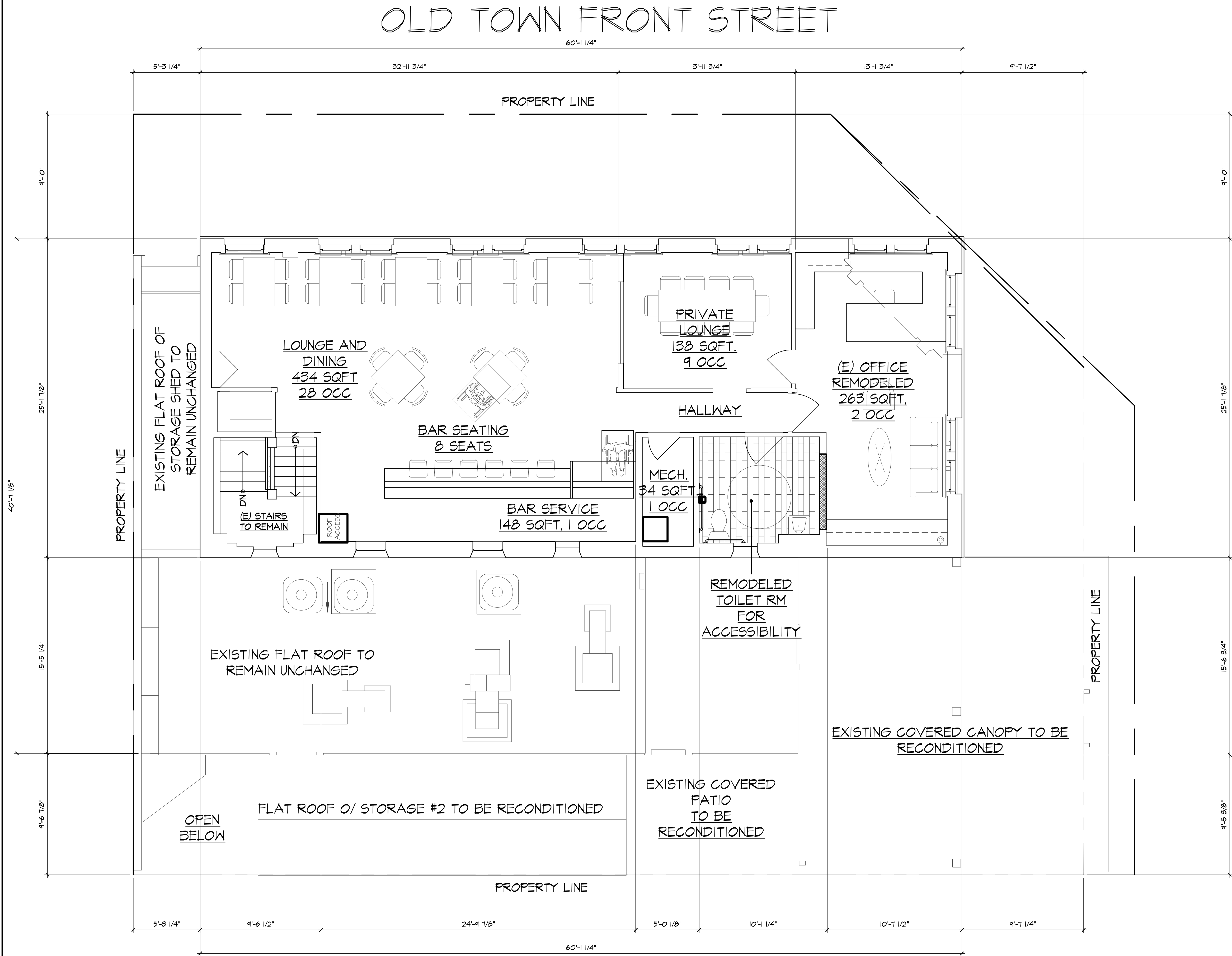
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Job Number: 2422

Drawing Number

a202

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PROPOSED PLAN LEGEND

	(N) NEW WALL (SHADED)
	(E) EXISTING WALLS TO REMAIN
	(E) EXISTING WALLS TO BE DEMOLISHED

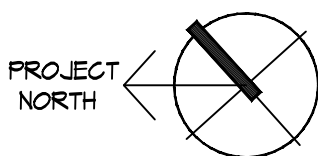
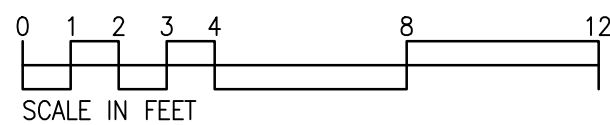
SECOND FLOOR LEVEL OCCUPANCY LOAD DATA					
ROOM #	OCCUPANCY	AREA IN SQ.FT.	LOAD FACTOR PER CEC TABLE	# OF OCCUPANTS	# OF EXITS
	MAIN LOUNGE/DINING	420	15	28	1
	PRIVATE LOUNGE	134	15	9	1
	BAR SERVICE	148	200	1	1
	OFFICE	263	150	2	1
	MECH.	34	200	1	1
	BAR FIXED SEATING	-	-	8	1
TOTALS				49	1

- NOTES:
1. ALL DINING AREA SHALL BE UNCONCENTRATED (TABLES AND CHAIRS) AREA
 2. MINIMUM DOOR WIDTH SHALL BE CALCULATED BY 0.2 x OCC.
 3. STAIR WIDTH SHALL BE CALCULATED BY 0.3 x OCC.
 4. OCCUPANT LOAD PER STORY: 1-500 OCC.=2 MIN. EXITS; 500-1,000 OCC.=3 MIN. EXITS; 1,000 OCC.=4 MIN. EXITS.

INDICATES: (E) EXISTING, (D) DEMOLITION, (N) NEW/PROPOSED

PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



Old Town Temecula

28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 983-0301

Designed
Drawn By CEG
Checked CAC
Date 11/04/2024

GAUCHO GRILL

28465 OLD TOWN FRONT ST.
TEMECULA, CA 92590

Sym.

Revisions

By

Date

Job Number: 2422

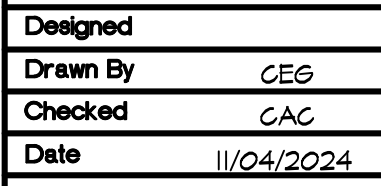
Drawing Number

a204

Old Town Temecula

rqtex

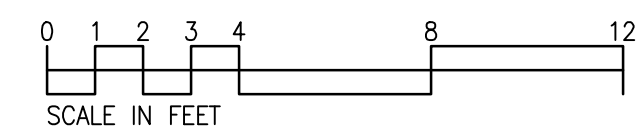
28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 693-0301



GAUCHO GRILL

Drawing Number _____

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PROPOSED SOUTH ELEVATION

$$1/4'' = 1'-0$$


PROPOSED EAST ELEVATION

$$\frac{1}{4}'' = 1'-0$$

FINISH SCHEDULE	
MATERIAL	1 (E) BUILDING CONCRETE WALL FACADE
	2 (E) SIMULATED STONE - CORNICE & SKEEP DETAILING
	3 (E) SIMULATED STONE MASONRY - WALL BASE (FOUNDATION)
	4 (E) PRECAST CONCRETE SIMULATED STONE CORNICE (fa)
	5 (E) SIMULATED STONE BAND (fa)
	(N) MASONRY WALL
	WOOD SIGNAGE WITH METAL FRAME AND LIGHTING (fb) SIGNAGE SHALL BE UNDER SEPARATE PERMIT
	(N) EXTERIOR WALL SCOOCE AND LIGHTINGS (fb)
	CONC. STEPS PER PLAN
	METAL GAP FLASHING AND DRIP EDGE
	(N) FOLDING GLASS WITH METAL FRAME WINDOW PANELS (fb)
	(N) METAL CANOPY WITH ALUM T&G CEILING PLANKS (fb)
	(E) DOORS AND WINDOWS TRIM
	(E) MAIN ENTRY DOOR
	(N) RAISED CORTEN STEEL PLANTER BOX (fb) +/- 30" HT.
	(E) METAL RAILING
	(N) METAL POST (fb)
	(E) WOOD HALL OR PARAPET WALL WITH STUCCO FACADE (fb)
COLOR	A SHERWIN-WILLIAMS CLASSIC WHITE SW 2824
	B SHERWIN-WILLIAMS COLONIAL REVIVAL TAN SW 2828
	C SHERWIN-WILLIAMS COLONIAL REVIVAL STONE SW 2827
	D SHERWIN-WILLIAMS COLONIAL REVIVAL GREEN STONE SW 2820
	E COLOR AND FINISH TO BE DETERMINED, UNDER SEPARATE PERMIT
	F STAINED OR PAINTED DARK BROWN
	G DARK BROWN OR BRONZE NATURAL FINISH
	H UNFINISHED
FOOTNOTES:	
(fa) MATERIALS AND FINISH SHALL BE NEO-CLASSICAL STYLE TO MATCH EXISTING ARCHITECTURE.	
(fb) ELEMENTS SHALL BE DESIGNED ACCORDING TO THE Old Town Specific Plan	
NOTES:	
BUSINESS SIGNAGE SHALL BE UNDER A SEPARATE PERMIT	

SITE ELEMENT NOTES:
ALL PLANTERS, POST AND PATIO
ROOF COVER SHALL BE SET TO
EDGE OF EXISTING ON SITE
ELEMENTS, VERIFY IF FIELD WITH
CITY INSPECTOR AND PUBLIC WORKS

Architectural elevation drawing of a building facade. The drawing includes several callouts and labels:

- 4 C**: Callout pointing to a decorative finial on the roofline.
- 7 E**: Callout pointing to a vertical sign that reads "GAUCHO GRILL".
- 1 A**: Callout pointing to a small decorative element on the roofline.
- (E) STORAGE SHED ROOF**: Label pointing to a sloped roof section.
- (E) ROOF**: Label pointing to a flat roof section.
- (N) METAL HANDRAIL**: Label pointing to a handrail on a set of stairs.
- 3 D**: Callout pointing to a small decorative element on the roofline.

$$1/4'' = 1'-0''$$


$$1/4'' = 1'-0''$$

FOOTNOTES:

(fa) MATERIALS AND FINISH SHALL BE NEO-CLASSICAL STYLE TO MATCH EXISTING ARCHITECTURE.

(fb) ELEMENTS SHALL BE DESIGNED ACCORDING TO THE Old Town Specific Plan

NOTES:

BUSINESS SIGNAGE SHALL BE UNDER A SEPARATE PERMIT

PA23-0499

Sym.
-
-
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-
$\triangle$

By	CEG	-	-	-	-	-	-
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Job Number:	2422
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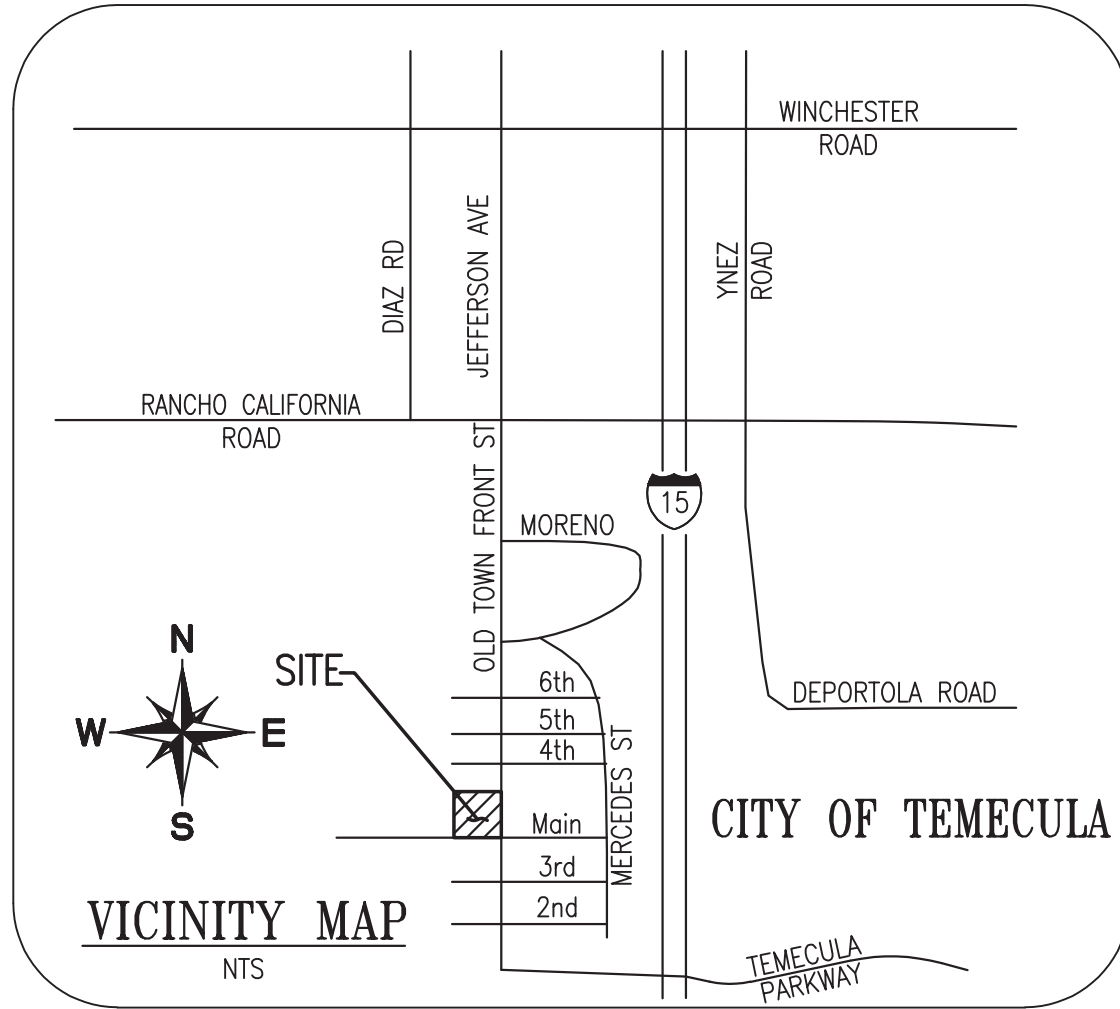
Drawing Number

a303

CITY OF TEMECULA
GAUCHO GRILL
BLOCK 27 TOWN OF TEMECULA LOTS 11 & 12
CONCEPTUAL GRADING PLAN

ABBREVIATIONS

COMM	COMMUNICATION
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
MH	MANHOLE
P/L	PROPERTY LINE
PROP	PROPOSED
R/W	RIGHT-OF-WAY
SEW	SEWER
TC	TOP OF CURB



EASEMENTS

THERE ARE NO EASEMENTS THAT ENCUMBER THE PROPERTY

SOURCE OF TOPOGRAPHY

CONTOURS & ELEVATIONS PROVIDED FROM
FIELD DATA GATHERED ON MAY 17, 2024 BY:
HESS DEVELOPMENT
28039 SCOTT ROAD, SUITE D-387
MURRIETA, CA 92563
951-325-2200

METES/BOUNDS

HESS DEVELOPMENT CALCULATED THE
METES AND BOUNDS BASED ON RECORD DATA

OWNER/APPLICANT:

ZIP THIRD INVESTMENTS, LLC
ADRIAN AMOSA
28645 OLD TOWN FRONT STREET
TEMECULA, CA 92590
PHONE: (562)-704-0744

ENGINEER/REPRESENTATIVE:

LOVE ENGINEERING
ATTN: THOMAS LOVE
31915 RANCHO CALIFORNIA ROAD, SUITE 200-166
TEMECULA, CA 92591
PHONE: (951) 440-8149 FAX: (951) 303-6701

BENCHMARK

BENCHMARK IS COUNTY OF RIVERSIDE J 63

AT THE BANK BUILDING, SET VERTICALLY IN THE
NORTHEAST WALL, 1.5' NORTHWEST OF THE
EAST CORNER OF A DOOR COLUMN AT THE EAST
CORNER OF THE BUILDING, 2.3' ABOVE THE
FIRST CONCRETE STEP.

ELEV=1005.651
DATUM=NAVD88

LEGAL DESCRIPTION:

LOTS 10 AND 11 IN BLOCK 27 OF TOWN OF
TEMECULA, IN THE COUNTY OF RIVERSIDE, STATE OF
CALIFORNIA, AS PER MAP RECORDED IN BOOK 15,
PAGE 726 OF MAPS, IN THE OFFICE OF THE COUNTY
RECORDER OF SAN DIEGO COUNTY, CALIFORNIA;

TOGETHER WITH THAT PORTION OF FRONT STREET AND
MAIN STREET AS VACATED BY RESOLUTION NO
75-104, RECORDED APRIL 23, 1975 AS INSTRUMENT
NO. 46491 OF OFFICIAL RECORDS OF RIVERSIDE
COUNTY, CALIFORNIA;

EXCEPT THE NORTHWESTERLY 75.00 FEET

SITE DATA

GROSS ACREAGE: 0.09 acres
DISTURBED AREA: 0.01 acres
NET USEABLE: 0.09 acres

EARTHWORK: CUT: 25 CY
FILL: 25 CY

APN:

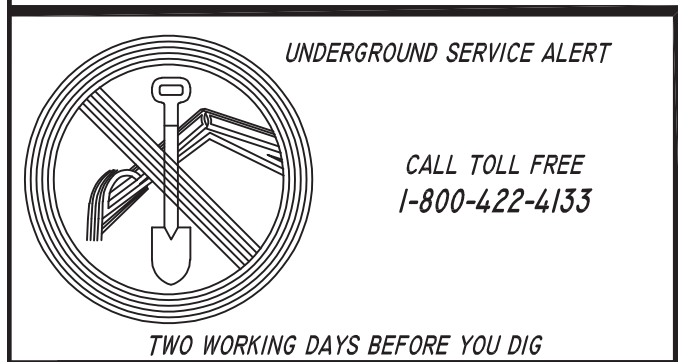
APN 922-036-011

LEGEND

---	ADA PATH OF TRAVEL
---	BOUNDARY
---	CENTERLINE
---	PCC
---	RIGHT-OF-WAY

CONSTRUCTION NOTES

- (1) INSTALL STAMPED CONCRETE PER OLD
TOWN SPECIFIC PLAN



TWO WORKING DAYS BEFORE YOU DIG

CONSTRUCTION RECORD	DATE	BY	REVISIONS	ACC'D	DATE	BENCH MARK	SCALE
Contractor							Horizontal
Inspector							Vertical
Date Completed							

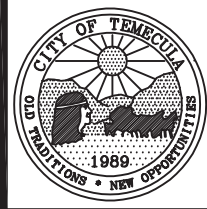


Designed By	Drawn By	Checked By
MG	MG	TL
Plans Prepared Under Supervision Of		
Thomas S. Love Date 01/25/25		
THOMAS S. LOVE		
R.C.E. No. 50993		

RECOMMENDED BY: DATE:

ACCEPTED BY: DATE:

RON MORENO, P.E., P.L.S.
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
R.C.E. NO. 69156



CITY OF TEMECULA
PA 23-0499 - GAUCHO GRILL
BLOCK 27 TOWN OF TEMECULA - LOTS 10 & 11
APN 922-036-011
CONCEPTUAL GRADING PLAN

Drawing No.

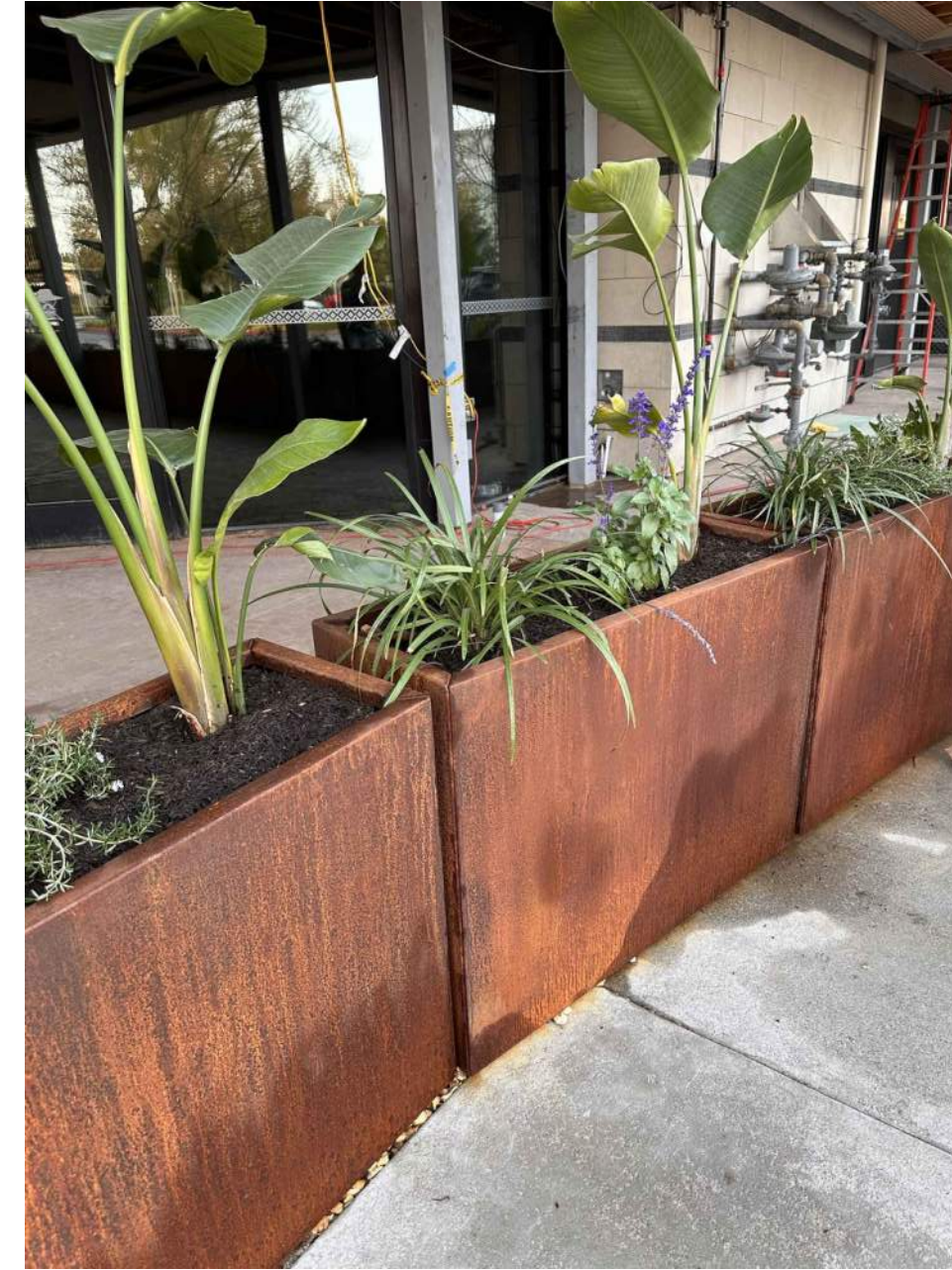
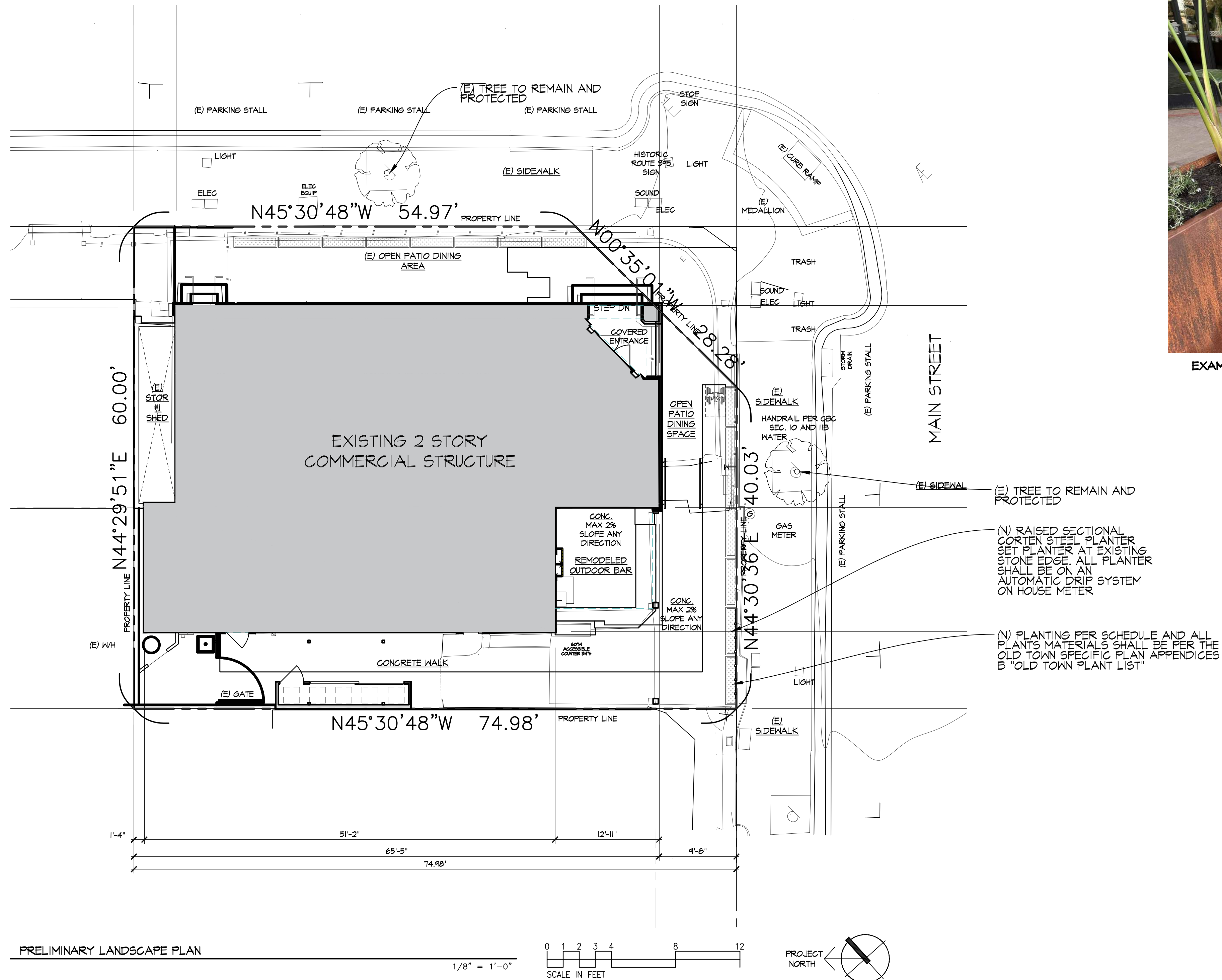
1

Sheet 1 of 1

LANDSCAPE PLANT MATERIAL

ALL PLANTS MATERIALS SHALL BE PER THE OLD TOWN SPECIFIC PLAN APPENDICES B "OLD TOWN PLANT LIST"

PRELIMINARY PLANT LIST OLD TOWN PLANT LIST TEMECULA VI. APPENDICES			
Botanical Name	Common Name	Type(s)	Water Use
Aloe	aloe	Shrub, Tree, Succulent	Low
Anigozanthos flavidus	kangaroo paw	Perennial	Low
Hermerocallis	Day Lily	Perennial	Medium
Arctostaphylos	Emerald Carpet	Ground Cover	Low
Baccharis 'Centennial'	Centennial baccharis	Shrub	Low
Epilobium Zauschneria	California fuchsia	Perennial	Low
Salvia Chamaedryoides	Blue Sage	Shrub	Low
Salvia Leucantha	Mexican Sage Bush	Shrub	Low



EXAMPLE OF RAISED CORTEN STEEL PLANTERS

Hermerocallis	Day Lily	1	2	Perennial	0.5 (med.)
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Epilobium Zauschneria	California Fuschia	3	3	Perennial	0.2 (low)
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Salvia Leucantha	Mexican Sage Bush	4	4	Shrub	0.2 (low)
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