

PARKER MEDICAL CENTER II

A.P.N. : 961-290-003



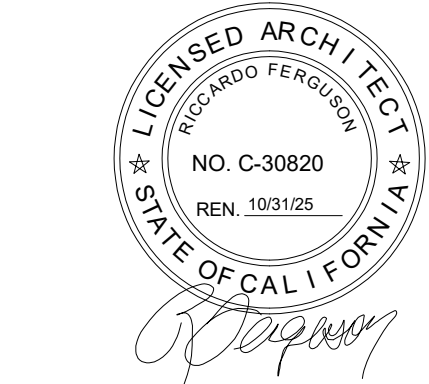
PA-22-0987

ZONING ANALYSIS		SCOPE OF WORK		EFFECTIVE CODES		SHEET LIST																																																																																							
<p>PROJECT NAME: PARKER MEDICAL CENTER II</p> <p>ADDRESS: AVENIDA DE MISSIONES, TEMECULA, CA, 92592</p> <p>A.P.N. : APN: 961-290-003</p> <p>GOVERNMENT AGENCY: CITY OF TEMECULA</p> <p>DESIGN CODE: 2022 CALIFORNIA BUILDING CODE</p> <p>TOTAL SITE AREA: 52,272 SF (1.20 AC)</p> <p>CONSTRUCTION: VA</p> <p>SPRINKLERED: YES</p> <p>STORIES: THREE (TWO STORIES OVER PARKING GARAGE)</p> <p>OCCUPANCY: B (BUSINESS/OFFICE USE) S-2 (PARKING GARAGE)</p> <p>GENERAL PLAN ZONE: PO-PROFESSIONAL OFFICE</p> <p>EXISTING/PROPOSED LANDUSE: MEDICAL OFFICE</p> <p>FAR: 0.482 %</p> <p>HEIGHT: 62'-5" PROPOSED HEIGHT</p> <p>INTERIOR SIDE YARD: 0 FT</p> <p>REAR YARD: 25 FT</p> <p>COVERAGE:</p> <p>PROPOSED BUILDING LOT COVERAGE: 21%</p> <p>REQUIRED LANDSCAPE COVERAGE: @ 25% 13,068</p> <p>PROVIDED LANDSCAPE COVERAGE: =13,146 SF @ 25.1%</p> <p>PROPOSED PARKING LOT COVERAGE: 10%</p> <p>PARKING: 85 SPACES PROVIDED (99 REQUIRED)</p> <p>FLOOR AREA</p> <table><tr><td>FIRST FLOOR PLATE AREA</td><td>= 13,465 S.F.</td></tr><tr><td>SECOND FLOOR PLATE AREA</td><td>= 12,992 S.F.</td></tr><tr><td>THIRD FLOOR PLATE AREA</td><td>= 12,196 S.F.</td></tr><tr><td>TOTAL BUILDING FLOOR AREA</td><td>=38,653 S.F.</td></tr></table>		FIRST FLOOR PLATE AREA	= 13,465 S.F.	SECOND FLOOR PLATE AREA	= 12,992 S.F.	THIRD FLOOR PLATE AREA	= 12,196 S.F.	TOTAL BUILDING FLOOR AREA	=38,653 S.F.	<p>THE PROJECT IS A DEVELOPMENT PLAN FOR A NEW THREE STORY MEDICAL OFFICE BUILDING LOCATED ON THE WEST SIDE OF AVENIDA DE MISSIONES, SOUTH OF TEMECULA PARKWAY.</p> <p>THE PROJECT PROPOSES TWO FLOORS OF MEDICAL OFFICES ABOVE AN AT-GRADE PARKING GARAGE ON A PREVIOUSLY GRADED LOT.</p> <p>FAR CALCULATION</p> <table><tr><td>13,465 SF AREA @ FIRST FLOOR EXCLUDED FROM FAR = 0 SF</td><td></td></tr><tr><td>854 SF LOBBY AREA @ FIRST FLOOR =</td><td>854 SF</td></tr><tr><td>12,196 SF OFFICE AREA @ SECOND FLOOR =</td><td>12,196 SF</td></tr><tr><td>12,196 SF OFFICE AREA @ THIRD FLOOR =</td><td>12,196 SF</td></tr><tr><td>TOTAL FLOOR AREA =</td><td>25,246 SF</td></tr><tr><td>TOTAL LOT AREA =</td><td>52,272 SF</td></tr><tr><td>FAR CALCULATION 25,246 / 52,272 =</td><td>.482 %</td></tr></table> <p>PARKING</p> <p><b>REQUIRED PARKING (MEDICAL OFFICES):</b></p> <table><tr><td>TENANT OFFICE SPACE # 200 @ 2,504 SF</td><td></td></tr><tr><td>TENANT OFFICE SPACE # 201 @ 2,163 SF</td><td></td></tr><tr><td>TENANT OFFICE SPACE # 202 @ 2,823 SF</td><td></td></tr><tr><td>TENANT OFFICE SPACE # 203 @ 2,376 SF</td><td></td></tr><tr><td>TOTAL OFFICE SPACE = @ 19,732</td><td></td></tr></table> <p>1 PARKING SPACE PER 200 SF (MEDICAL OFFICE) 19,732 SF /200= 98.66 SPACES = 99 SPACES REQUIRED</p> <p>PROVIDED PARKING SPACE: 82 SPACES PROVIDED:</p> <p>DISABLED PARKING SPACES REQUIREMENT:</p> <table><tr><td>76-100 SPACES</td><td>= 4 DISABLED REQUIRED</td></tr><tr><td>DISABLED PARKING SPACES</td><td>= 4 SPACES PROVIDED</td></tr></table> <p>BICYCLE PARKING REQUIREMENT 1 BICYCLE SPACE PER 20 VEHICLE SPACES 99 SPACES REQUIRED = 99/20 = 4.9 = 5 BICYCLE SPACES REQUIRED</p> <p>MOTOCYCLE PARKING REQUIREMENT 1 SPACE PER 25 VEHICLE SPACES, FOR FIRST 100 VEHICLE SPACES 99 SPACES REQUIRED = 99/25 = 3.96 = 4 MOTOR CYCLE SPACES REQUIRED</p> <p>NOTE: SEE T-7 FOR OVERALL SITE PARKING CALCULATION</p>		13,465 SF AREA @ FIRST FLOOR EXCLUDED FROM FAR = 0 SF		854 SF LOBBY AREA @ FIRST FLOOR =	854 SF	12,196 SF OFFICE AREA @ SECOND FLOOR =	12,196 SF	12,196 SF OFFICE AREA @ THIRD FLOOR =	12,196 SF	TOTAL FLOOR AREA =	25,246 SF	TOTAL LOT AREA =	52,272 SF	FAR CALCULATION 25,246 / 52,272 =	.482 %	TENANT OFFICE SPACE # 200 @ 2,504 SF		TENANT OFFICE SPACE # 201 @ 2,163 SF		TENANT OFFICE SPACE # 202 @ 2,823 SF		TENANT OFFICE SPACE # 203 @ 2,376 SF		TOTAL OFFICE SPACE = @ 19,732		76-100 SPACES	= 4 DISABLED REQUIRED	DISABLED PARKING SPACES	= 4 SPACES PROVIDED	<p>ALL WORK ON THIS PROJECT SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES, ORDINACES AND THEIR AMENDMENTS, INCLUDING, BUT NOT LIMITED TO:</p> <p>2022 California Building Code, CCR, TITLE 24, PART 2, Volumes 1 &amp; 2</p> <p>2022 California Mechanical Code, CCR, TITLE 24, PART 4</p> <p>2022 California Plumbing Code, CCR, TITLE 24, PART 5</p> <p>2022 California Electrical Code, CCR, TITLE 24, PART 3</p> <p>2022 California Fire Code, CCR, TITLE 24, PART 9</p> <p>2022 California Energy Code, CCR, TITLE 24, PART 6</p> <p>2022 California Administrative Code</p>		<table><thead><tr><th>Sheet Name</th><th>Sheet Number</th></tr></thead><tbody><tr><td>TITLE SHEET</td><td>T--0</td></tr><tr><td>OVERALL SITE PLAN</td><td>T-1</td></tr><tr><td>PARKER II SITE PLAN</td><td>T-2</td></tr><tr><td>FIRST FLOOR GARAGE PLAN</td><td>T-3</td></tr><tr><td>SECOND FLOOR CONCEPT PLAN</td><td>T-4</td></tr><tr><td>ROOF PLAN</td><td>T-5</td></tr><tr><td>TRASH DETAILS</td><td>T-6</td></tr><tr><td>PARKING SITE PLAN/ CALCS</td><td>T-7</td></tr><tr><td>EAST ELEVATION</td><td>A-1</td></tr><tr><td>SOUTH ELEVATION</td><td>A-2</td></tr><tr><td>WEST ELEVATION</td><td>A-3</td></tr><tr><td>NORTH ELEVATION</td><td>A-4</td></tr><tr><td>COMPOSITE COLORED ELEVATIONS</td><td>A-5</td></tr><tr><td>EAST / SOUTH DIMENSIONED ELEVATIONS</td><td>A-6</td></tr><tr><td>WEST / NORTH DIMENSIONED ELEVATIONS</td><td>A-7</td></tr><tr><td>SOUTH DIMENSIONED ELEVATION / SECTION</td><td>A-8</td></tr><tr><td>FAR</td><td>A-10</td></tr><tr><td>MATERIAL THEME BOARD</td><td>A-11</td></tr><tr><td>MATERIAL THEME BOARD</td><td>A-11A</td></tr><tr><td>EXTERIOR MATERIAL SAMPLE BOARD</td><td>A-12</td></tr><tr><td>NORTH-EAST PERSPECTIVE ELEVATION</td><td>P-1</td></tr><tr><td>NORTH-EAST PERSPECTIVE ELEVATION</td><td>P-12</td></tr><tr><td>SITE LIGHTING PLAN</td><td>E1.0</td></tr><tr><td>SITE LIGHTING PHOTOMETRIC PLAN</td><td>E1.0 PH</td></tr></tbody></table>		Sheet Name	Sheet Number	TITLE SHEET	T--0	OVERALL SITE PLAN	T-1	PARKER II SITE PLAN	T-2	FIRST FLOOR GARAGE PLAN	T-3	SECOND FLOOR CONCEPT PLAN	T-4	ROOF PLAN	T-5	TRASH DETAILS	T-6	PARKING SITE PLAN/ CALCS	T-7	EAST ELEVATION	A-1	SOUTH ELEVATION	A-2	WEST ELEVATION	A-3	NORTH ELEVATION	A-4	COMPOSITE COLORED ELEVATIONS	A-5	EAST / SOUTH DIMENSIONED ELEVATIONS	A-6	WEST / NORTH DIMENSIONED ELEVATIONS	A-7	SOUTH DIMENSIONED ELEVATION / SECTION	A-8	FAR	A-10	MATERIAL THEME BOARD	A-11	MATERIAL THEME BOARD	A-11A	EXTERIOR MATERIAL SAMPLE BOARD	A-12	NORTH-EAST PERSPECTIVE ELEVATION	P-1	NORTH-EAST PERSPECTIVE ELEVATION	P-12	SITE LIGHTING PLAN	E1.0	SITE LIGHTING PHOTOMETRIC PLAN	E1.0 PH
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PROJECT DIRECTORY				UTILITY PROVIDERS		VICINITY MAP																																																																																							
<p>OWNER: PARKER 215 LLC</p> <p>27989 HOLLAND RD</p> <p>MENIFEE, CA, 92584</p> <p>PHONE: 951-234-2819</p>		<p>SURVEY: DJI - DENNISE JANDA, INC.</p> <p>42104 REMINGTON AVENUE</p> <p>TEMECULA, CA. 92590</p> <p>PHONE: 951-699-8874</p> <p>EMAIL: DENNIS@PMCMAP.COM</p>		<p>Electric</p> <p>Southern California Edison: 800-684-8123</p> <p>Gas</p> <p>Southern California Gas Company: 800-427-2200</p> <p>High Speed Internet</p> <p>Exede + WildBlue Satellite Internet Services: 855-627-2553</p> <p>HughesNet Satellite Internet: 877-679-0029</p> <p>Southern California Telephone Company: 800-840-6673</p> <p>Time Warner Cable: 888-683-1000</p> <p>Frontier Communications: 800-921-8101 (En Español)</p> <p>Frontier Business Internet: 844-720-1909</p> <p>Phone</p> <p>Southern California Telephone Company: 800-840-6673</p> <p>Frontier Communications: 800-921-8101</p> <p>Frontier Business Phone: 844-720-1909</p> <p>Nextiva: 800-983-4289</p> <p>Sewer</p> <p>Eastern Municipal Water: 800-698-0400</p> <p>Television</p> <p>Time Warner: 888-892-2253</p> <p>Frontier Communications: 800-921-8101</p> <p>Dish 877-649-0412 (Spanish link)</p> <p>DirectTV 877-520-0155</p> <p>Water</p> <p>Automated Information Line: 951-296-6930</p> <p>Rancho California Water: 951-296-6900</p> <p>Trash</p> <p>CR&amp;R: 800-755-8112</p>																																																																																									
<p>ARCHITECT: MAA ARCHITECTS, INC.</p> <p>RICCARDO FERGUSON</p> <p>3146 TIGER RUN COURT, SUITE 104</p> <p>CARLSBAD, CA. 92010</p> <p>PHONE: 760-845-8278</p> <p>EMAIL:RICCARDO@MAAARCHITECTS.COM</p>		<p>LANDSCAPE ARCHITECT: JBPLA, INC.</p> <p>JAMES P. BENEDETTI</p> <p>4403 MANCHESTER AVE, SUITE 201</p> <p>ENCINITAS, CA. 92024</p> <p>PHONE: 760-479-0644</p> <p>EMAIL: JIM2JPBLA.COM</p>		<p>APPLICANT: HENRY-ANN CO., INC.</p> <p>CONSTRUCTION MANAGEMENT: MICHAEL &amp; LYDIA BASTIAN</p> <p>44605 AVENIDA DE MISSIONES, 207</p> <p>TEMECULA, CA. 92592</p> <p>PHONE: 951-294-1321</p> <p>EMAIL: MBASTIAN@HENRYANNINC.COM</p>		<p>FIRE PROTECTION: TBD</p>																																																																																							
<p>CIVIL ENGINEER: TEMECULA ENGINEERING CONSULTANTS, INC.</p> <p>STAN HEATON</p> <p>29377 RANCHO CALIFORNIA RD, STE 202</p> <p>TEMECULA, CA 92591</p> <p>PHONE: 951-676-1018</p> <p>EMAIL: STAN.HEATON@VERIZON.NET</p>		<p>SECURITY SYSTEMS: STRUCTURED WIRING</p> <p>AUDAX COMMUNICATIONS</p> <p>SERGIO MAGALLON</p> <p>1340 SPECIALTY DR, SUITE G</p> <p>VISTA, CA. 92081</p> <p>PHONE: 760-727-4562</p> <p>EMAIL: SERGIOM@AUDAXCOMM.NET</p>																																																																																											
<p>MECHANICAL AND PLUMBING ENGINEER: HARINTON MECHANICAL DESGIN INC.</p> <p>TOM HARINTON</p> <p>27475 YNEZ RD, #246</p> <p>TEMECULA, CA 92591</p> <p>PHONE: 616-368-8522</p> <p>EMAIL: TOM@HARINTONMECHANICAL.COM</p>																																																																																													
<p>ELECTRICAL ENGINEER: NEDC, INC.</p> <p>DAVID NUTTER</p> <p>3103 FALCON ST, SUITE J</p> <p>SAN DIEGO, CA. 92103</p> <p>PHONE: 619-278-0076</p> <p>EMAIL: DAVID@NEDINC.NET</p>																																																																																													

PARKER MEDICAL CENTER II

AVENIDA DE MISSIONES

TEMECULA, CA, 92592



DATE

PROJECT #

REVISIONS

2023.03.20

DRC NOV.6 , 202306.12

2025.02.05 RESPONSE

DRC NOV.6 , 202306.12

2025.03.12 RESPONSE

DRC MAY 5, 2025

COVER SHEET

SHEET:

-T-0



PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078



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DRC NOV.6 , 202306.12  
2025.02.05 RESPONSE  
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2025.03.12 RESPONSE  
DRC MAY 5, 2025

SHEET:

T1

LOW MEDIUM RESIDENTIAL  
RESIDENTIAL

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RESIDENTIAL

AVENIDA DE MISSIONES

PROFESSIONAL OFFICE  
OFFICE  
APN: 961-291-017

PROFESSIONAL OFFICE  
CHURCH  
APN: 961-290-007

TEMECULA CREEK VILLAGE  
PDO RESIDENTIAL

PARKER MEDICAL II  
APN: 961-290-003

OPEN SPACE CONSERVATION  
OPEN SPACE

EASEMENT NOTES:

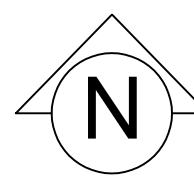
- |   |  |   |   |
|---|--|---|---|
| 1 | AN EASEMENT FOR TRASH ENCLOSURE RECORDED APRIL 22, 2024, INSTRUMENT NO. 2024-011940, OFFICIAL RECORDS, COUNTY OF RIVERSIDE.  | 8 | THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED CITY OF TEMECULA SUBDIVISION IMPROVEMENT AGREEMENT, EXECUTED BY AND BETWEEN CITY OF TEMECULA, CALIFORNIA, A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA AND SUBDIVIDER SCHOLEY TRUST, RECORDED SEPTEMBER 25, 2001, AS INSTRUMENT NO. INSTRUMENT NO. 01-464228 OF OFFICIAL RECORDS. |
| 2 | EASEMENT AND SLOPE AND LANDSCAPE MAINTENANCE AGREEMENT RECORDED JANUARY 7, 2004, INSTRUMENT NO. 2004-009399 OFFICIAL RECORDS, COUNTY OF RIVERSIDE.   | 9 | A RECIPROCAL EASEMENT FOR ACCESS, MONUMENT SIGNAGE, AND UTILITIES WHICH COVERS PARCELS 1 THROUGH 5, INCLUSIVE, OF PARCEL MAP NO. 29132, RECORDED ON APRIL 18, 2003, AS INSTRUMENT NO. 275055 OF OFFICIAL RECORDS.   |
| 3 | GRANT OF EASEMENT AND MAINTENANCE AGREEMENT RECORDED MAY 10, 2022 AS INSTRUMENT NO. 2022-021768.   |   |   |
| 4 | SLOPE EASEMENT ADJOINING THE LAST ABOVE MENTIONED, AT A RATION OF 2:1 AS REQUIRED BY GOVERNMENT AGENCIES, AS RESERVED BY HANCO CALIFORNIA, A PARTNERSHIP, IN DEED RECORDED AUGUST 21, 1967 AS INSTRUMENT NO. 72963 IMPERIAL CREDIT INDUSTRIES, IN, OF RIVERSIDE COUNTY, CALIFORNIA |   |   |

NON-PLOTTABLE EASEMENT NOTES:

- |   |  |
|---|--|
| 5 | AN EASEMENT FOR UNDERGROUND AND CONDUITS AND INCIDENTAL PURPOSES IN FAVOR OF GENERAL TELEPHONE COMPANY OF CALIFORNIA, RECORDED DECEMBER 17, 1968 AS INSTRUMENT NO. 122858 OF OFFICIAL RECORDS  |
| 6 | AN EASEMENT FOR THE TRANSMISSION OF ELECTRIC ENERGY FOR COMMUNICATIONS, TELECOMMUNICATIONS, INTERACTIVE VIDEO, INTELLIGENCE BY ELECTRONIC MEANS AND INCIDENTAL PURPOSES IN FAVOR OF VERIZON CALIFORNIA, INC., RECORDED DECEMBER 21, 2001 AS INSTRUMENT NO. 01-635845 OF OFFICIAL RECORDS |
| 7 | AN EASEMENT FOR PUBLIC UTILITY PURPOSES OR AS PUBLIC UTILITY EASEMENTS AND INCIDENTAL PURPOSES, IN FAVOR OF VERIZON CALIFORNIA, INC., RECORDED MARCH 29, 2006 AS INSTRUMENT NO. 06-221207  |

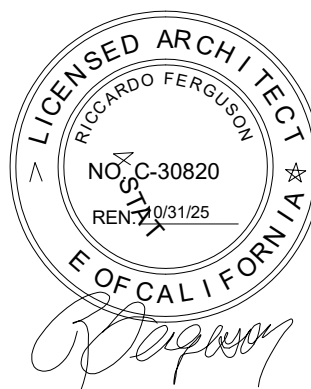
OVER ALL SITE PLAN

SCALE: 1/32" = 1'-0"





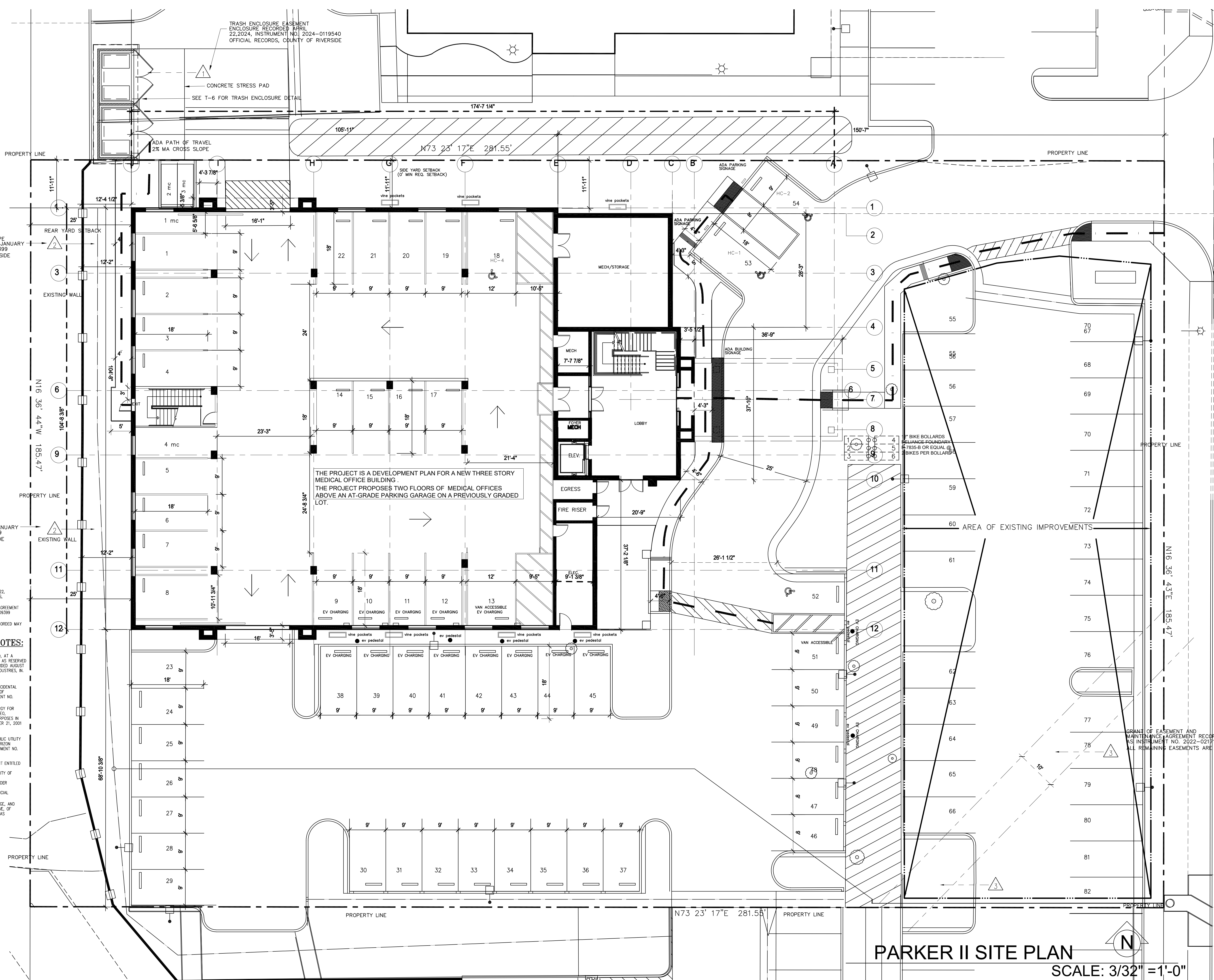
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DRC MAY 5, 2025

SITE PLAN  
SHEET:



PARKER II SITE PLAN

SCALE: 3/32" = 1'-0"

EASEMENT AND SLOPE AND LANDSCAPE  
MAINTENANCE AGREEMENT RECORDED JANUARY  
7, 2024, INSTRUMENT NO. 2024-0009399  
OFFICIAL RECORDS, COUNTY OF RIVERSIDE

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7, 2024, INSTRUMENT NO. 2024-0009399  
OFFICIAL RECORDS, COUNTY OF RIVERSIDE

EASEMENT NOTES:

- AN EASEMENT FOR TRASH ENCLOSURE RECORDED APRIL 22, 2024, INSTRUMENT NO. 2024-0119540, OFFICIAL RECORDS, COUNTY OF RIVERSIDE.
- EASEMENT AND SLOPE AND LANDSCAPE MAINTENANCE AGREEMENT RECORDED JANUARY 7, 2024, INSTRUMENT NO. 2024-0009399, OFFICIAL RECORDS, COUNTY OF RIVERSIDE.
- GRANT OF EASEMENT AND MAINTENANCE AGREEMENT RECORDED MAY 10, 2022 AS INSTRUMENT NO. 2022-0217168.

NON-PLOTTABLE EASEMENT NOTES:

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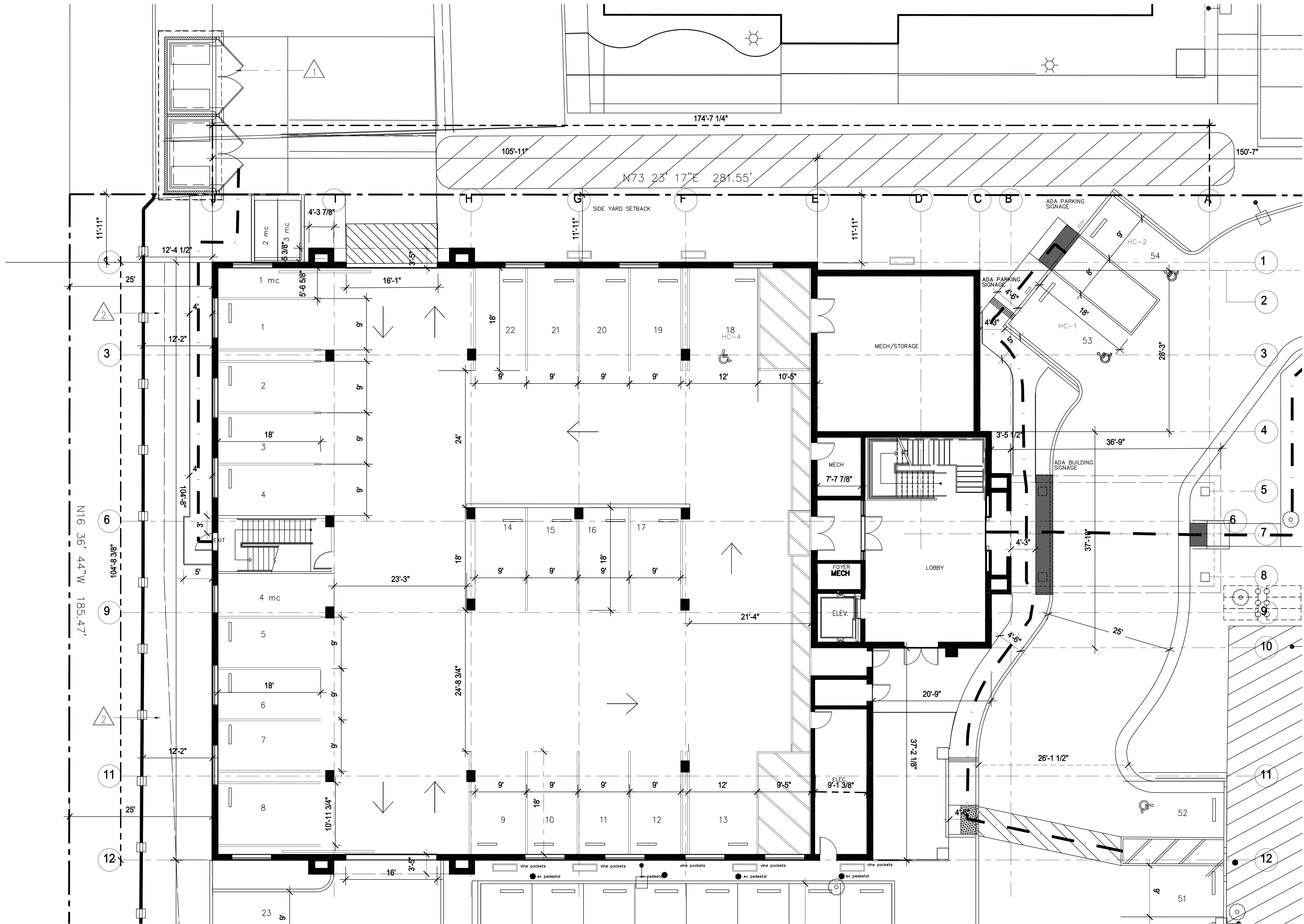
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PROJECT #  
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2025.02.05 RESPONSE  
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FIRST FLOOR

SHEET:

T3



FIRST FLOOR GARAGE PLAN  
SCALE: 1/8" = 1'-0"



PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078



DATE  
PROJECT #  
REVISIONS

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2025.03.12 RESPONSE  
DRC MAY 5, 2025

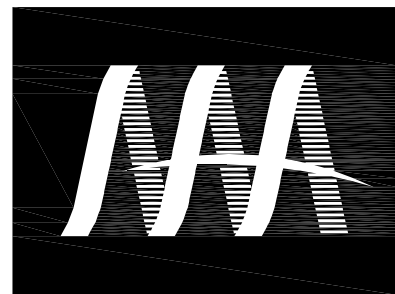
TYPICAL 2ND/3RD FLOOR

SHEET:

T4



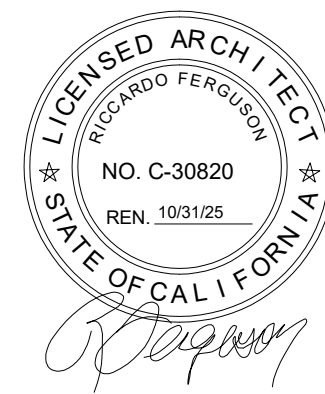




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PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078



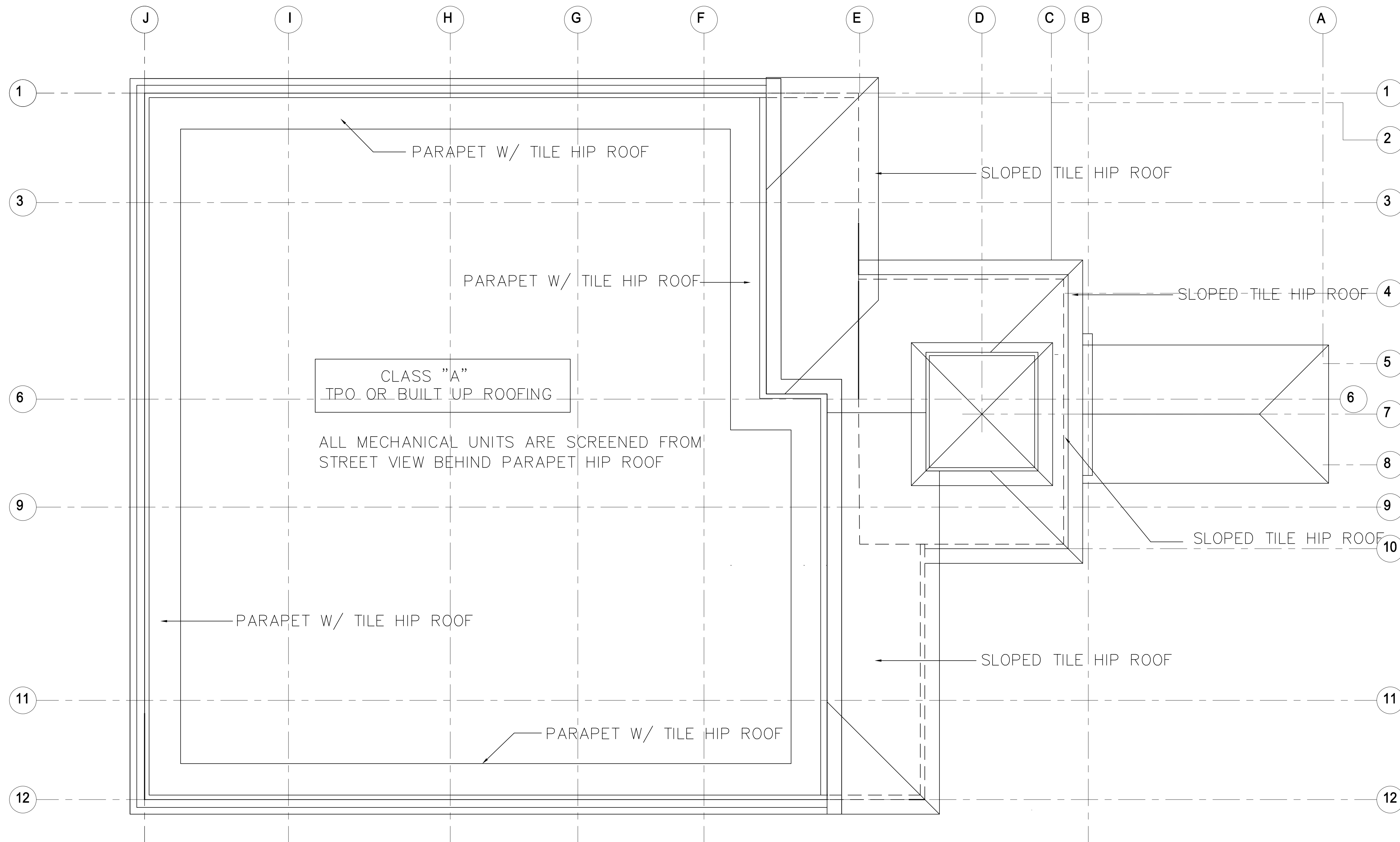
DATE  
PROJECT #  
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2025.03.12 RESPONSE  
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CONCEPT ROOF PLAN

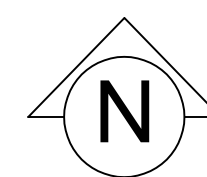
SHEET:

T5



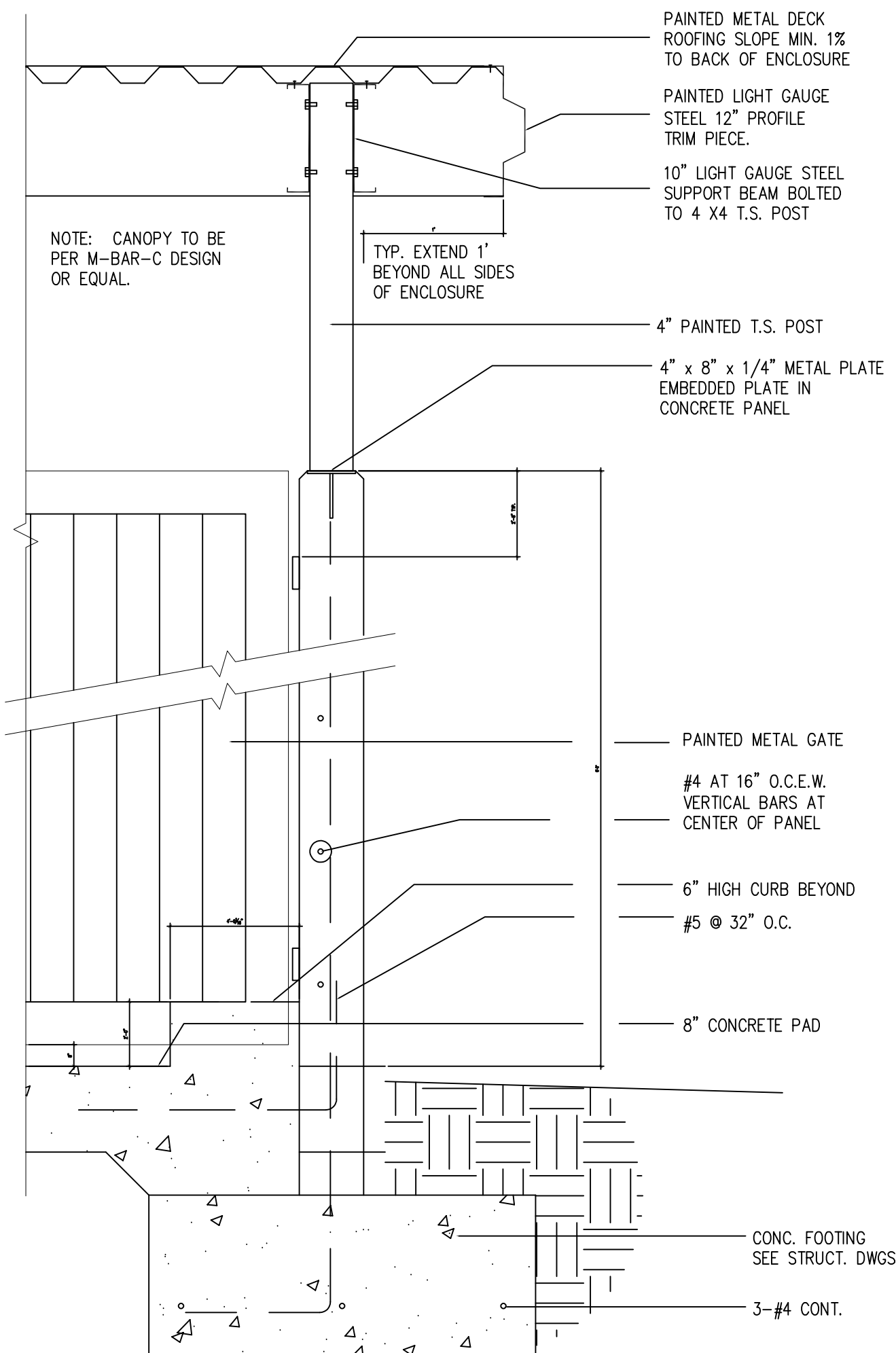
ROOF PLAN

SCALE: 1/8" = 1'-0"

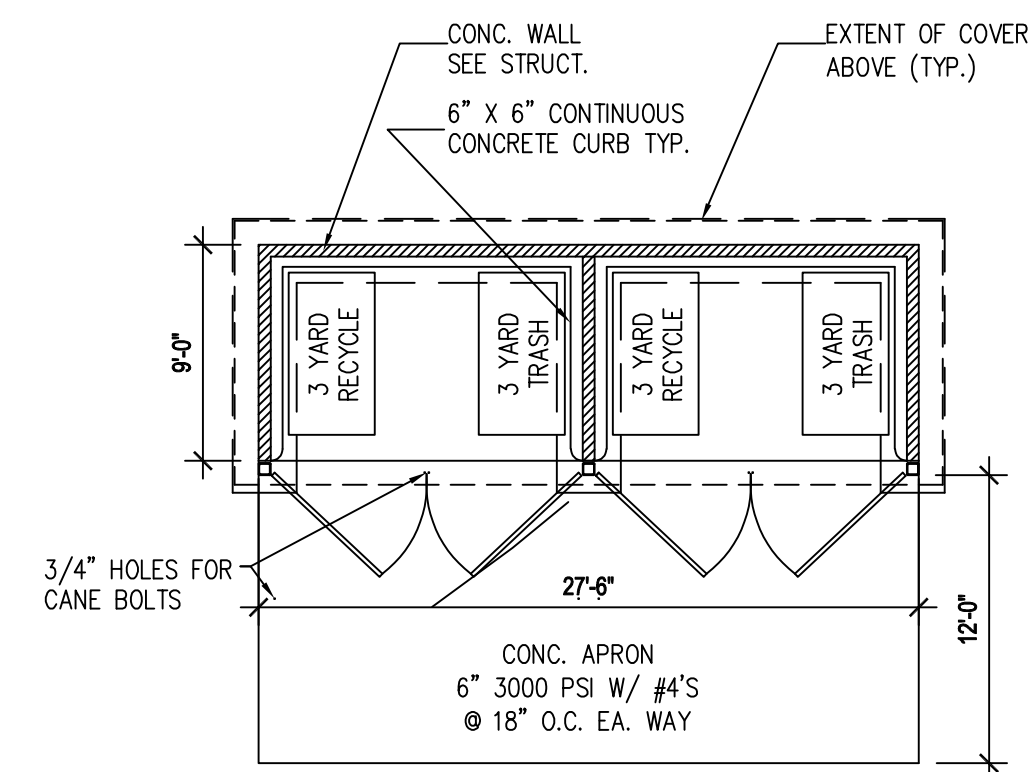




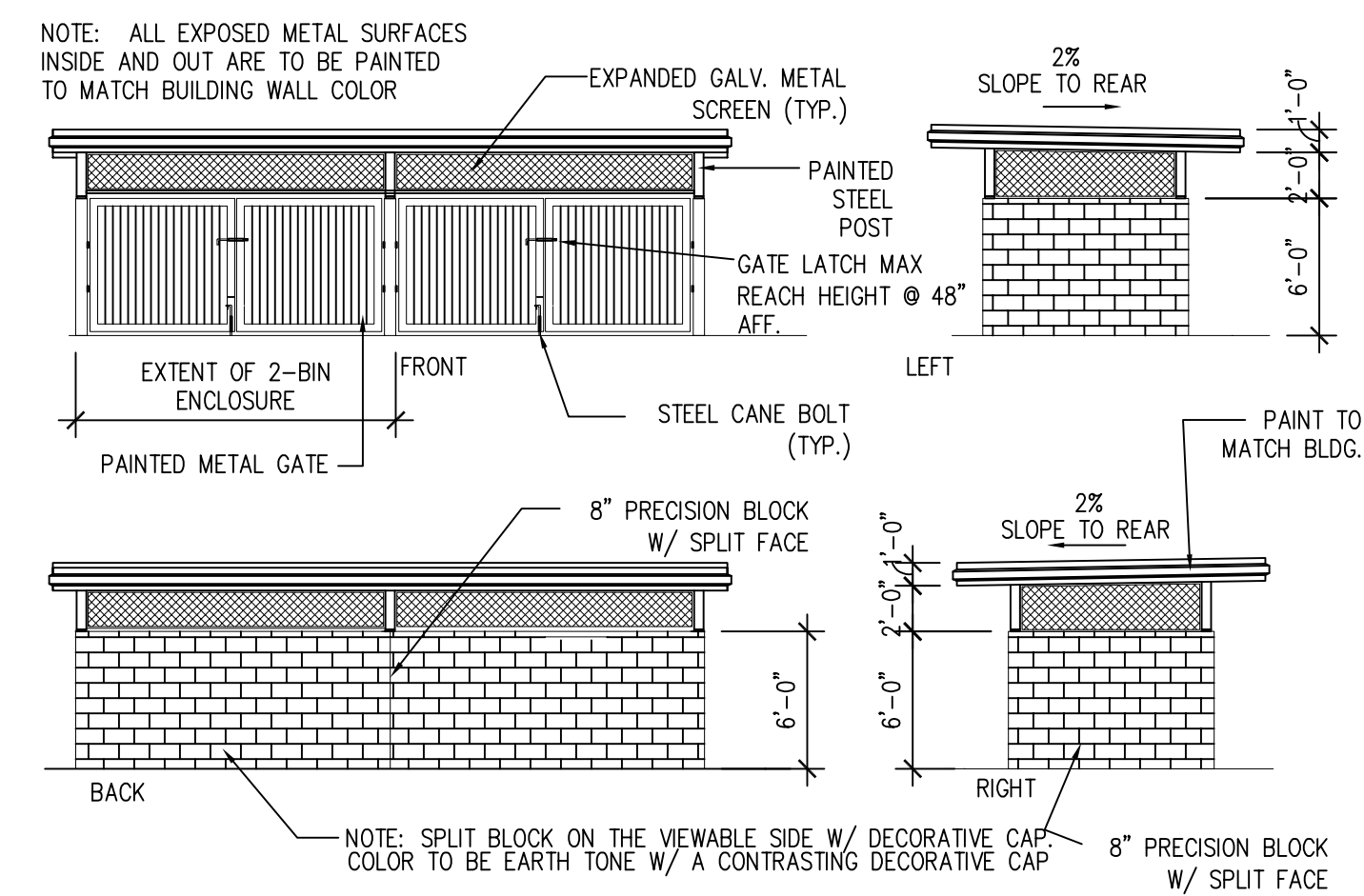
NOTE: ALL EXPOSED METAL SURFACES  
INSIDE AND OUT ARE TO BE PAINTED  
TO MATCH BUILDING WALL COLOR



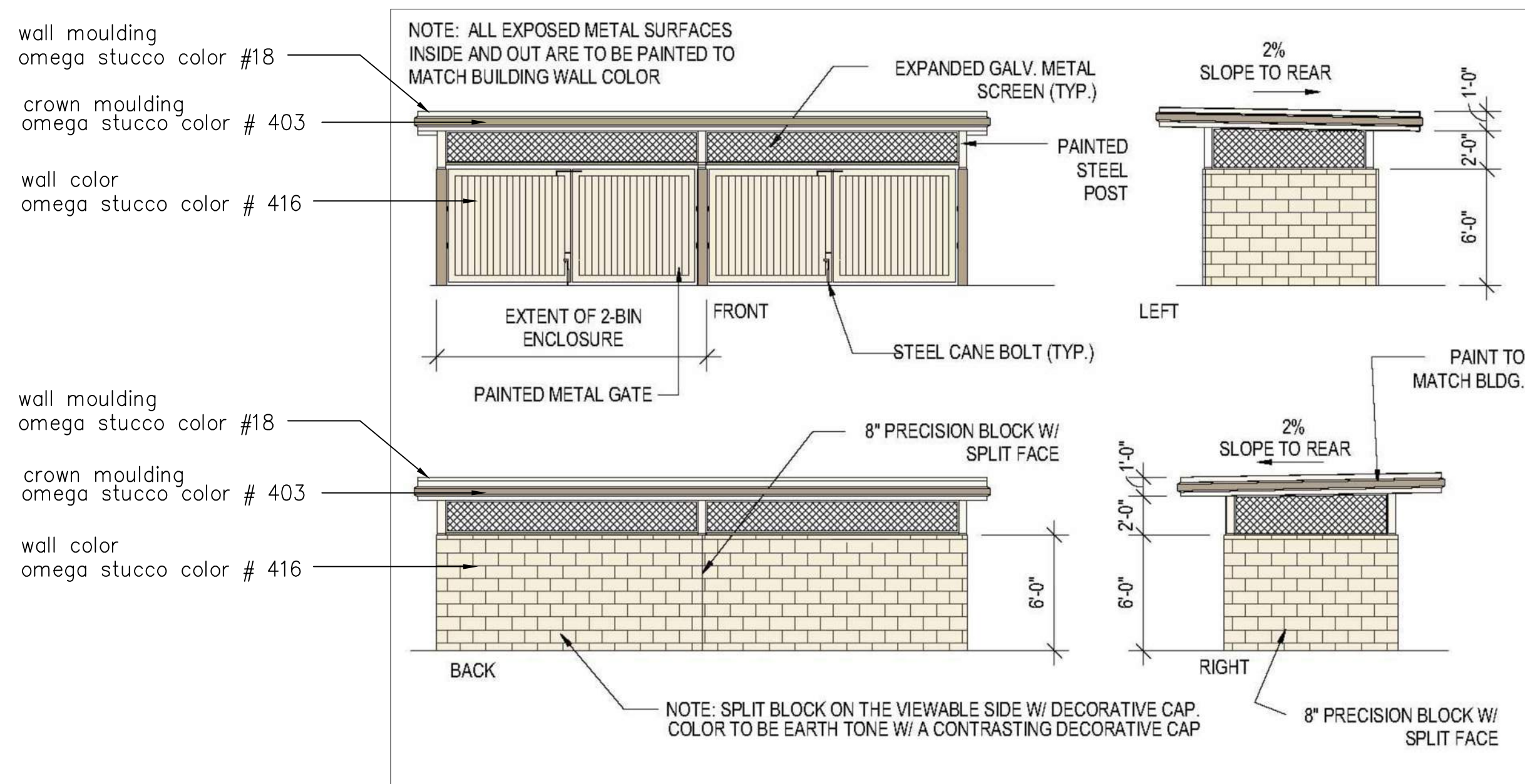
TRASH ENCLOSURE SEC.  
SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE PLAN  
SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE ELEV.  
SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE COLORS  
SCALE: NTS

#### TRASH ENCLOSURE NOTES

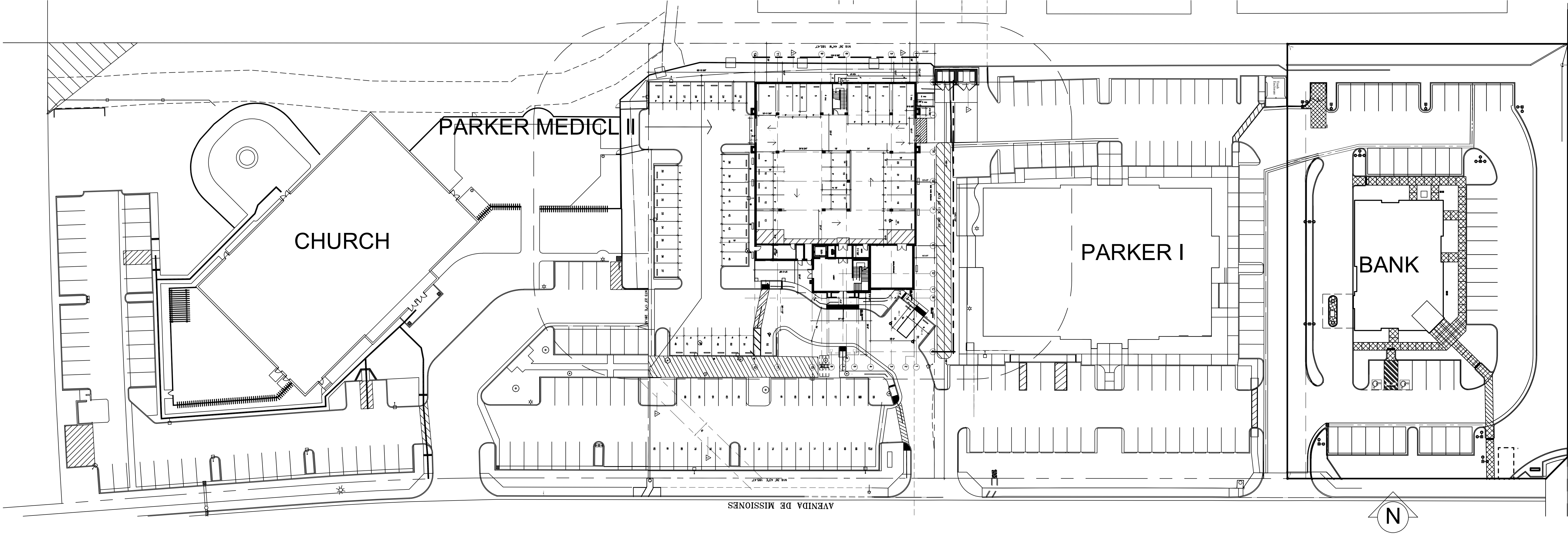
Provide a concrete stress pad in front of the trash enclosure/room that is wide enough for both front tires of the trash truck to be located on the stress pad when lifting the dumpsters.

Trash enclosures shall have working locking mechanisms on all access gates, including pedestrian access gates, that shall remain locked and accessible only to authorized users (residents, commercial tenants, etc.) during times when pick-up service is not scheduled.

Trash enclosures shall have anti-dumping design features incorporated into the design of the trash enclosure, which prevent the transfer of materials over or around the trash enclosure. Anti-dumping features must be designed in complimentary design manner to the existing or proposed building, and shall not include chain link fence, razor wire, or barbed wire." The open area shown below is what this comment pertains to. This area shall not remain open and available for dumping or other activities.

Trash enclosures require a solid cover. Include a solid cover in the design of the trash enclosure.





OVER ALL PARKING SITE PLAN  
SCALE: 1/32" =1'-0"

OVER ALL PARKING SITE SUMMARY

	TOTAL PARKING REQUIRED	TOTAL PARKING PROVIDED
FIRST CITIZENS BANK PARKING REQUIRED @ 5017 SF / 300 = 17 SPACES REQUIRED PARKING PROVIDED @ = 42 SPACES	17 SPACES	42 SPACES
PARKER MEDICAL CENTER PARKING REQUIRED @ 22,500 SF /300 = 75 SPACES REQUIRED PARKING PROVIDED @ = 80 SPACES	75 SPACES	80 SPACES
PARKER MEDICAL II PARKING REQUIRED @ 19,732 SF / 200 = 99 SPACES REQUIRED PARKING PROVIDED @ = 80 SPACES	99 SPACES	82 SPACES
CHURCH PERMITTED PARKING REQUIRED (3-2005 PERMIT) =127 SPACES REQUIRED PARKING PROVIDED @ = 133 SPACES	127 SPACES	133 SPACES
TOTAL PARKING	318 SPACES	337 SPACES

+19 SPACES



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PARKER MEDICAL II  
AVENIDA DE MISSIONES  
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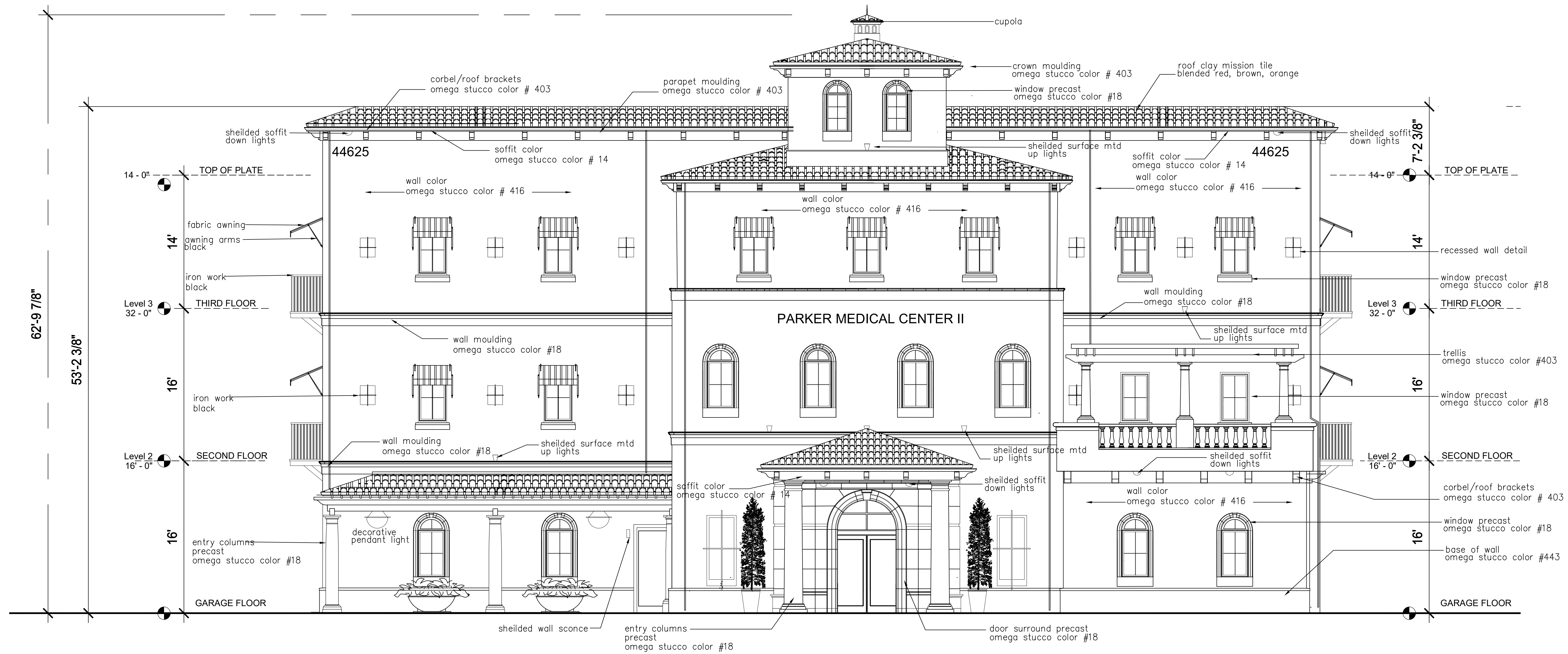
RECIPPRCL PARKING PLAN

SHEET:

T-7

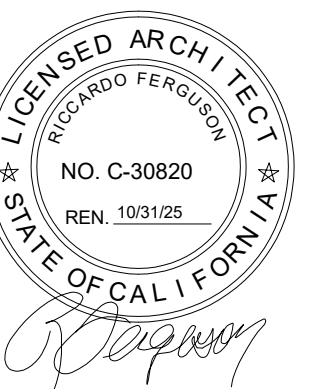


PARKER MEDICAL II  
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EAST ELEVATION

SCALE: 3/16" = 1'-0"



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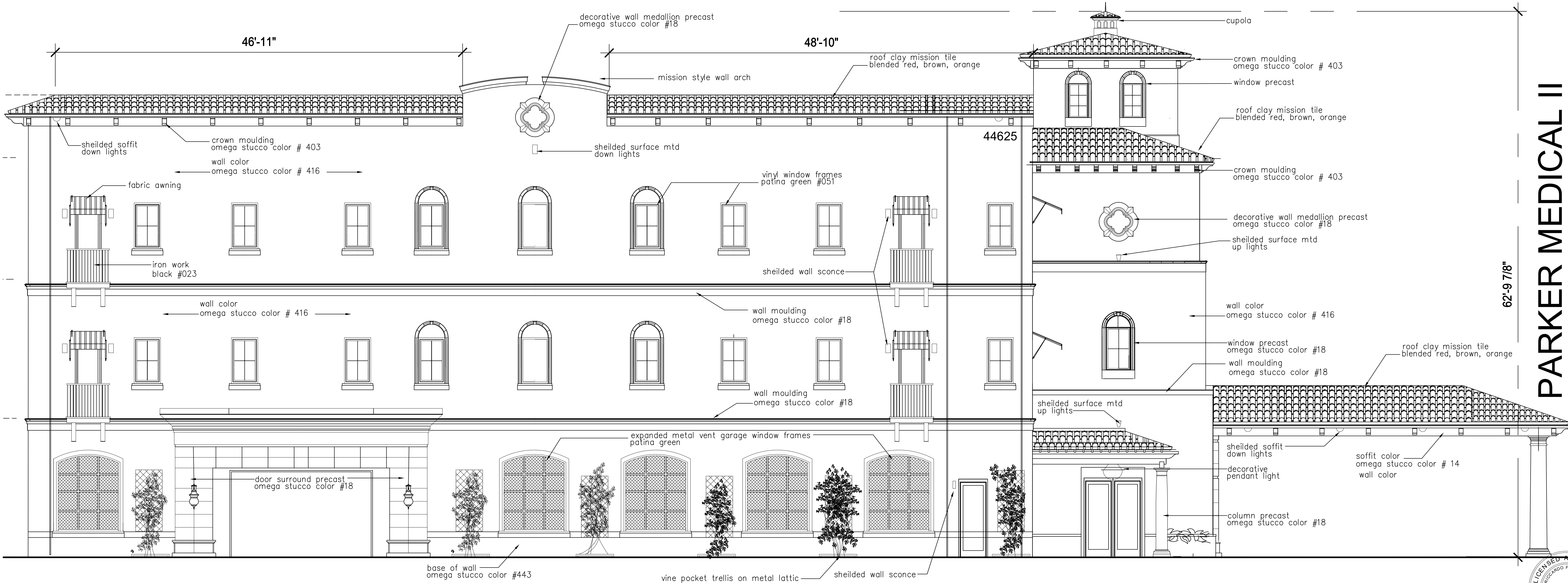
ELEVATIONS

SHEET:

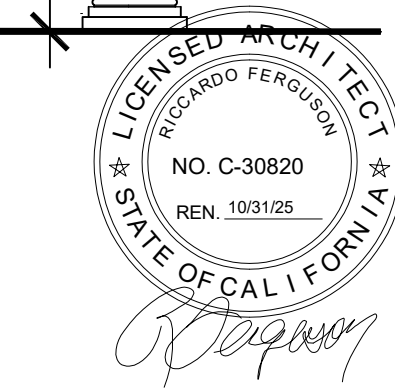
A-1



PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078



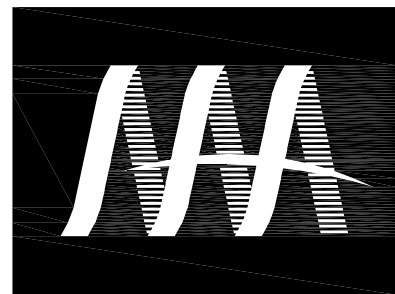
SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



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ELEVATIONS





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PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078



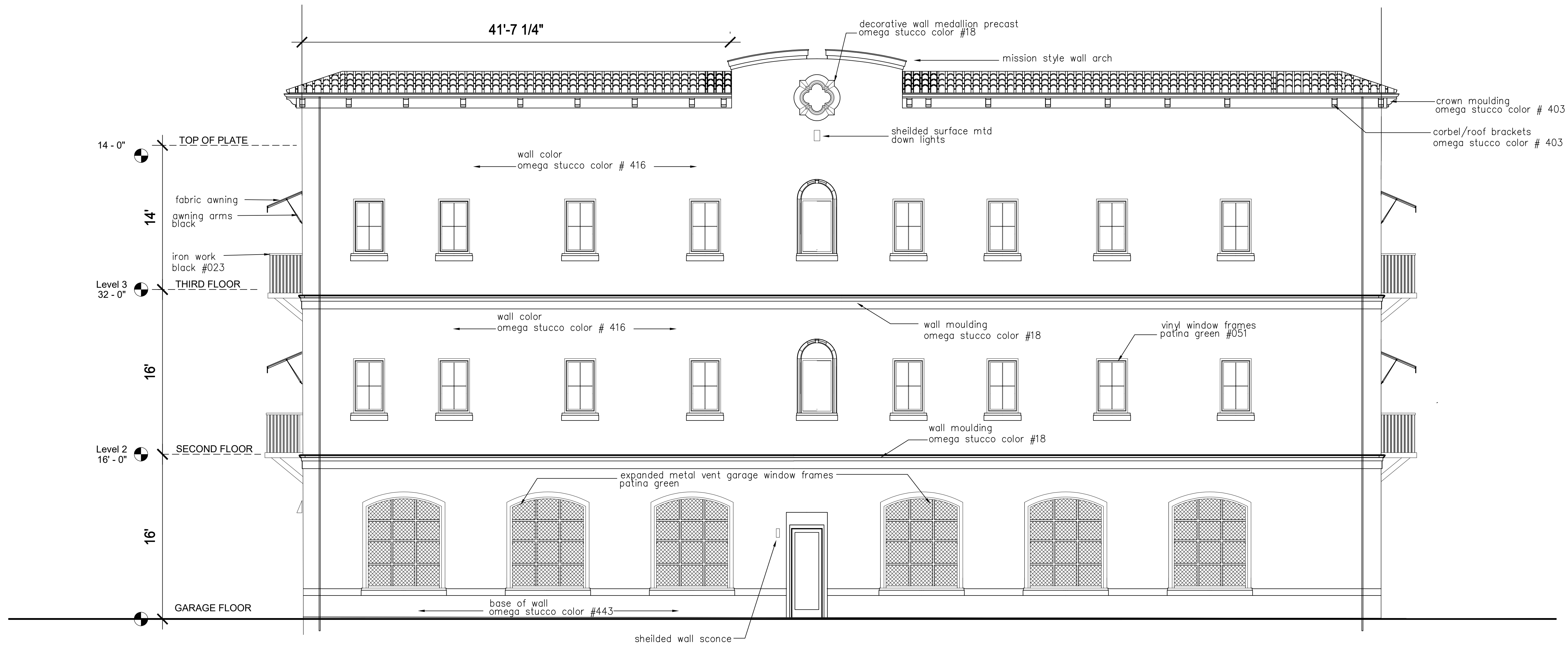
DATE  
PROJECT #  
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2025.02.05 RESPONSE  
DRC NOV.6 , 202306.12  
2025.03.12 RESPONSE  
DRC MAY 5, 2025

ELEVATIONS

SHEET:

A-3



WEST ELEVATION

SCALE: 3/16" = 1'-0"



PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078

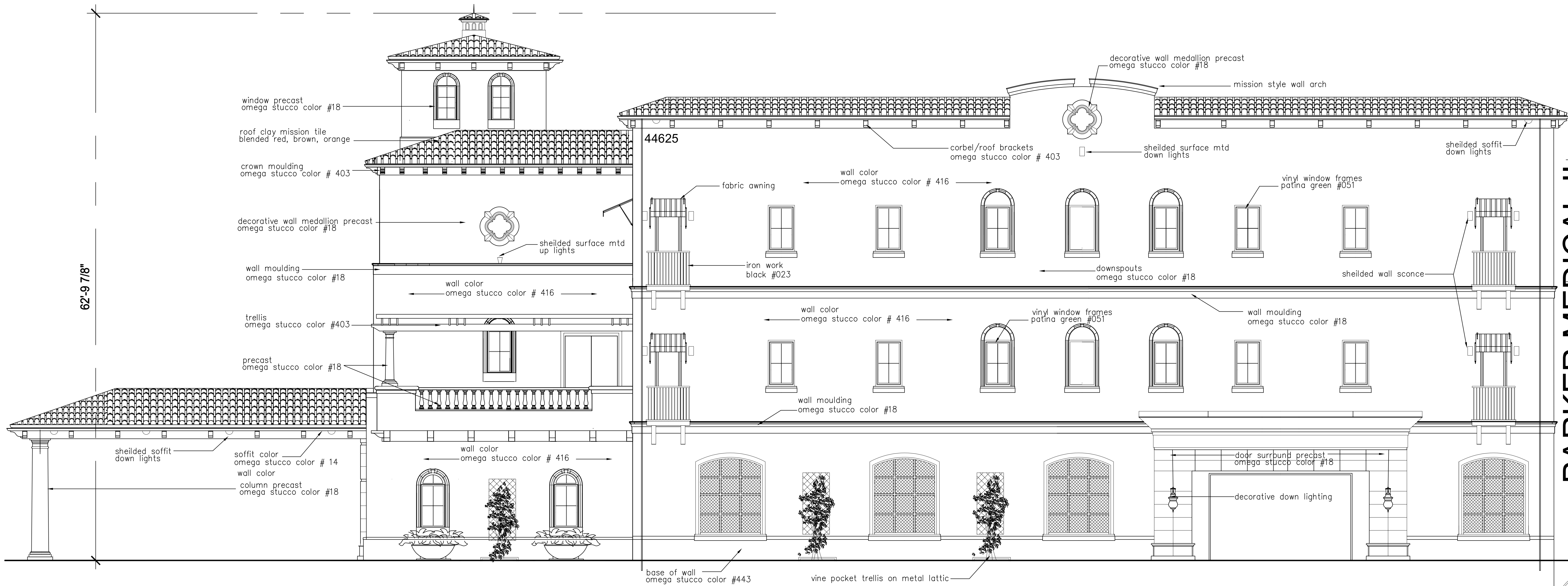


DATE  
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ELEVATIONS

SHEET:

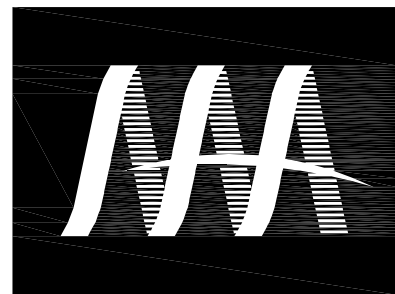
A-4



NORTH ELEVATION

SCALE: 3/16" =1'-0"





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PARKER MEDICAL II  
AVENIDA DE MISSIONES  
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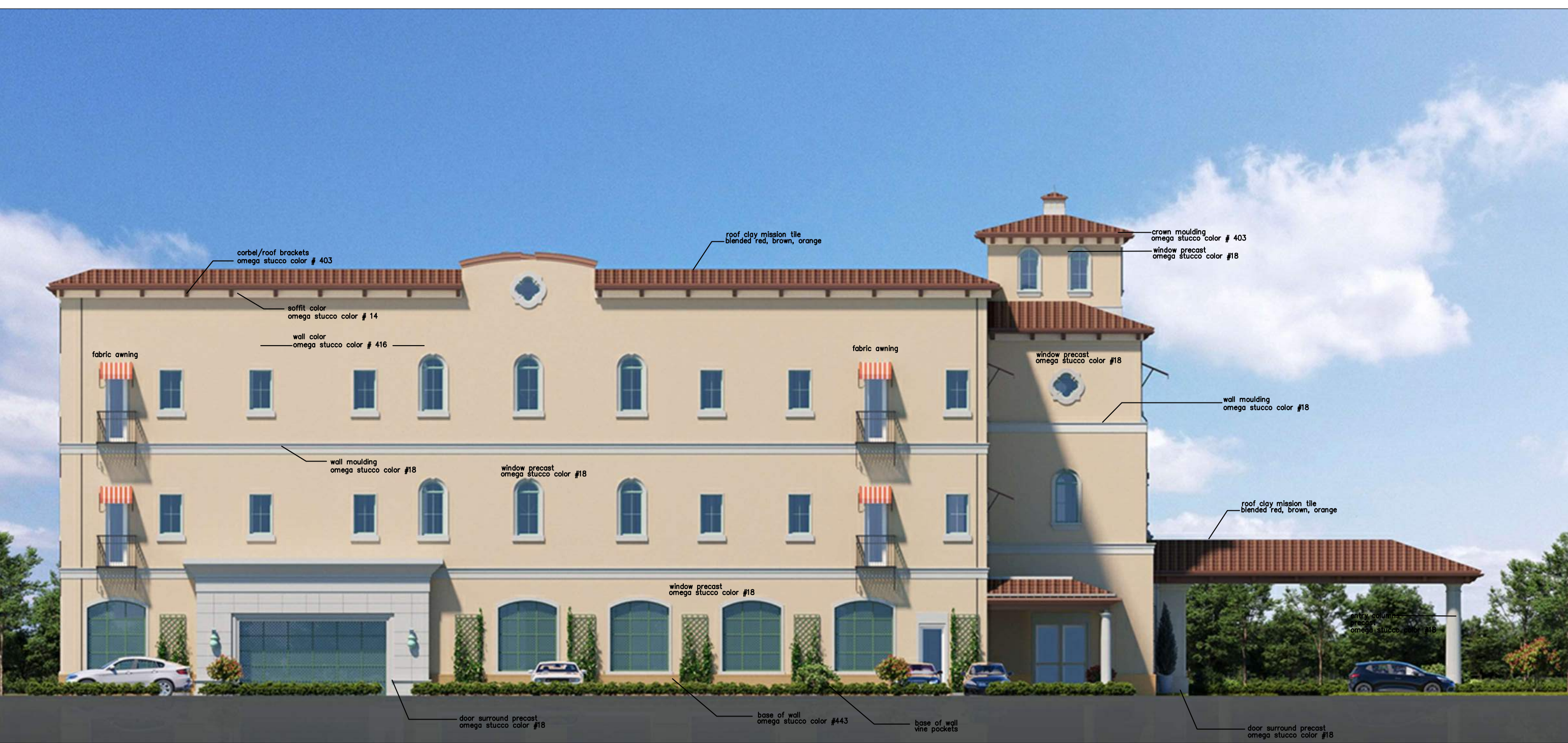
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A-5

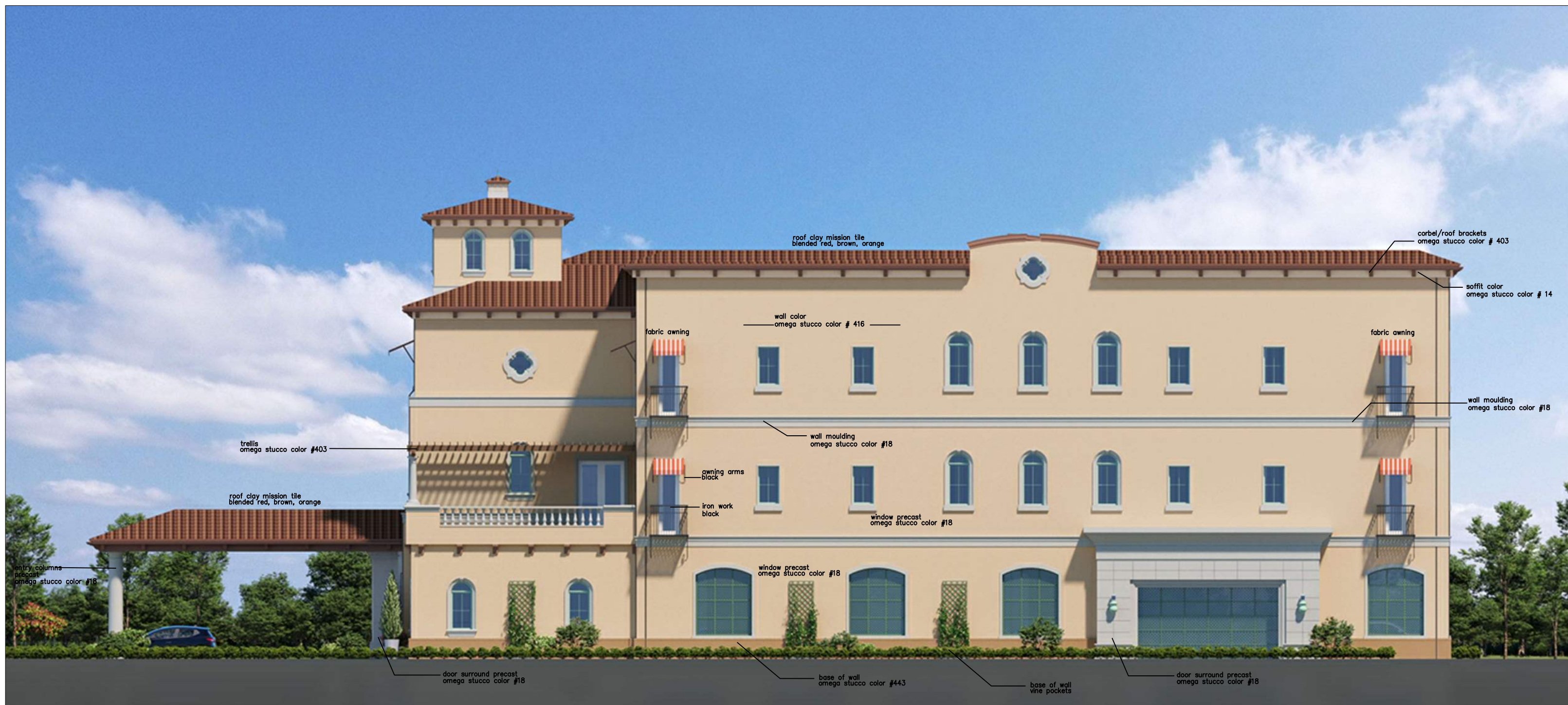
COLOR ELEVATIONS



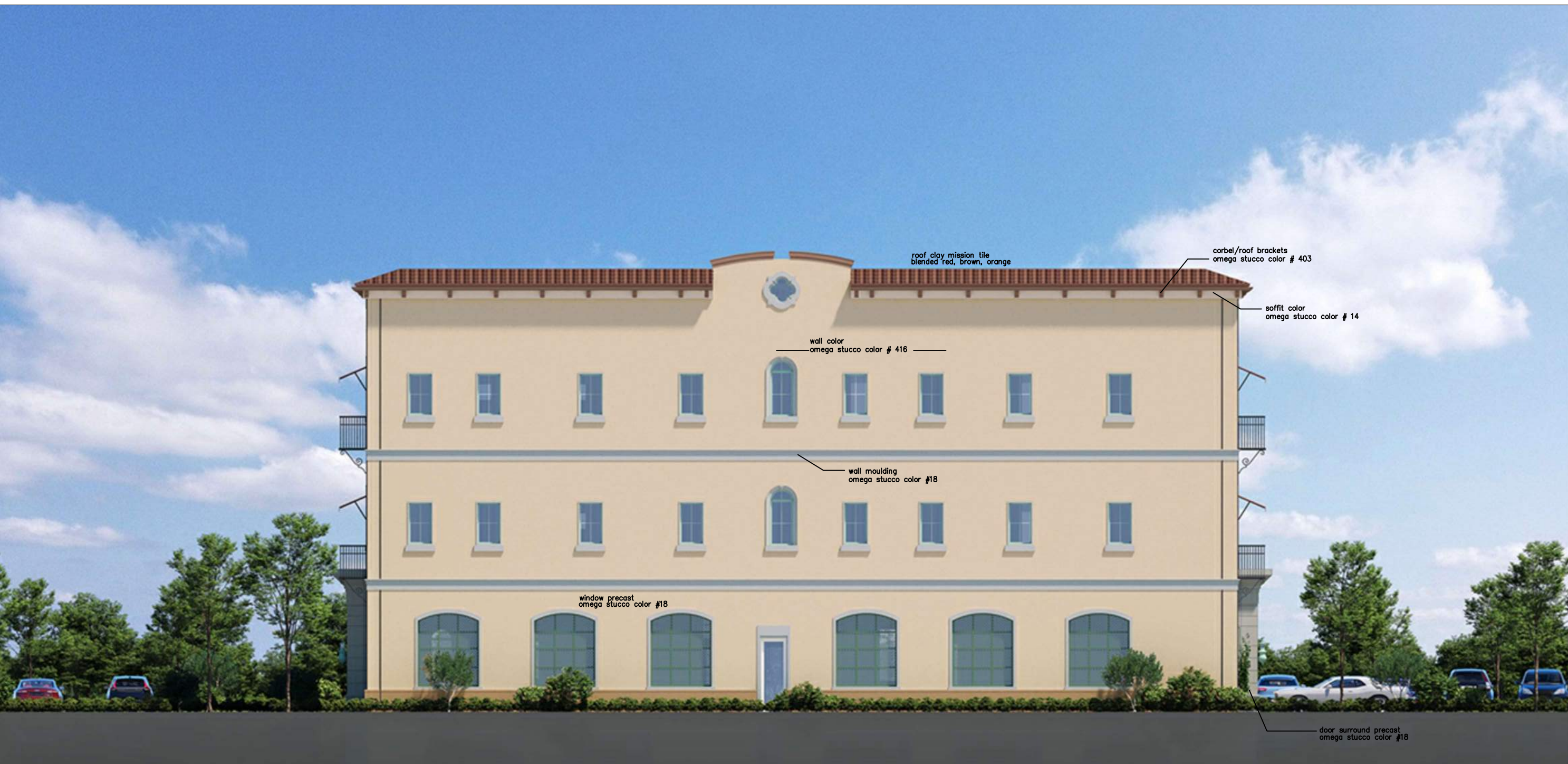
1 east elevation  
nts



2 south elevation  
nts

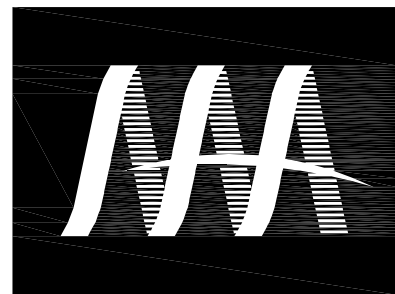


3 north elevation  
nts



4 west elevation  
nts





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PARKER MEDICAL II  
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ELEVATIONS

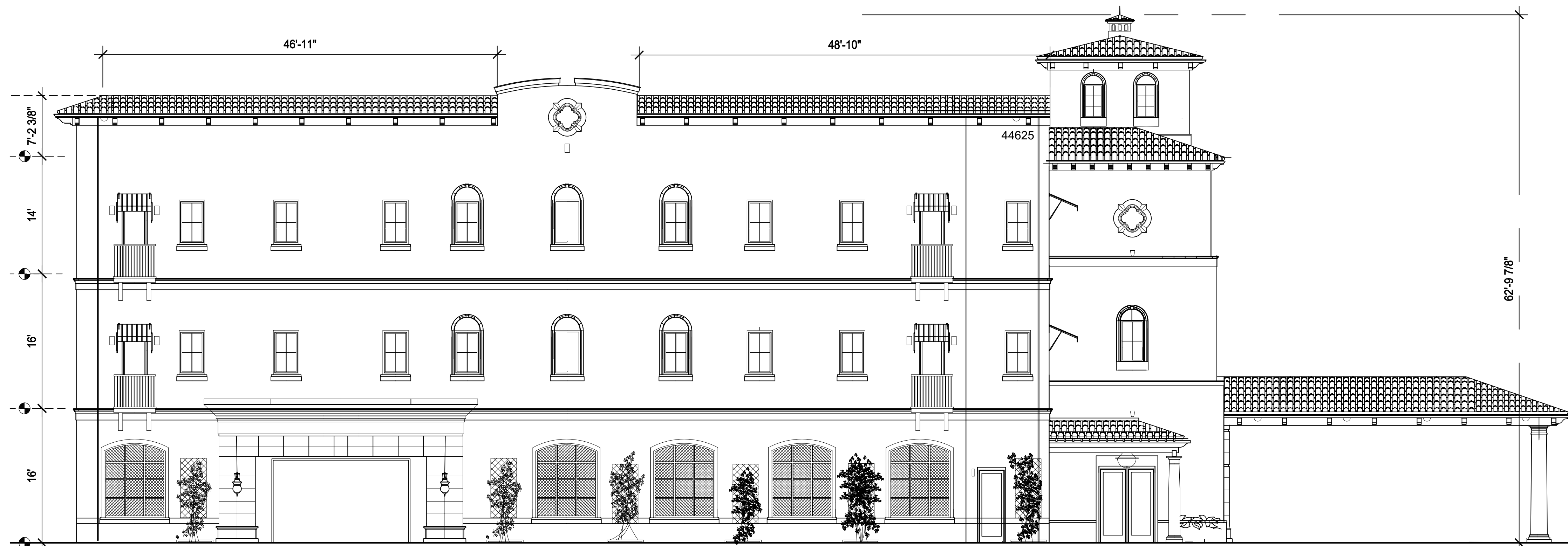
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A6



EAST ELEVATION

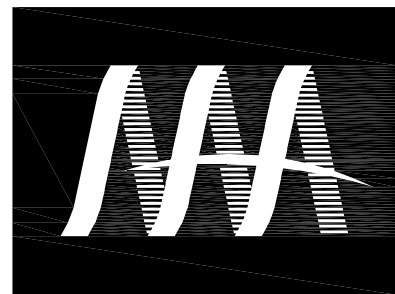
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SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

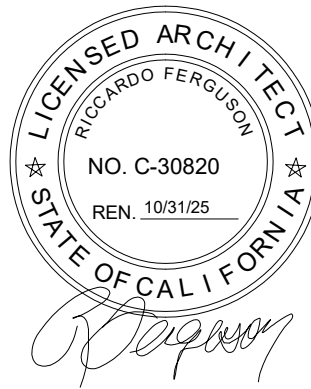




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PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078

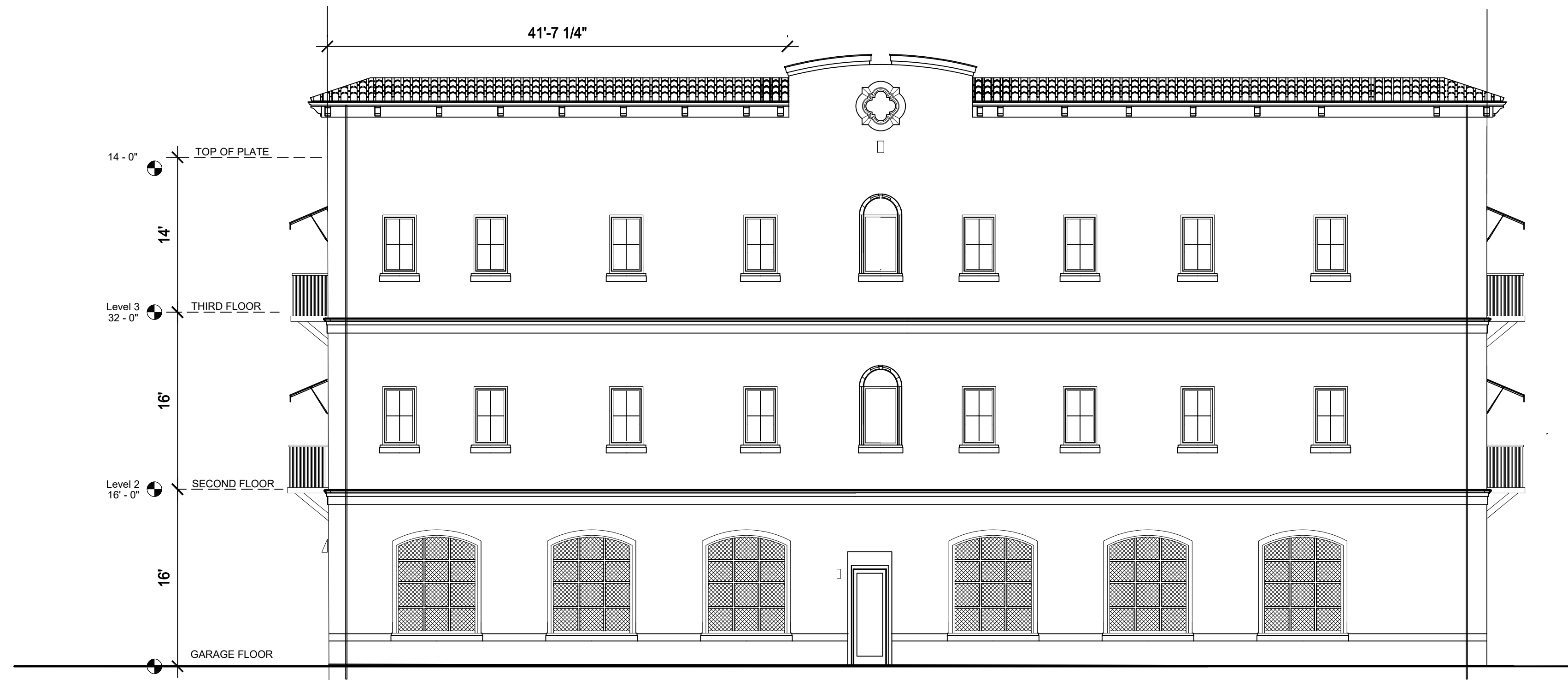


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ELEVATIONS

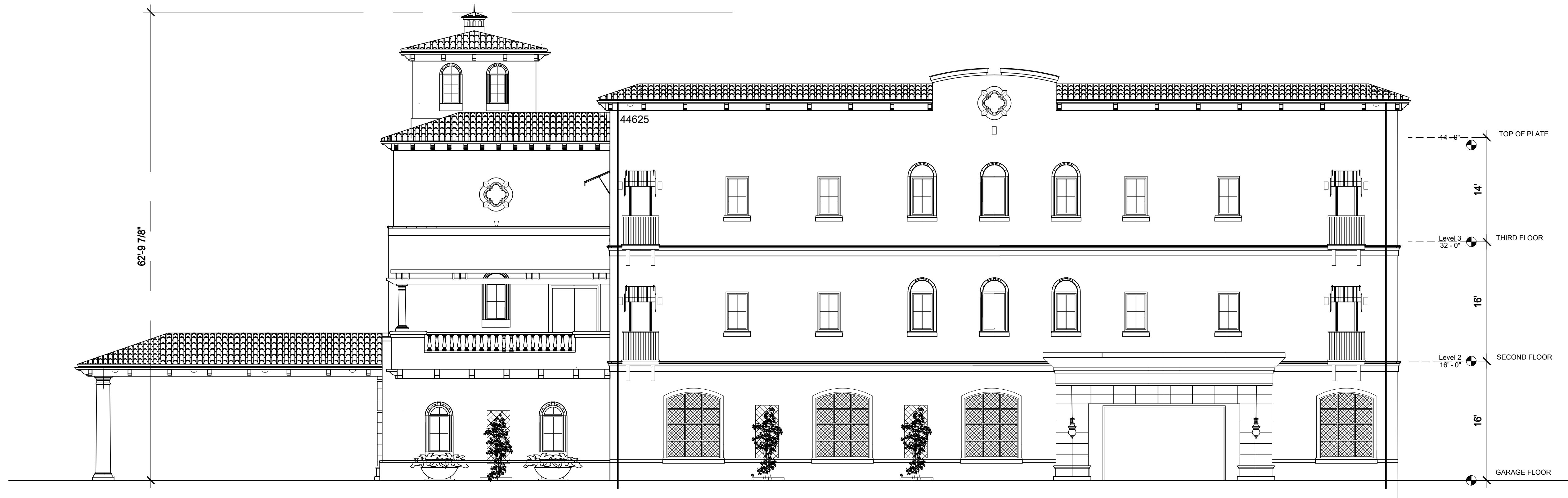
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A7



WEST ELEVATION

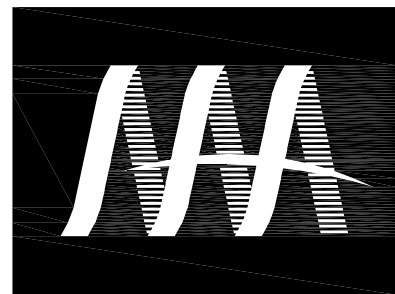
SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"





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AVENIDA DE MISSIONES  
TEMECULA, CA 92078



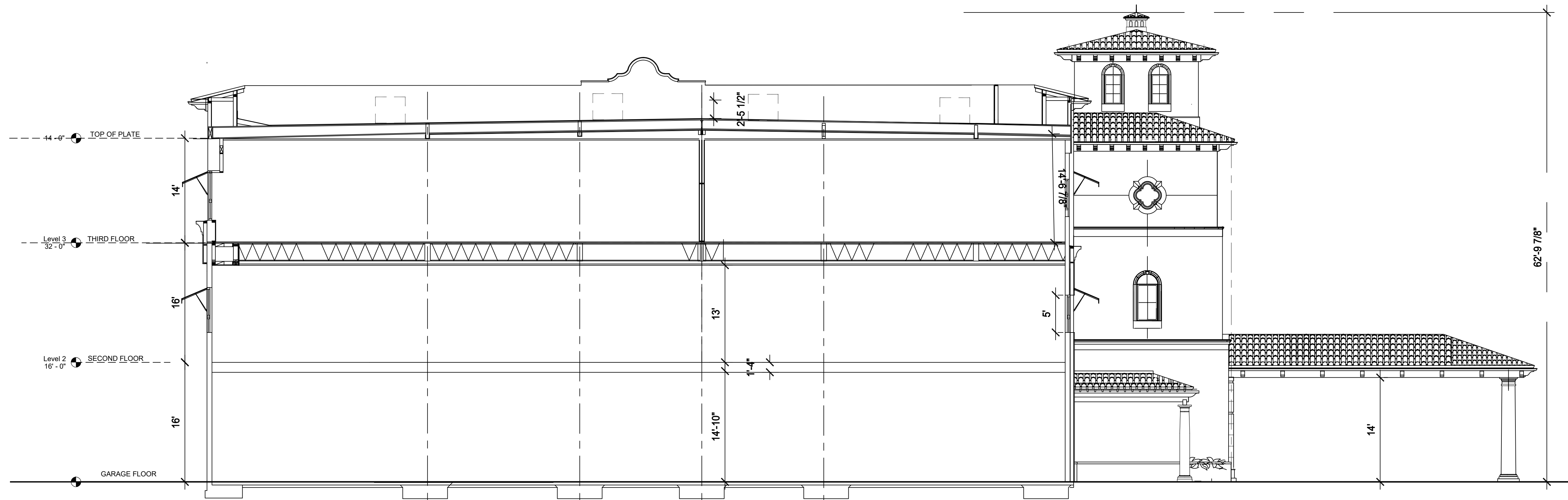
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2025.03.12 RESPONSE  
DRC MAY 5, 2025

ELEVATION / SECTION

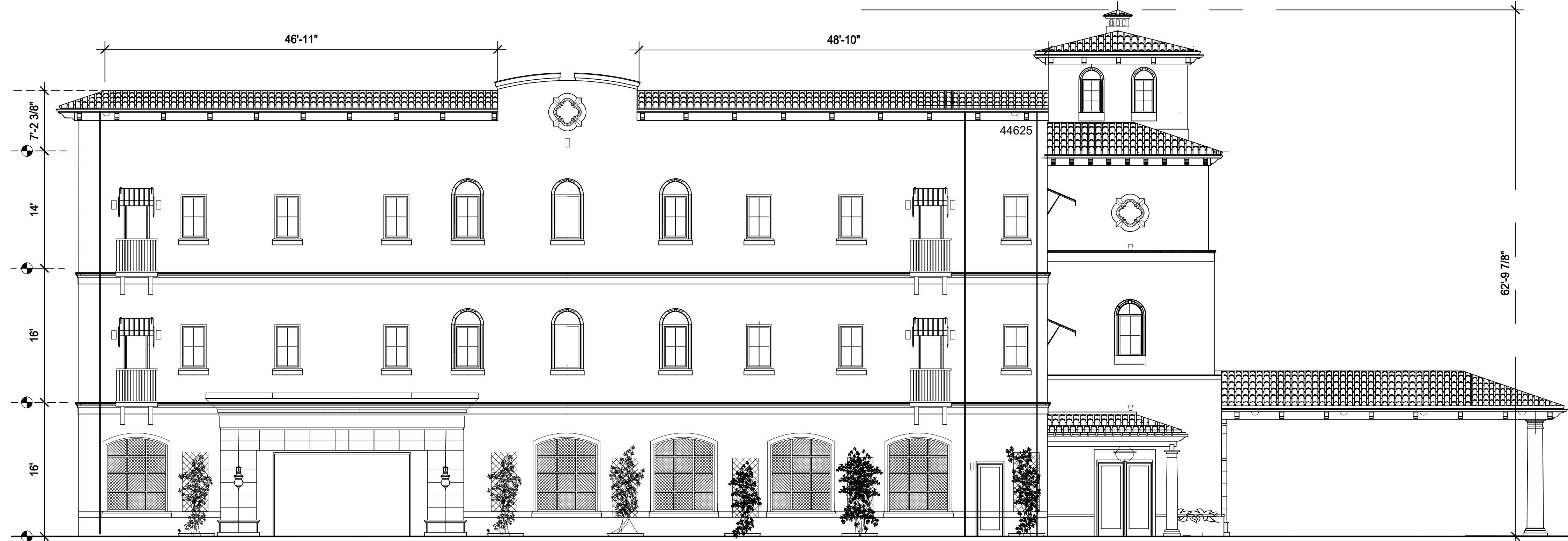
SHEET:

A8



SOUTH SECTION

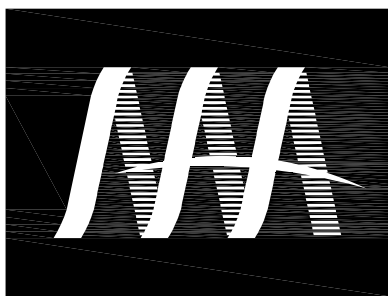
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SOUTH ELEVATION

SCALE: 1/8" = 1'-0"





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PARKER MEDICAL CENTER II  
AVENIDA DE MISSIONES  
TEMECULA, CA, 92078



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PROJECT  
#  
REVISION  
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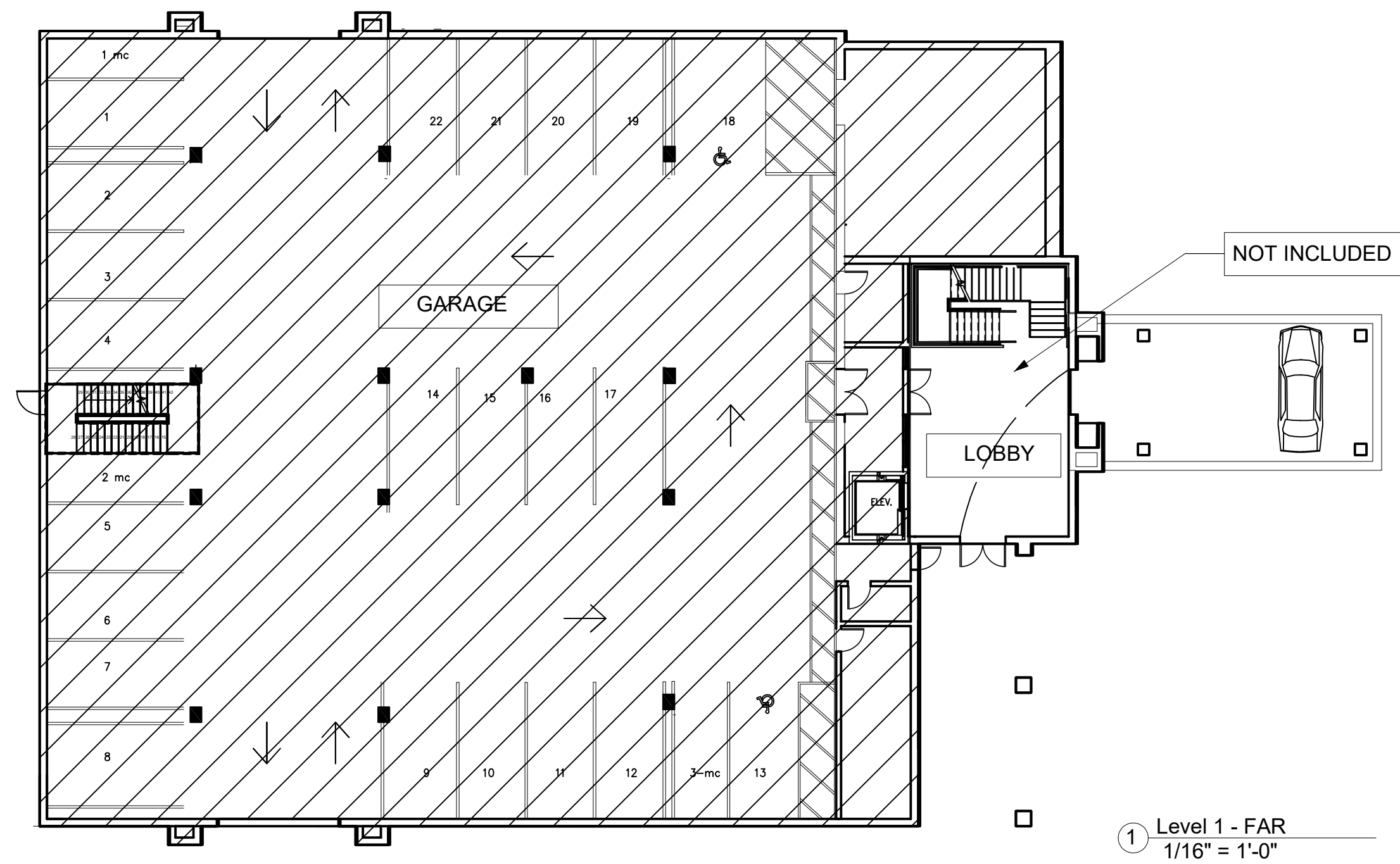
2024.05.08 submittal #4  
2025.01.06 client review

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2025.03.12 RESPONSE

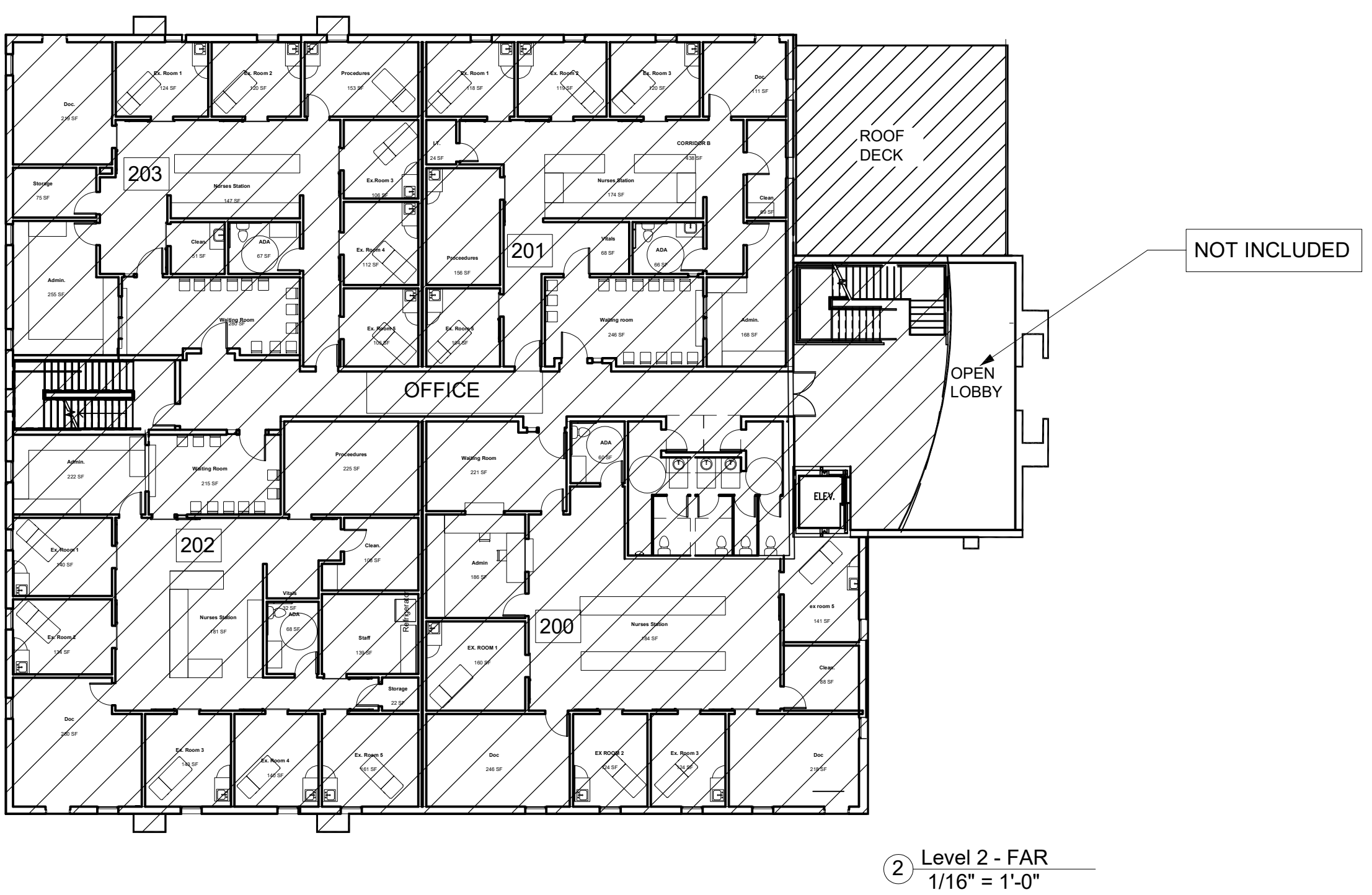
DRC MAY 5, 2025

SHEET:

A-10

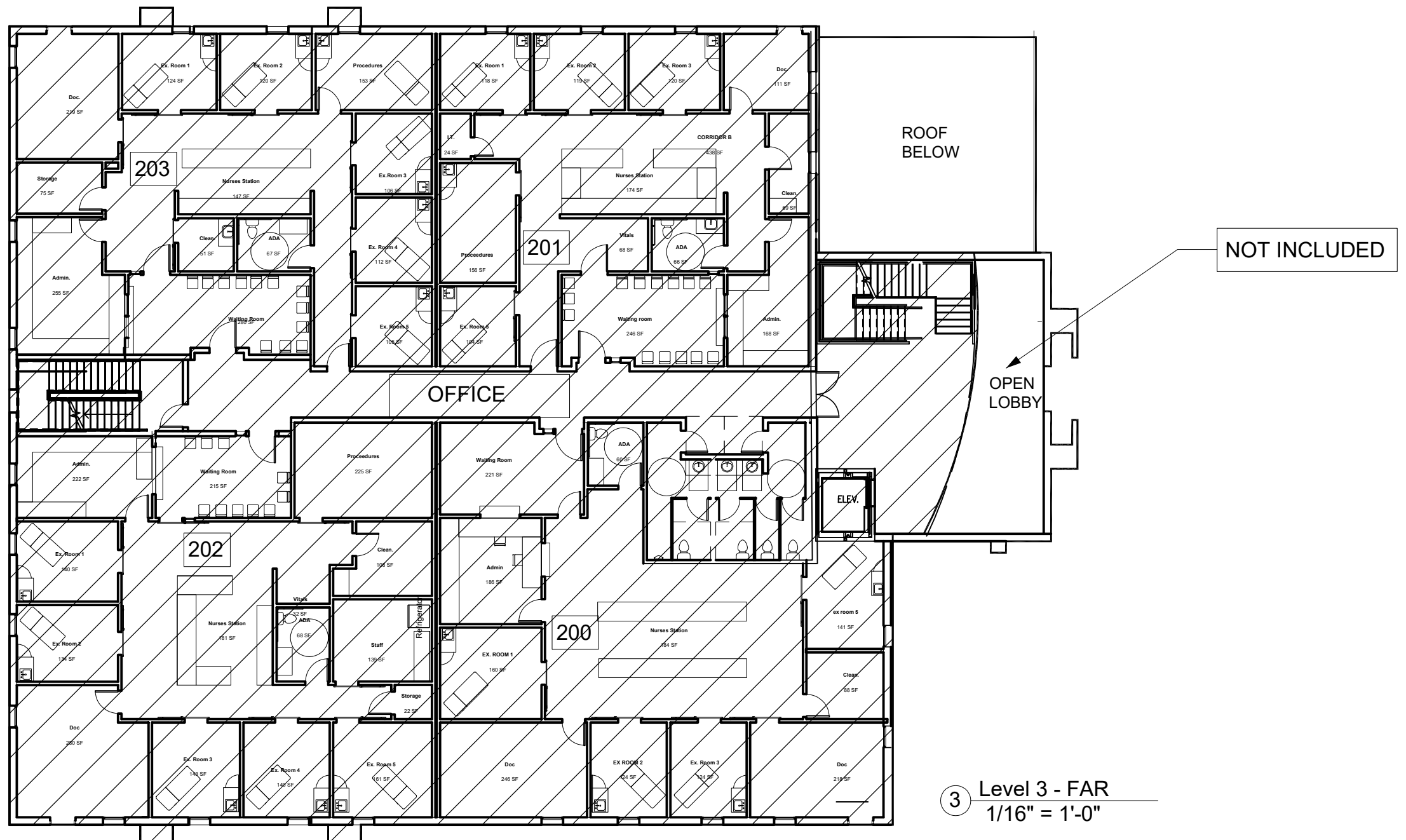


13,465 SF GARAGE AREA @ FIRST FLOOR  
854 SF LOBBY AREA @ FIRST FLOOR



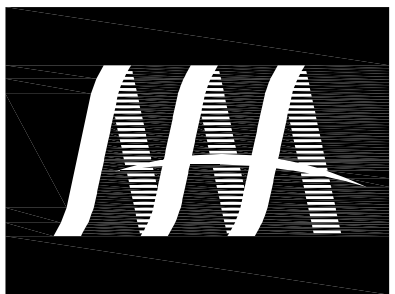
12,196 SF AREA @ SECOND FLOOR  
796 ROOF DECK SF AREA @ SECOND FLOOR  
12,992 SF TOTAL AREA @ SECOND FLOOR

FAR CALCULATION	
13,465 SF AREA @ FIRST FLOOR EXCLUDED FROM FAR =	0 SF
854 SF LOBBY AREA @ FIRST FLOOR =	854 SF
12,196 SF OFFICE AREA @ SECOND FLOOR =	12,196 SF
12,196 SF OFFICE AREA @ THIRD FLOOR =	12,196 SF
TOTAL FLOOR AREA =	25,246 SF
TOTAL LOT AREA =	52,272 SF
FAR CALCULATION 25,246 / 52,272 =	.482 %



12,196 SF AREA @ THIRD FLOOR





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SUBMITTAL #3

PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078



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	2025.03.12 RESPONSE
	DRC MAY 5, 2025

MISSION STYLE  
ARCHITECTURAL ELEMENTS

SHEET:

A-11



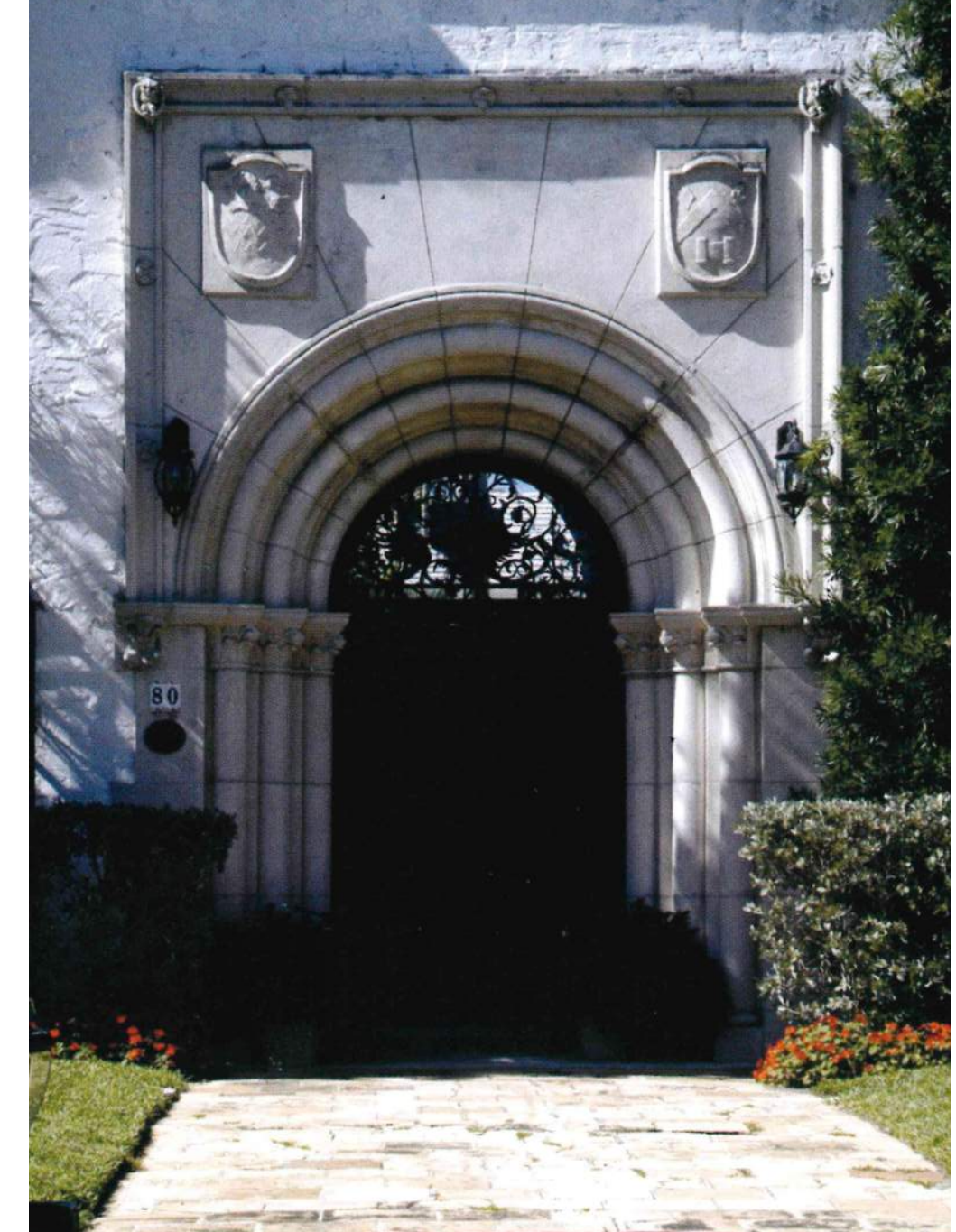
DECORATIVE TOWER ELEMENTS



PORCH WITH TRELLIS



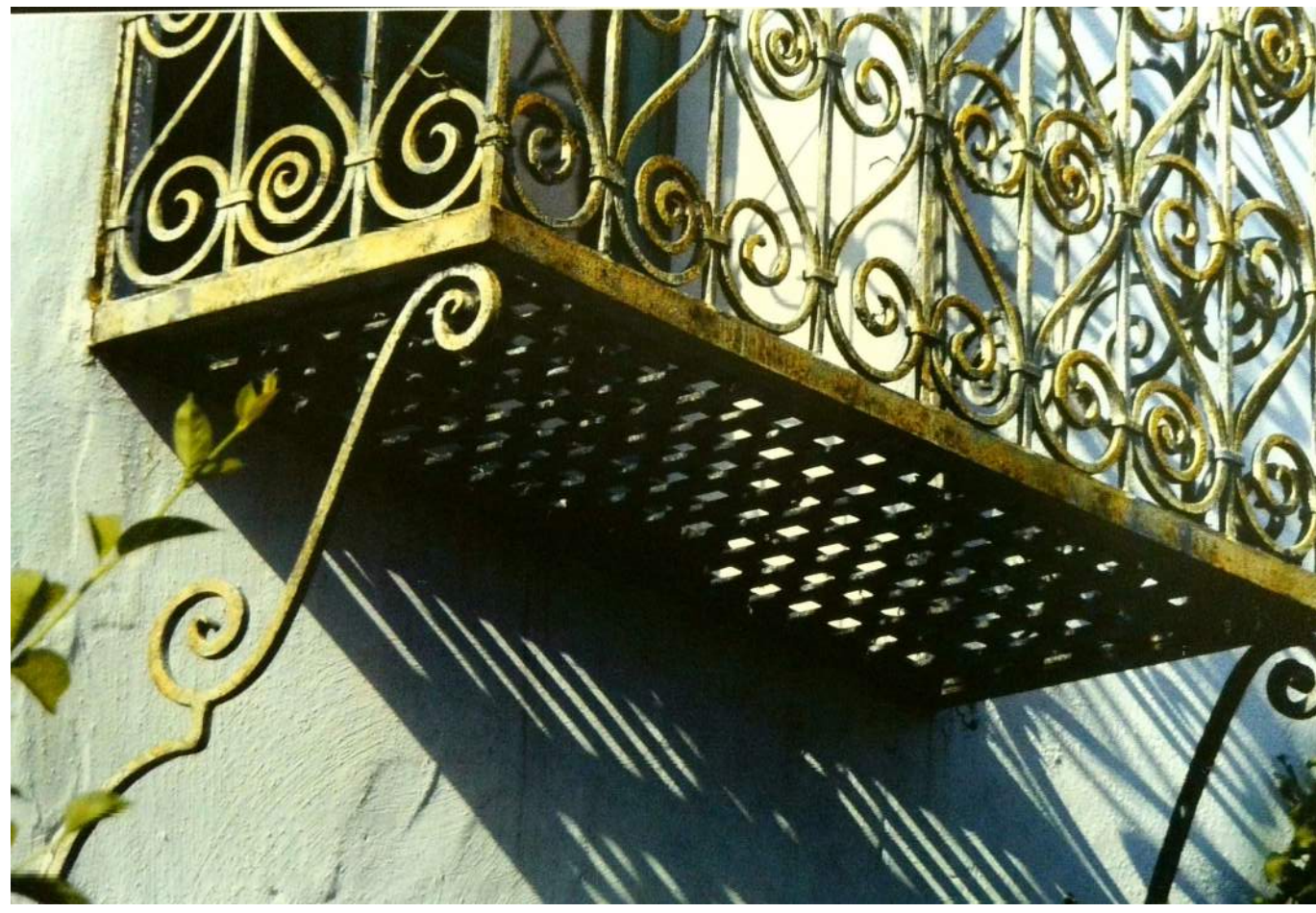
CORBEL DETAILS



CUT STONE ENTRANCE DETAILS



IRON RAILING BALCONIES



IRON RAILING BALCONIES



WOOD BEAM DETAIL  
W/ EXPOSED RFTERS



WALL DETAILS



IRON WORK @ WINDOWS



IRON WORK @ WALLS

MISSION DESIGN THEME.

THE BUILDING IS DESIGNED IN A CONTEMPORARY MISSION STYLE UTILIZING CLASSICAL MISSION AND SANTA BARBRA DETAILS THAT INCORPORATE WALL MASS, ARCHED OPENINGS, DECORATIVE IRON WORK, ACCENTED WINDOW DETAILS AND A DEEPLY RECESSED BUILDING ENTRANCE. BUILDING COLORS SELECTED ARE OF WARM EARTH TONES AND OFF WHITES EMPLOYED TO SOFTEN THE VISUAL MASS OF THE BUILDING. WOOD DETAILS AND A POLY- CHROMATIC CLAY TILE ROOF ADDS A TRADITIONAL AND CLASSIC SPANISH DETAIL TO THE BUILDING.





WINDOW SURROUNDS



IRON RAILING BALCONIES



IRON RAILING BALCONIES



EXTERIOR ENTRY LIGHTS 36" High  
EXTERIOR BALCONY LIGHTS 12 " HIGH

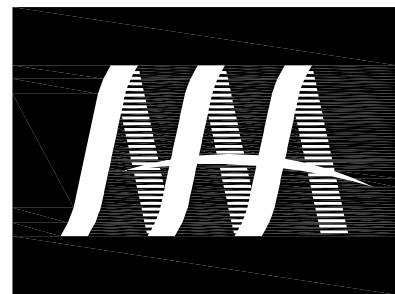


EXTERIOR UP & DOWN WALL LIGHT

EXTERIOR LIGHTING

MISSION DESIGN THEME.

THE BUILDING IS DESIGNED IN A CONTEMPORARY MISSION STYLE UTILIZING CLASSICAL MISSION AND SANTA BARBRA DETAILS THAT INCORPORATE WALL MASS, ARCHED OPENINGS, DECORATIVE IRON WORK, ACCENTED WINDOW DETAILS AND A DEEPLY RECESSED BUILDING ENTRANCE. BUILDING COLORS SELECTED ARE OF WARM EARTH TONES AND OFF WHITES EMPLOYED TO SOFTEN THE VISUAL MASS OF THE BUILDING. WOOD DETAILS AND A POLY- CHROMATIC CLAY TILE ROOF ADDS A TRADITIONAL AND CLASSIC SPANISH DETAIL TO THE BUILDING.



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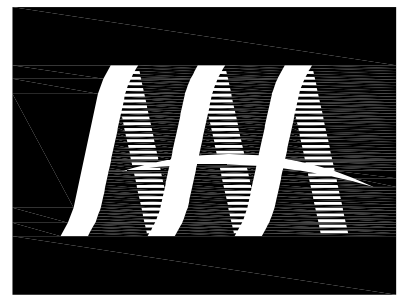
PA-22-0987  
SUBMITTAL #3

PARKER MEDICAL II  
AVENIDA DE MISSIONES  
TEMECULA, CA 92078



DATE	
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DRC MAY 5, 2025	
MISSION STYLE ARCHITECTURAL ELEMENTS	
SHEET:	





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PARKER MEDICAL II  
AVENIDA DE MISSIONES  
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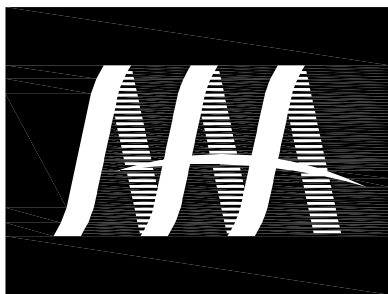
P1



PERSPECTIVE ELEVATION

NORTH EAST VIEW

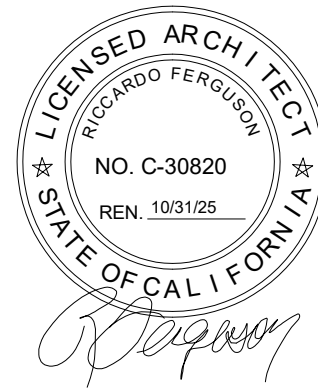




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DRC MAY 5, 2025

SHEET:

P2



PERSPECTIVE ELEVATION

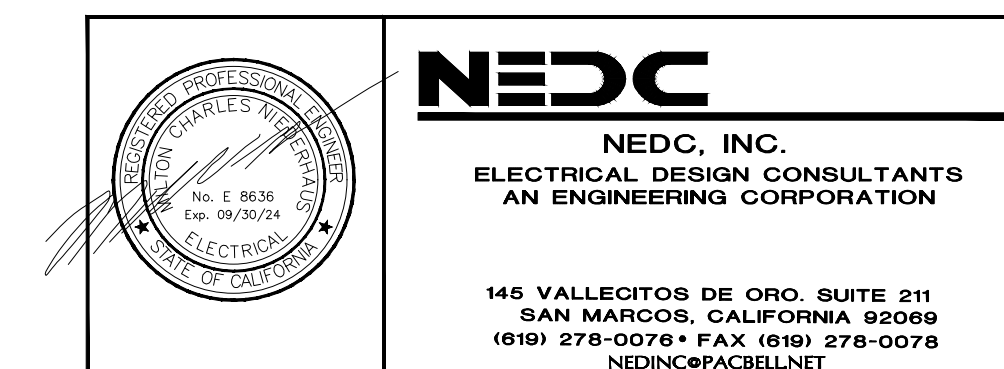
SOUTH EAST VIEW





## TEMECULA, CA. 92078

## E1.0



PRINT DATE 04/19/24





**PARKER MEDICAL II**  
**AVENIDA DE MISIONES**  
**TEMECULA, CA. 92078**

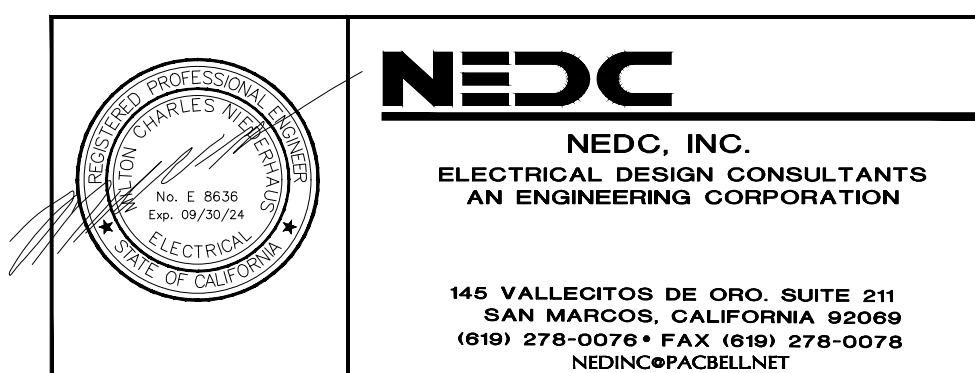
TEMECULA, CA. 92078

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object 1 Planar	Illuminance	Fc	3.59	12.3	1.0	3.59	12.30

- POLE FIXTURE MOUNTING HEIGHT: 20'-0" A.F.F.
- WALL FIXTURES MOUNTING HEIGHT: 8'-0" A.F.F.
- PENDANT FIXTURES MOUNTING HEIGHT: 10'-0" A.F.F.

Calculations have been performed according to information provided regarding room dimensions, reflectances, furniture and architectural element placement. Some differences between measured values and calculated results may occur if the real environment conditions do not match the input data.

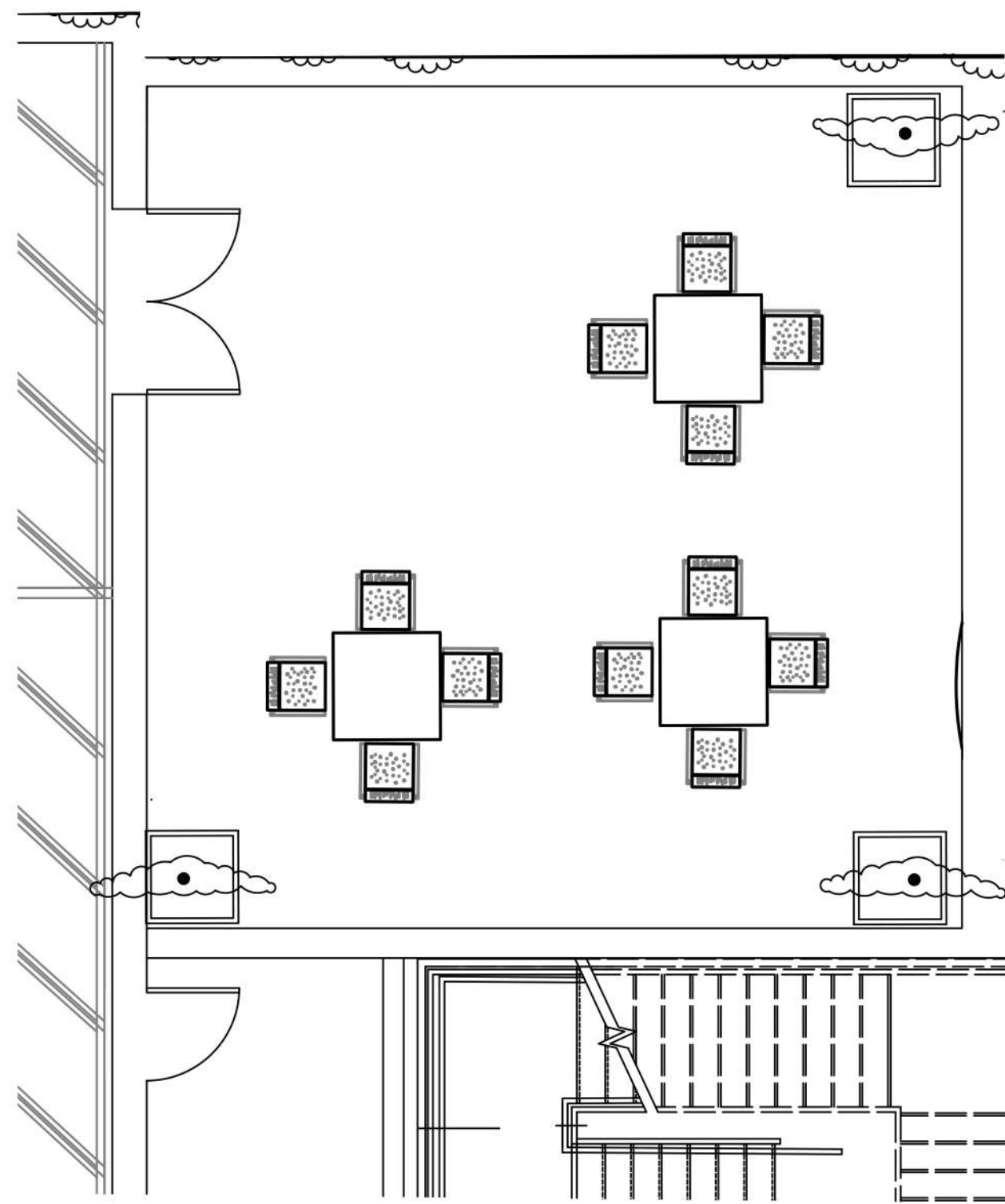
For design reference only - All calculations should be reviewed for accuracy by a certified electrical engineer.



SHEET

## E1.0PH





## 2ND STORY PATIO

SCALE 1/4" = 1'-0"

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF TEMECULA WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

*James P. Benedetti*  
SIGNATURE

#3058  
CA. R.L.A.

01/07/25  
DATE

TO BE MAINTAINED IN PERPETUITY BY THE TEMECULA CREEK LLC EASEMENT, SLOPE, LANDSCAPE AGREEMENT SIGNED MARCH 8, 1990 AND RECORDED JANUARY 7, 2004



THIS AREA TO BE MAINTAINED BY PMC-II. THIS AREA IS NOT INCLUDED IN THE TOTAL LANDSCAPE ONSITE AREA. TOTAL S.F. = 2,167 S.F.

### PLANTING AREA CALCULATION

PLANTING AREA= 13,146 SF OF LANDSCAPING ON SITE.  
TOTAL SITE AREA= 52,218 SF.

25% OF TOTAL SITE AREA 13,054 SF.

#### PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	WUCOLS	QTY
<b>TREES</b>				
	CERCIDIUM X 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE	24" BOX	L	7
	EXISTING TREE / -	EXISTING-PROTECT IN PLACE	L	2
	OLEA EUROPAEA 'WILSONII' / WILSON OLIVE	36" BOX	L	16
	PLATANUS RACEMOSA / CALIFORNIA SYCAMORE	EXISTING- TO BE REMOVED	L	14
<b>SHRUBS</b>				
	BERBERIS AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	1 GAL	L	3
	CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEEPING BOTTLEBRUSH	5 GAL	L	106
	CHONDROPETALUM TECTORUM / CAPE RUSH	5 GAL	L	121
	CISTUS X PURPUREUS / ORCHID ROCKROSE	5 GAL	L	68
	CUPRESSUS SEMPERVIRENS 'MONSHEL' / TINY TOWER® ITALIAN CYPRESS	5 GAL	L	4
	DIANELLA REVOLUTA 'DTN03' / BABY BLISS™ FLAX LILY	5 GAL	L	158
	FRANGULA CALIFORNICA 'EVE CASE' / EVE CASE COFFEEBERRY	5 GAL	L	20
	GREVILLEA X 'NOELLI' / NOEL GREVILLEA	5 GAL	L	27
	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	L	8
	PITTOSPORUM TOBIRA 'VARIEGATA' / VARIEGATED JAPANESE PITTOSPORUM	5 GAL	M	23
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY	5 GAL	L	8
	SALVIA GREGGII 'FURMANS RED' / FURMAN'S RED AUTUMN SAGE	1 GAL	L	41

#### SYMBOL BOTANICAL / COMMON NAME

##### VINE/ESPALIER

TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE

CONT WUCOLS QTY

15 GAL M 10

#### SYMBOL BOTANICAL / COMMON NAME

##### SHRUB AREAS

CAREX TUMULICOLA / BERKELEY SEDGE

CONT WUCOLS SPACING

FLATS L 18" o.c.

EXISTING PLANTING / -

PROTECT-IN-PLACE L

#### SYMBOL BOTANICAL / COMMON NAME

##### GROUND COVERS

LIPPIA NODIFLORA 'KURAPIA S1' / KURAPIA®

CONT WUCOLS SPACING QTY

SOD L 302 SF

ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY

1 GAL L 36" o.c. 1,622 SF

SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO

FLATS L 12" o.c. 1,625 SF

TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE

1 GAL M 60" o.c. 1,089 SF

ROOT BARRIER

BIO-BARRIER 19.5" DEEP, SEE DETAIL D/ SHEET L-9

(A) MONUMENT SIGN



JAMES P. BENEDETTI  
LANDSCAPE ARCHITECT  
4403 MANCHESTER AVE., SUITE 201  
ENCINITAS, CA 92024  
760/479-0644 FAX 760/479-0645

JPBLA



All ideas, designs, and arrangements indicated on these drawings are the property of JPBLA, INC. and are intended to be used in connection with the specific project only and shall not otherwise be used for any purpose whatsoever without the written consent of the architect. There shall be no change or deviation from these drawings or the accompanying specifications without the written consent of the landscape architect.

PARKER CENTER II  
44625 AVENIDA DE MISSIONES  
TEMECULA, CA 92592  
APN# 961-290-003

#### SUBMITTALS

10-04-23  
DEVELOPMENT  
PLAN SUBMITTAL #3  
2-20-23  
DEVELOPMENT  
PLAN SUBMITTAL #4  
3-05-23  
DEVELOPMENT  
PLAN SUBMITTAL #5  
2-04-25  
DEVELOPMENT  
PLAN SUBMITTAL #6

Phase:

Date: 02/04/25

Reviewed by: JPB

Drawn: EO

Job No.: 2022-23

Sheet Title:

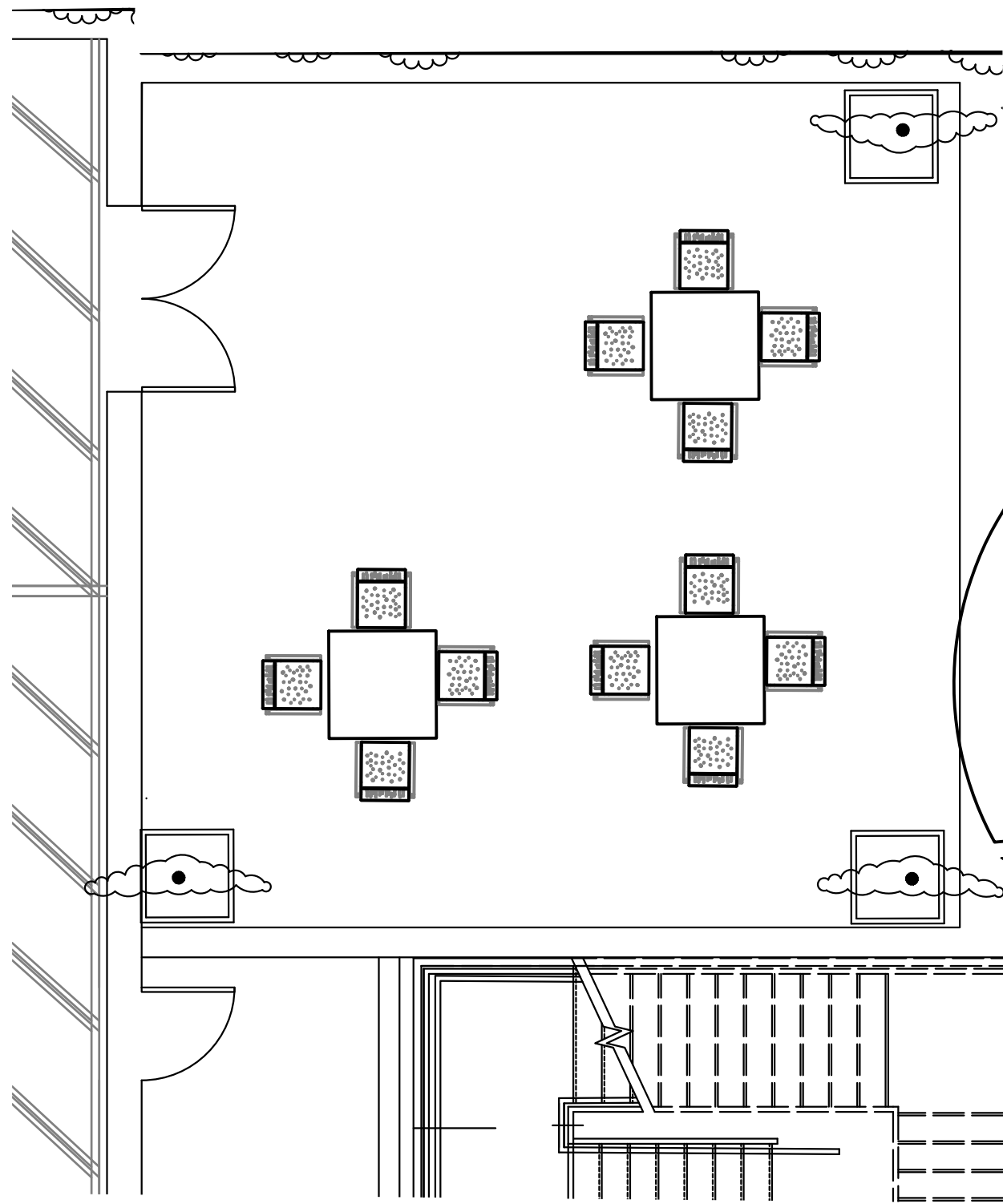
PLANTING  
PLAN &  
LEGEND

Sheet:

LP-1

Of 13 Sheets





2ND STORY PATIO

SCALE 1/4" = 1'-0"

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF TEMECULA WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

*James P. Benedetti*  
SIGNATURE

#3058  
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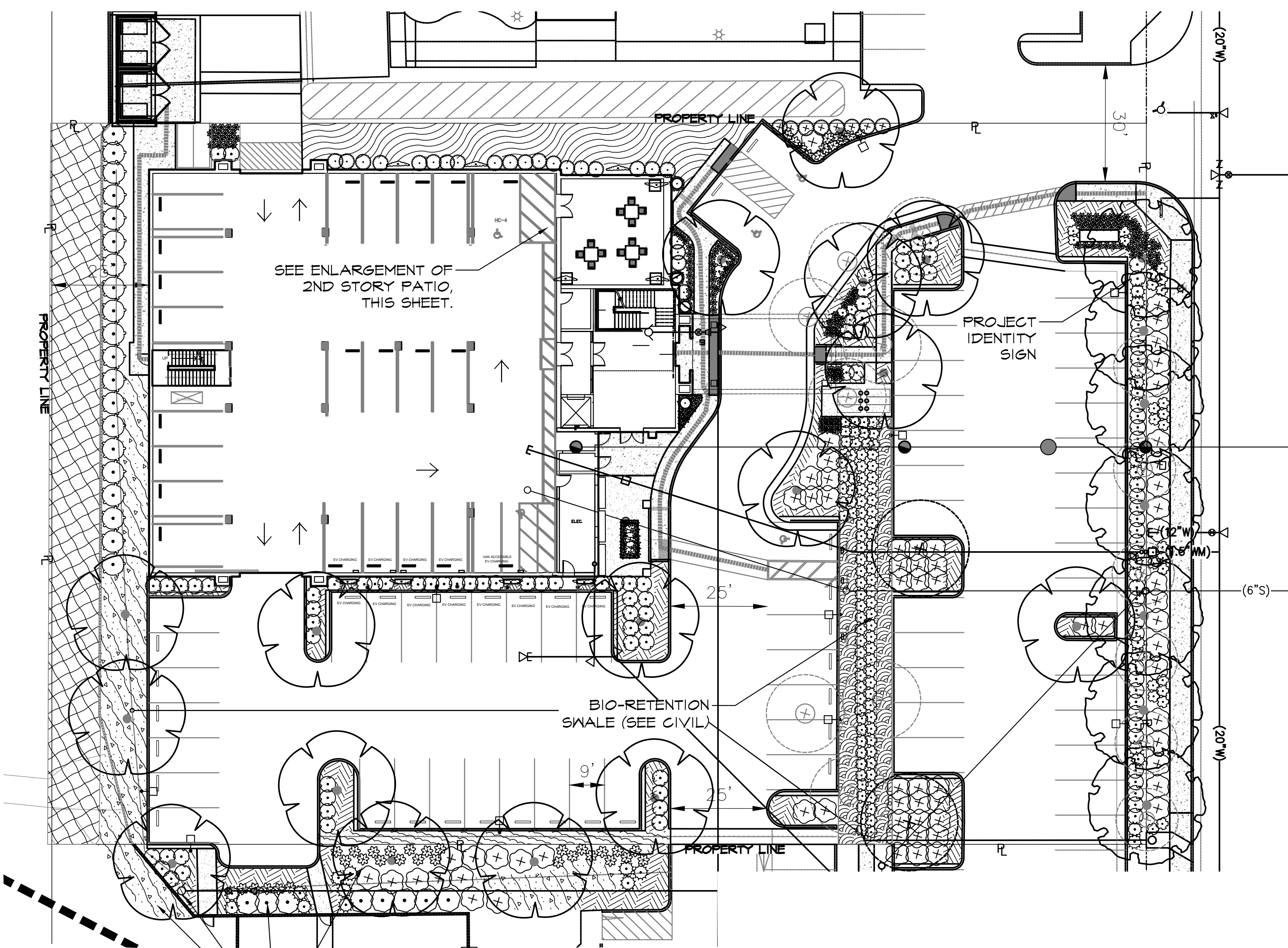
03/20/25  
DATE

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	WUCOLS	QTY
TREES				
	CERCIDIUM X 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE	24" BOX	L	7
	EXISTING TREE / -	EXISTING-PROTECT IN PLACE	L	2
	OLEA EUROPAEA 'WILSONII' / WILSON OLIVE	36" BOX	L	16
	PLATANUS RACEMOSA / CALIFORNIA SYCAMORE	EXISTING- TO BE REMOVED	L	14
SHRUBS				
	BERBERIS AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	1 GAL	L	3
	CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEeping BOTTLEBRUSH	5 GAL	L	106
	CHONDROPETALUM TECTORUM / CAPE RUSH	5 GAL	L	121
	CISTUS X PURPUREUS / ORCHID ROCKROSE	5 GAL	L	68
	CUPRESSUS SEMPERVIRENS 'MONSHEL' / TINY TOWER® ITALIAN CYPRESS	5 GAL	L	4
	DIANELLA REVOLUTA 'DTN03' / BABY BLISS™ FLAX LILY	5 GAL	L	158
	FRANGULA CALIFORNICA 'EVE CASE' / EVE CASE COFFEEBERRY	5 GAL	L	20
	GREVILLEA X 'NOELLI' / NOEL GREVILLEA	5 GAL	L	27
	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	L	8
	PITTOSPORUM TOBIRA 'VARIEGATA' / VARIEGATED JAPANESE PITTOSPORUM	5 GAL	M	23
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY	5 GAL	L	8
	SALVIA GREGGII 'FURMANS RED' / FURMAN'S RED AUTUMN SAGE	1 GAL	L	41

<u>SYMBOL</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>WUCOLS</u>	<u>QTY</u>	
<u>VINE/ESPALIER</u>					
	TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE	15 GAL	M	10	
<u>SYMBOL</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>WUCOLS</u>	<u>SPACING</u>	
<u>SHRUB AREAS</u>					
	CAREX TUMULICOLA / BERKELEY SEDGE	FLATS	L	18" o.c.	
	EXISTING PLANTING / -	PROTECT-IN-PLACE	L		
<u>SYMBOL</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>WUCOLS</u>	<u>SPACING</u>	<u>QTY</u>
<u>GROUND COVERS</u>					
	LIPPIA NODIFLORA 'KURAPIA S1' / KURAPIA®	SOD	L		302 SF
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	1 GAL	L	36" o.c.	1,622 SF
	SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO	FLATS	L	12" o.c.	1,625 SF
	TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE	1 GAL	M	60" o.c.	1,089 SF

THIS AREA TO BE MAINTAINED BY PMC-II. THIS AREA IS NOT INCLUDED IN THE TOTAL LANDSCAPE ONSITE AREA. TOTAL S.F. = 2,167 S.F.



PLANTING AREA CALCULATION  
PLANTING AREA= 13,146 SF OF LANDSCAPING ON SITE.  
TOTAL SITE AREA= 52,218 SF.  
25% OF TOTAL SITE AREA 13,054 SF.

Underground Service Alert  
Call: TOLL FREE 1-800-227-2600  
TWO WORKING DAYS BEFORE YOU DIG  
"CAUTION" Remember that the USA Center notifies only those utilities belonging to the center. There could be other utilities present at the work site. The center will inform you of whom they will notify.

N  
20 10 0 20 40 60  
SCALE: 1"=20'-0"

JAMES P. BENEDETTI  
LANDSCAPE ARCHITECT  
4403 MANCHESTER AVE., SUITE 201  
ENCINITAS, CA 92024  
760/479-0644 FAX 760/479-0645

JPBLA

ALL IDEAS, DESIGNS, AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF JPBLA, INC. AND ARE INTENDED TO BE USED IN CONNECTION WITH THE SPECIFIC PROJECT ONLY AND ARE NOT TO BE REPRODUCED OR USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR THE ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.

PARKER CENTER II  
44625 AVENIDA DE MISSIONES  
TEMECULA, CA 92592  
APN# 961-290-003

SUBMITTALS

10-04-23  
DEVELOPMENT  
PLAN SUBMITTAL #3

2-20-23  
DEVELOPMENT  
PLAN SUBMITTAL #4

3-05-23  
DEVELOPMENT  
PLAN SUBMITTAL #5

2-04-25  
DEVELOPMENT  
PLAN SUBMITTAL #6

3-20-25  
DEVELOPMENT  
PLAN REVIEW  
SUBMITTAL #5

Phase:

Date: 03/20/25

Reviewed by: JPB

Drawn: EO

Job No.: 2022-23

Sheet Title:  
PLANTING  
PLAN &  
LEGEND

Sheet:  
DP-1  
Of 02 Sheets



GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC., AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES, EXCEPT AS SHOWN, ON THIS PARTICULAR SITE. THE ARCHITECT, ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

SITE AREA: APN:

1.198 ACRES GROSS (52,218 SF) 961-290-003  
1.198 ACRES NET (52,218 SF)  
TOTAL DISTURBED ACREAGE 1.03 ACRES

LEGAL DESCRIPTION:

PARCEL 3, OF PARCEL MAP 29132, RECORDED IN BOOK 199, PAGES 78-80, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, LYING WITHIN SECTION 17, TOWNSHIP 6 SOUTH, RANGE 2 WEST.

SOURCE AND DATE OF TOPOGRAPHY:

DENNIS JANDA, INC. ON: MARCH 14, 2022  
42164 REMINGTON AVENUE  
TEMECULA, CALIFORNIA 92590  
PHONE: 951-699-8874  
FAX: 951-699-8568  
EMAIL: DENNISJ@PMCMAP.COM

APPLICANT & OWNER:

PARKER 215, LLC  
27989 HOLLAND ROAD  
MENIFEE, CA 92584  
PHONE: (951) 294-1321  
FAX: (951) 246-9010

CIVIL ENGINEER:

TEMECULA ENGINEERING CONSULTANTS, INC.  
29377 RANCHO CALIFORNIA RD., SUITE 202  
TEMECULA, CALIFORNIA 92591  
STANLEY D. HEATON, P.E.  
PHONE: 951-676-1018  
EMAIL: STAN.HEATON@VERIZON.NET

SOILS ENGINEER:

DYNAMIC GEOTECHNICAL SOLUTIONS  
27570 COMMERCE CENTER DR., #128  
TEMECULA, CALIFORNIA 92590  
PHONE: 951-297-2450  
FAX: 951-719-2998

BENCHMARK:

COUNTY OF RIVERSIDE BM NO: SD-6-19  
ELEVATION: 1014.96 DATUM: NAVD88

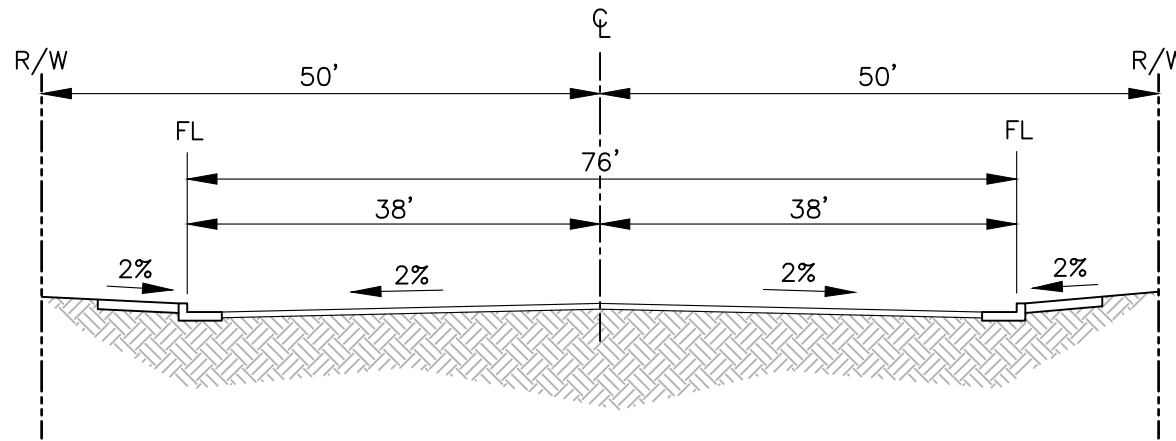
DESCRIPTION: RANCHO CALIFORNIA, 340 FEET (103.6M) SOUTHEAST ALONG PALA RD. FROM THE INTERSECTION OF PALA RD. AND THE RIGHT OF WAY OF SAN DIEGO PILELINES 1 AND 2, AT THE WEST CORNER OF PALA RD. AND MASTERS DR., 59 FEET (18.0M) SOUTHWEST OF THE CENTERLINE OF PALA RD., 21 FEET (6.4M) NORTHWEST OF THE CENTERLINE OF MASTERS DR. A STANDARD MWDSC 3-1/4 INCH BRASS DISK SET FLUSH IN TOP OF THE NORTHWEST CORNER OF 10 FOOT (3.0M) WIDE CATCH BASIN AND 0.9 FOOT (27.4CM) NORTHWEST OF CURB FACE.

BASIS OF BEARINGS:

BEING THE CENTERLINE OF AVENIDA DE MISSIONES AS SHOWN ON PM 29132, PM 199/78-80 BEING N16°36'43"W

EASEMENT NOTES:

- 1 AN EASEMENT FOR TRASH ENCLOSURE RECORDED APRIL 22, 2024, INSTRUMENT NO. 2024-0119540, OFFICIAL RECORDS, COUNTY OF RIVERSIDE.
- 2 EASEMENT AND SLOPE AND LANDSCAPE MAINTENANCE AGREEMENT RECORDED JANUARY 7, 2004, INSTRUMENT NO. 2004-0009399 OFFICIAL RECORDS, COUNTY OF RIVERSIDE.
- 3 GRANT OF EASEMENT AND MAINTENANCE AGREEMENT RECORDED MAY 10, 2022 AS INSTRUMENT NO. 2022-0217168,
- 4 SLOPE EASEMENT ADJOINING THE LAST ABOVE MENTIONED, AT A RATION OF 2:1 AS REQUIRED BY GOVERNMENT AGENCIES, AS RESERVED BY RANCHO CALIFORNIA, A PARTNERSHIP, IN DEED RECORDED AUGUST 21, 1967 AS INSTRUMENT NO. 72963 IMPERIAL CREDIT INDUSTRIES, IN. OF RIVERSIDE COUNTY, CALIFORNIA
- 5 AN EASEMENT FOR UNDERGROUND AND CONDUITS AND INCIDENTAL PURPOSES IN FAVOR OF GENERAL TELEPHONE COMPANY OF CALIFORNIA, RECORDED DECEMBER 17, 1968 AS INSTRUMENT NO. 122856 OF OFFICIAL RECORDS
- 6 AN EASEMENT FOR THE TRANSMISSION OF ELECTRIC ENERGY FOR COMMUNICATIONS, TELECOMMUNICATIONS, INTERACTIVE VIDEO, INTELLIGENCE BY ELECTRICAL MEANS AND INCIDENTAL PURPOSES IN FAVOR OF VERIZON CALIFORNIA, INC., RECORDED DECEMBER 21, 2001 AS INSTRUMENT NO. 01-635845 OF OFFICIAL RECORDS
- 7 AN EASEMENT FOR PUBLIC UTILITY PURPOSES OR AS PUBLIC UTILITY EASEMENTS AND INCIDENTAL PURPOSES, IN FAVOR OF VERIZON CALIFORNIA, INC., RECORDED MARCH 29, 2006 AS INSTRUMENT NO. 06-221207
- 8 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED CITY OF TEMECULA SUBDIVISION IMPROVEMENT AGREEMENT, EXECUTED BY AND BETWEEN CITY OF TEMECULA, CALIFORNIA, A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA AND SUBDIVIDER SCHOOLLEY TRUST, RECORDED SEPTEMBER 25, 2001, AS INSTRUMENT NO. INSTRUMENT NO. 01-464228 OF OFFICIAL RECORDS.
- 9 A RECIPROCAL EASEMENT FOR ACCESS, MONUMENT SIGNAGE, AND UTILITIES WHICH COVERS PARCELS 1 THROUGH 5, INCLUSIVE, OF PARCEL MAP NO. 29132, RECORDED ON APRIL 18, 2003, AS INSTRUMENT NO. 275055 OF OFFICIAL RECORDS

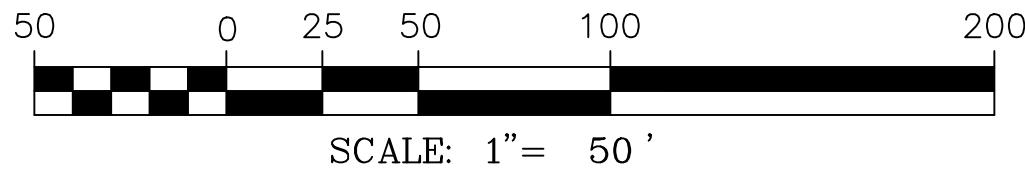


AVENIDA DE MISSIONES

(EXISTING NOT TO SCALE)

ESTIMATED EARTHWORK QUANTITIES

EARTHWORK RAW VOLUME:	CUT	FILL
OVEREXCAVATION PADS	5,025	5,025
OVEREXCAVATION PAVEMENT AREA	892	892
SUBGRADE	525	---
SUBSIDENCE	0.20 FEET	333
SHRINKAGE	12%	469
TOTALS:	7,019	7,148
EXPORT		129



CONSTRUCTION NOTES (PRECISE GRADING ONLY)

- 1 CONSTRUCT TYPE 'A-6' CURB AND GUTTER PER CITY OF TEMECULA STD. NO. 200
- 2 CONSTRUCT TYPE 'D-6' CURB PER CITY OF TEMECULA STD. NO. 204A
- 3 CONSTRUCT TYPE 'D' CURB W/ 0' CURB FACE PER CITY OF TEMECULA STD. NO. 204B
- 4 CONSTRUCT 6" A.C. PAVEMENT OVER 8" CRUSHED AGGREGATE BASE (PER SOILS REPORT)
- 5 CONSTRUCT 4" A.C. PAVEMENT OVER 6" CRUSHED AGGREGATE BASE
- 6 CONSTRUCT 1' CURB OPENING PER DETAIL 1 ON SHEET 4
- 7 CONSTRUCT 2' CURB TRANSITION PER CITY OF TEMECULA STD. NO. 213
- 8 CONSTRUCT 4' P.C.C. RIBBON GUTTER PER DETAIL 2 SHEET 4
- 9 CONSTRUCT 4" P.C.C. SIDEWALK PER CITY OF TEMECULA STD. NO. 401 & SOILS ENGR'S REC.
- 10 CONSTRUCT 12" STEP-OUT CURB PER DETAIL 3 SHEET 4
- 11 CONSTRUCT ADA ACCESS RAMP PER CITY OF TEMECULA STD. NO. 402
- 12 CONSTRUCT BIORETENTION BASIN PER DETAIL 4 ON SHEET 4
- 13 CONSTRUCT RETAINING WALL BY SEPARATE PERMIT
- 14 CONSTRUCT TRASH ENCLOSURE PER ARCHITECT'S SITE PLANS
- 15 CONSTRUCT WHEEL STOP PER DETAIL 5 ON SHEET 4
- 16 CONSTRUCT 12" PVC DRAIN
- 17 CONSTRUCT CURB OUTLET PER CITY OF TEMECULA STD. NO. 301
- 18 CONSTRUCT TRUNCATED DOMES PER CITY OF TEMECULA STD. NO. 402 (SHEET 2)
- 19 CONSTRUCT 4" P.C.C. PAVEMENT PER SOILS ENGR'S REC.
- 20 CONSTRUCT 4" DECOMPOSED GRANITE
- 21 REMOVE 3' SECTION OF WALL AND INSTALL GATE
- 22 NOT USED
- 23 CONSTRUCT DRAINAGE SWALE PER DETAIL 6 ON SHEET 4
- 24 INSTALL 6" NDS ATRIUM GRATE WITH SPEE-D BASIN OR EQUIVALENT
- 25 INSTALL 6" PVC DRAIN PIPE
- 26 INSTALL 12" NDS ATRIUM GRATE WITH SPEE-D BASIN
- 27 INSTALL 1" PAVERS OVER CONCRETE
- 28 REMOVE AND REPLACE AC PAVEMENT MATCH EXISTING GRADES FOR SMOOTH TRANSITION
- 29 REMOVE AND REPLACE PORTION OF EXISTING DRIVE APPROACH

ESTIMATED QUANTITIES

179 L.F.  
978 L.F.  
33 L.F.  
292 TONS/200 C.Y.  
133 TONS/102 C.Y.  
18 EA.  
2 EA.  
273 S.F.  
1,106 S.F.  
148 L.F.  
2 EA.  
1490 S.F.  
42 L.F.  
1 EA.  
11 EA.  
74 L.F.  
1 EA.  
3 EA.  
785 S.F.  
165 S.F.  
1 EA.  
-----  
405 L.F.  
1 EA.  
200 L.F.  
1 EA.  
204 S.F.  
300 S.F.  
360 S.F.

SHEET INDEX:

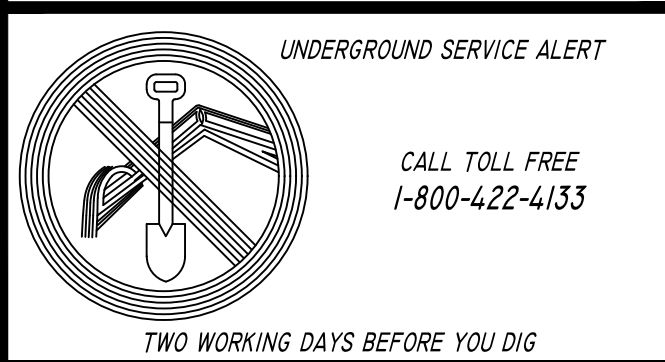
SHEET 1 ..... TITLE SHEET  
SHEET 2 ..... NOTES  
SHEET 3 ..... PRECISE GRADING PLAN  
SHEET 4 ..... DETAILS AND SECTIONS  
SHEET 5 ..... ADA DETAILS

PA22-0987

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH  
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: \_\_\_\_\_ NAME \_\_\_\_\_ DATE \_\_\_\_\_



CONSTRUCTION RECORD	DATE	BY	REVISIONS	ACCD	DATE	BENCH MARK
Contractor						SEE NOTE ON SHEET 1.
Inspector						
Date Completed						



Designed By	Drawn By	Checked By
NJD	NJD	SDH
Plans Prepared Under Supervision Of		
Stanley D. Heaton Date: 5/7/2025		
R.C.E. No. 43982		

RECOMMENDED BY: _____ DATE: _____
ACCEPTED BY: _____ DATE: _____
RON MORENO, P.E. DIRECTOR OF PUBLIC WORKS / CITY ENGINEER R.C.E. No. 69156

**CITY OF TEMECULA**  
DEPARTMENT OF PUBLIC WORKS

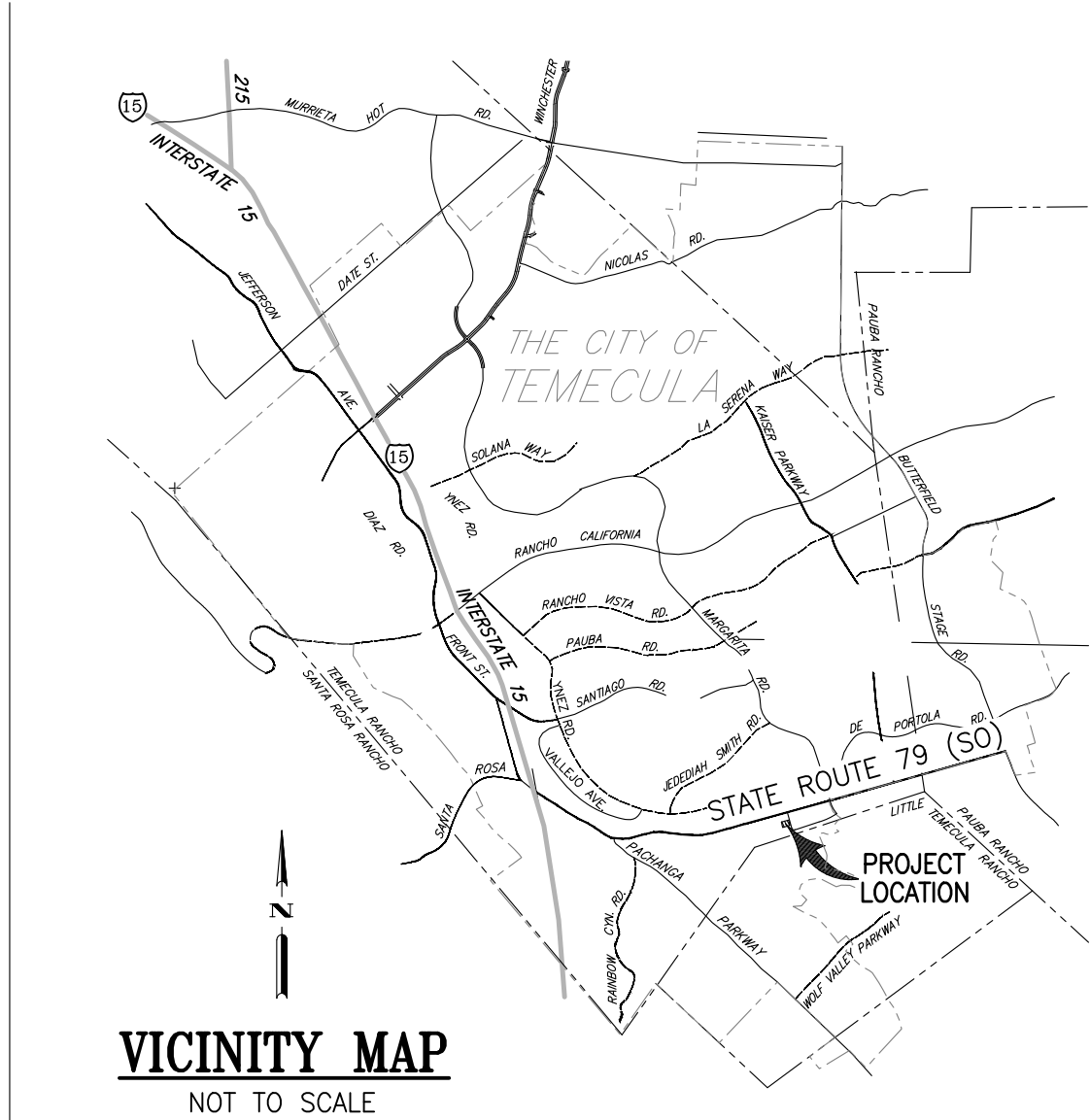
**PRECISE GRADING PLAN**  
**PARCEL 3, P.M. 29132**  
**PARKER MEDICAL CENTER II PA22-0987**  
**TITLE SHEET**

Drawing No.
Sheet 1 of 5

LEGEND:

BOT.	BOTTOM OF PIPE
EX.	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
LP	LOW POINT
PAD	PAD ELEVATION
R/W	RIGHT OF WAY
TC	TOP OF CURB
TYP.	TYPICAL
TW	TOP OF WALL
TF	TOP OF FOOTING
PIP	PROTECT IN PLACE
M.E.	MATCH EXISTING
---	EXISTING RETAINING WALL
---	PROPOSED RETAINING WALL
---	CENTERLINE
---	PROPERTY LINE
Y 2:1 Y	2:1 SLOPE (UNLESS OTHERWISE NOTED)
---	EXISTING CONTOUR
---	PROPOSED ELEVATION
---	CUT/FILL LINE
---	ADA PATH
---	EARTHEN SWALE
BR	BIOFILTRATION BASIN

VICINITY MAP  
NOT TO SCALE



P:\TEC\12025\1219-1\DWG\GRADING\1219-1\_PCP.dwg, last saved Fri Apr 20, 2025 - 8:22am



GENERAL NOTES:

1. STANDARDS. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE CITY'S IMPROVEMENT STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION (AND SUBSEQUENT AMENDMENTS), THE CITY'S ENGINEERING AND CONSTRUCTION MANUAL, CITY CODES AND REQUIREMENTS.
2. EMERGENCY TELEPHONE NUMBERS. (ANSWERING MACHINE IS NOT ACCEPTABLE):

MICHAEL BASTIAN PARKER MEDICAL CENTER-II LLC (951) 234-2819  
(RESPONSIBLE PERSON/DEVELOPER) (COMPANY) (24-HR PHONE NUMBER)

3. LICENSE/PERMIT REQUIREMENT.
- A. PRIOR TO START OF ANY WORK, A BUSINESS LICENSE SHALL BE OBTAINED FROM THE CITY.
- B. A GRADING PERMIT SHALL BE OBTAINED, PRIOR TO ANY WORK ON PRIVATE DEVELOPMENT. THE PERMIT AND AN APPROVED SET OF IMPROVEMENT PLANS MUST BE PRESENT AT THE JOBSITE DURING CONSTRUCTION.
4. ERRORS OR OMISSIONS. APPROVAL OF THESE PLANS BY THE CITY DOES NOT RELIEVE THE APPLICANT AND ENGINEER OF RECORD FROM THE RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS DISCOVERED DURING CONSTRUCTION.
5. WORKING HOURS. CITY ORDINANCE NO. 94-25 STATES THAT NO PERSON SHALL ENGAGE IN OR CONDUCT CONSTRUCTION ACTIVITY, WHEN THE CONSTRUCTION SITE IS WITHIN ONE-QUARTER OF A MILE OF AN OCCUPIED RESIDENCE, BETWEEN THE HOURS OF 6:30 PM AND 6:30 AM, MONDAY THROUGH FRIDAY AND SHALL ONLY ENGAGE IN OR CONDUCT CONSTRUCTION ACTIVITY BETWEEN THE HOURS OF 7:00 AM AND 6:30 PM ON SATURDAY. NO CONSTRUCTION ACTIVITY SHALL BE UNDERTAKEN ON SUNDAY AND NATIONALLY RECOGNIZED HOLIDAYS.
6. REGULATORY AGENCY CLEARANCES. THE ISSUANCE OF A PERMIT BY THE CITY DOES NOT IMPLY OR PROVIDE ANY CLEARANCES FROM STATE OR FEDERAL AGENCIES REGULATING THE PROVISIONS OF STATE OR FEDERAL ENDANGERED SPECIES ACTS OR WATER QUALITY REGULATIONS. THE APPROPRIATE CLEARANCES FROM THESE AGENCIES SHALL BE OBTAINED PRIOR TO ANY SITE DISTURBANCE OR GRADING.
7. CONSTRUCTION CHANGE. ANY CONSTRUCTION CHANGE MUST BE FIRST SUBMITTED TO THE CITY AS A REDLINE REVISION FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTING THE CHANGE IN THE FIELD. REFER TO THE CITY'S ENGINEERING AND CONSTRUCTION MANUAL.
8. PRE-CONSTRUCTION MEETING. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED TWO WORK DAYS PRIOR TO THE START OF CONSTRUCTION. DURING CONSTRUCTION, A DEPENDABLE AND RESPONSIVE CONTRACTOR'S REPRESENTATIVE SHALL BE AT THE JOB SITE AT ALL TIMES.
9. UTILITIES. APPROVAL OF THESE PLANS BY THE CITY DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION, NOR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES WITHIN THE PROJECT LIMITS. ANY UTILITY DAMAGED DURING THE PERFORMANCE OF THE WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING AGENCY BY THE CONTRACTOR, AT HIS EXPENSE.
10. SURVEY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE CITY ENGINEER OF RECORD AND TO INSTALL STREET CENTERLINE MONUMENTS, AS REQUIRED BY RIVERSIDE COUNTY ORDINANCE NO. 491, CENTERLINE TIES SHALL BE PROVIDED TO THE CITY ENGINEER, UPON COMPLETION OF THE PROJECT AND BEFORE ACCEPTANCE IS GRANTED. ALL EXISTING MONUMENTATION (DISTURBED OR DESTROYED DURING CONSTRUCTION) SHALL BE REPLACED TO CITY STANDARDS IN ACCORDANCE WITH THE LAND SURVEYORS ACT AND THE STREETS AND HIGHWAY CODE, AND AS APPROVED BY THE CITY ENGINEER. UPON REQUEST, SURVEY CUTS SHEETS SHALL BE PROVIDED TO THE CITY ENGINEER.
11. DUST CONTROL. DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS, AS APPROVED BY THE CITY ENGINEER AND SHALL COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT'S (SCAQMD) RULE 405.
12. CONSTRUCTION FENCING. A SIX FOOT CHAIN LINK FENCE IS REQUIRED ON ALL INDUSTRIAL AND COMMERCIAL PROJECTS UNTIL ROOF SYSTEMS ARE COMPLETED OR AS DEEMED NECESSARY BY THE CITY ENGINEER FOR PUBLIC SAFETY. THE MAINTENANCE OF THE FENCE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
13. INSPECTIONS. ALL WORK PERFORMED WITHOUT PROPER INSPECTION FROM THE CITY MAY BE SUBJECT TO REJECTION.
14. OTHER CONSTRUCTION NOTES. REFER TO SEPARATE NOTES FOR "GRADING," "EROSION AND SEDIMENT CONTROL," "PAVING" AND "TRAFFIC" REQUIREMENTS, IF APPLICABLE.

GRADING NOTES:

1. STANDARDS. ALL CONSTRUCTION AND GRADING RELATED ACTIVITIES (I.E., STOCKPILING, LAND CLEARING, EROSION & SEDIMENT CONTROL, ETC.) SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 18 OF THE CITY OF TEMECULA MUNICIPAL CODE, THE ENGINEERING AND CONSTRUCTION MANUAL, ALL APPLICABLE STANDARDS, THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE (APPENDIX J) AND, IF APPLICABLE, THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES.
2. PERMIT REQUIREMENTS. A GRADING PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON THE SITE.
3. NOTIFICATIONS. PUBLIC WORKS INSPECTION SHALL BE NOTIFIED VIA EMAIL AT LDINSPECTIONS@TEMECULACA.GOV AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE OF BEGINNING ANY CONSTRUCTION/GRADING OPERATIONS.
4. SOILS. ALL CONSTRUCTION/GRADING ACTIVITIES SHALL BE DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY DYNAMIC GEOTECHNICAL SOLUTIONS DATED 03-08-2023. SAID REPORT SHALL BE CONSIDERED A PART OF THIS GRADING PLAN.
5. CUT/FILL.
- A. MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER; AND SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOILS REPORT. FILL SLOPES SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION OUT TO FINISH SURFACE.
- B. FILL MATERIAL SHALL NOT BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, VEGETATION AND OTHER DELETERIOUS MATERIAL. IF THE SLOPE RATIO EXCEEDS 5:1 AND IS GREATER THAN FIVE FEET, THE TERRAIN MUST BE KEYED AND BENCHED INTO EITHER BEDROCK OR NATIVE SOIL, AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- C. STABILITY CALCULATIONS WITH A FACTOR-OF-SAFETY OF AT LEAST ONE AND FIVE TENTHS (1.5) SHALL BE SUBMITTED TO PUBLIC WORKS BY A REGISTERED CIVIL ENGINEER, SOILS ENGINEER OR GEOLOGIST FOR CUT AND FILL SLOPES OVER THIRTY FEET (30') IN VERTICAL HEIGHT.
- D. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED CIVIL ENGINEER, SOILS ENGINEER OR GEOLOGIST, WHO SHALL SUBMIT TWO SETS OF WRITTEN CERTIFICATION THAT ALL FILLS OVER ONE FOOT (1') IN DEPTH HAVE BEEN PROPERLY PLACED.
6. DRAINAGE.
- A. AS APPLICABLE, PROVIDE CONCRETE BROW DITCHES TO CONVEY 100-YEAR STORM FLOWS OR PROVIDE GRADED BERMS ALONG THE TOP OF ALL GRADED SLOPES OVER THREE FEET IN VERTICAL HEIGHT OR THAT ARE ADJACENT TO GRADED AREAS, TO DIRECT SURFACE RUNOFF AWAY FROM THE TOP OF SLOPES. ALL DRAINAGE SHALL BE CONSTRUCTED PER THE APPROVED PLANS.
- B. EXISTING DRAINAGE COURSES SHALL CONTINUE TO FUNCTION AT ALL TIMES. NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED.
- C. TEMPORARY DRAINAGE SHALL BE PROVIDED UNTIL PERMANENT DRAINAGE STRUCTURES ARE INSTALLED. PROTECTIVE MEASURES SHALL BE IMPLEMENTED TO PROTECT ADJOINING AND DOWNSTREAM PROPERTIES FROM SILT DEPOSITION AND PONDING WATER DURING CONSTRUCTION/GRADING OPERATIONS.
- D. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
- E. DRAINAGE EASEMENTS SHALL BE KEPT CLEAR OF ALL OBSTRUCTIONS; NO BUILDING OR WALLS SHALL BE PLACED WITHIN THE LIMITS OF EASEMENTS.
7. PROPERTY CORNERS. ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING ACTIVITY, AS DIRECTED BY THE ENGINEER.
8. BUREAU GRADING INSPECTIONS PRIOR TO BUILDING PERMIT. INSPECTIONS SHALL BE REQUESTED VIA EMAIL TO THE PUBLIC WORKS DEPARTMENT AT LDINSPECTIONS@TEMECULACA.GOV AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE (PLEASE INCLUDE YOUR PERMIT # IN THE SUBJECT LINE).

BURROWING OWL NOTE:

NO GRUBBING/CLEARING OF THE SITE SHALL OCCUR PRIOR TO SCHEDULING THE PRE-GRADING MEETING WITH PUBLIC WORKS. ALL PROJECT SITES CONTAINING SUITABLE HABITAT FOR BURROWING OWLS, WHETHER OWLS WERE FOUND OR NOT, REQUIRE A 30-DAY PRECONSTRUCTION SURVEY THAT SHALL BE CONDUCTED WITHIN 30 DAYS PRIOR TO GROUND DISTURBANCE TO AVOID DIRECT TAKE OF BURROWING OWLS. IF THE RESULTS OF THE SURVEY INDICATE THAT NO BURROWING OWLS ARE PRESENT ON-SITE, THEN THE PROJECT MAY MOVE FORWARD WITH GRADING, UPON PLANNING DIVISION APPROVAL. IF BURROWING OWLS ARE FOUND TO BE PRESENT OR NESTING ON-SITE DURING THE PRECONSTRUCTION SURVEY, THEN THE FOLLOWING RECOMMENDATIONS MUST BE ADHERED TO: EXCLUSION AND RELOCATION ACTIVITIES MAY NOT OCCUR DURING THE BREEDING SEASON, WHICH IS DEFINED AS MARCH 1 THROUGH AUGUST 31, WITH THE FOLLOWING EXCEPTION: FROM MARCH 1 THROUGH MARCH 15 AND FROM AUGUST 1 THROUGH AUGUST 31 EXCLUSION AND RELOCATION ACTIVITIES MAY TAKE PLACE IF IT IS PROVEN TO THE CITY AND APPROPRIATE REGULATORY AGENCIES (IF ANY) THAT EGG LAYING OR CHICK REARING IS NOT TAKING PLACE. THIS DETERMINATION MUST BE MADE BY A QUALIFIED BIOLOGIST."

PAVING NOTES:

1. STANDARDS. ALL WORK AND MATERIALS (I.E., ASPHALT CONCRETE (AC) PAVEMENT, PORTLAND CONCRETE CEMENT (PCC), BASE COURSE, ETC.) SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (I.E., GREENBOOK) LATEST EDITION, THE ENGINEERING AND CONSTRUCTION MANUAL, CITY AND ENGINEERING STANDARDS AND REQUIREMENTS.
2. PERMIT REQUIREMENTS. A GRADING OR ENCROACHMENT PERMIT(S) SHALL BE OBTAINED PRIOR TO PAVING. BEFORE OBTAINING AN ENCROACHMENT PERMIT, A CERTIFICATE OF INSURANCE AND THE REQUIRED BONDING (FOR PUBLIC IMPROVEMENTS) SHALL BE PROVIDED TO THE CITY ENGINEER. A CALTRANS ENCROACHMENT PERMIT MAY BE REQUIRED.
3. SOIL STERILIZER. AN APPROVED SOIL STERILIZER SHALL BE USED ON ALL BASE GRADE SURFACES PRIOR TO PAVING, IF SPECIFIED.
4. TACK COAT. A TACK COAT SHALL BE APPLIED TO EXISTING PAVEMENT AND VERTICAL JOINTS, CONCRETE SURFACES AND ASPHALT CONCRETE BASE COURSE, IF IT HAS BEEN EXPOSED TO VEHICULAR LOADS. THE TACK COAT SHALL BE SLOW SETTING ANIONIC EMULSIFIED ASPHALT TYPE "SS-1H" CONFORMING TO THE GREENBOOK.
5. VERIFICATION/TESTING. ALL SUBGRADE AND BASE GRADE SHALL BE CERTIFIED BY A LICENSED LAND SURVEYOR. BASE AND AC MATERIALS SHALL BE TESTED IN ACCORDANCE WITH THE CITY'S QUALITY ASSURANCE PROGRAM (QAP) AND/OR AS DIRECTED BY THE CITY ENGINEER.
- A. AC MATERIALS.
1. AC MATERIALS SHALL CONFORM TO SECTION 203-6 OF THE GREENBOOK AND CITY STANDARDS.
1. TYPE C2 PG70-10 FOR FINISH AND OVERLAY COURSES. THIS COURSE SHALL BE A MINIMUM OF 0.12 FOOT (1 1/2 INCHES) THICK INCLUDING GRIND AND OVERLAY INSTALLATIONS.
2. TYPE B PG70-10 FOR BASE COURSE. THIS COURSE SHALL CONTAIN THE BALANCE OF THE REQUIRED ASPHALT CONCRETE THICKNESS. THE MINIMUM AC LIFT FOR BASE COURSE IS 0.21 FOOT (2 1/2 INCHES).
2. THE MINIMUM AC THICKNESS IS 0.33 FOOT (4 INCHES).
3. THE MAXIMUM AC LIFT IS 0.33 FOOT (4 INCHES).
- NOTE: "SHOWING" IS A TYPE OF AC PAVEMENT FAILURE THAT MAY BE CAUSED BY ASPHALT MIXES THAT ARE TOO RICH IN ASPHALT, THAT HAVE COURSE/FINE AGGREGATE THAT IS TOO ROUNDED, ETC. TYPICALLY, SHOWING RESULTS AT HILLS, CURVES OR INTERSECTIONS, CAUSED BY BRAKING OR ACCELERATING VEHICULAR FORCES. TO PREVENT OR MINIMIZE SHOWING, THE CITY RESERVES THE RIGHT TO REQUIRE A MODIFIED AC MIX DESIGN WITH PROPERTIES THAT PROVIDE HIGH STABILITY (I.E., ABILITY TO RESIST SHOWING AND RUTTING, ANGULAR AGGREGATE PARTICLES WITH A ROUGH SURFACE TEXTURE, ETC.) IN COMPLIANCE WITH THE GREENBOOK AND/OR CALTRANS SPECIFICATIONS.
- B. BASE MATERIALS.
1. BASE MATERIALS SHALL CONFORM TO PROVISIONS OF THE GREENBOOK AND CURRENT CITY STANDARDS.
2. FOR STREET SECTIONS, BASE COURSE MATERIAL SHALL BE CRUSHED AGGREGATE BASE (CAB). PRINCIPAL AND URBAN ARTERIAL ROADS REQUIRE CAB.
- C. PORTLAND CONCRETE CEMENT. ALL PCC USED SHALL BE IN CONFORMANCE TO THE GREENBOOK.
- D. MIX DESIGNS. TEN (10) WORKING DAYS PRIOR TO PAVING, THE PROPOSED MIX DESIGN(S) FROM THE SUPPLYING ASPHALT OR CONCRETE PLANT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. THE MIX DESIGN(S) SHALL CLEARLY SHOW THAT THE DESIGN MEETS ALL CITY AND GREENBOOK REQUIREMENTS.
7. STREET SECTIONS. STREET STRUCTURAL SECTIONS SHOWN ON PLANS ARE TENTATIVE (I.E., THEY'RE USED FOR BONDING PURPOSES). THE FINAL STRUCTURAL SECTION REQUIREMENTS SHALL BE DETERMINED BY ADDITIONAL SOIL TEST, AFTER ROUGH GRADING. THE STRUCTURAL SECTION DESIGN SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. SAID DESIGN SHALL ADHERE TO THE METHODOLOGY SET FORTH IN CHAPTER 600 OF CALTRANS HIGHWAY DESIGN MANUAL AND SHALL UTILIZE THE "R" VALUE METHOD (I.E., "R" VALUE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH CALIFORNIA TEST NO. 301 AND SHALL BE CERTIFIED BY A REGISTERED CIVIL ENGINEER). THE NUMBER AND LOCATIONS OF THESE TESTS SHALL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
8. COMPACTION. PRIOR TO PLACEMENT OF BASE MATERIAL AND AC, COMPACTION REPORTS BY A SOILS ENGINEER, CERTIFYING 95R COMPACTION OF SUB-GRADE, BASE MATERIAL AND TOP 1 FOOT, SHALL BE SUBMITTED TO THE CITY ENGINEER. COMPACTION TEST OBSERVATION OF SUB-GRADE AND BASE GRADE MATERIALS SHALL BE COORDINATED TO INCLUDE THE SOILS ENGINEER AND THE PUBLIC WORKS INSPECTOR.
9. PAVING INSPECTIONS.
- A. BASE GRADE INSPECTION. ONE (1) INSPECTION AT SUB-GRADE COMPLETION (PRIOR TO PLACEMENT OF BASE) IS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS.
- B. PAVING INSPECTIONS. TWO (2) PAVING INSPECTIONS ARE REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS: (1) PRIOR TO PAVING, AT BASE GRADE COMPLETION; AND (2) DURING PLACEMENT OF AC.
- C. DRIVEWAYS. ALL ONSITE PRIVATE RESIDENTIAL DRIVEWAYS SHALL COMPLY WITH THE APPROVED PLANS AND CITY STANDARDS, AND SHALL BE INSPECTED AND CLEARED BY THE CITY ENGINEER PRIOR TO PAVING.
10. UTILITIES. ALL UNDERGROUND FACILITIES AND LATERALS SHALL BE IN PLACE PRIOR TO PAVING. PROVIDE CLEARANCE FROM UTILITY COMPANIES PRIOR TO FINAL CAP.
11. TRENCHING FOR UTILITIES. ALL STREET TRENCHES SHALL CONFORM TO CITY AND ENGINEERING STANDARDS. REFER TO CITY STANDARD NO. 407 "TRENCH/POTHOLE REPAIR" FOR TRENCH MAINTENANCE AND/OR REPAIRS. IF TRENCHES IN CLOSE PROXIMITY AND PARALLEL TO GUTTER LINES RESULT IN LEAVING PAVEMENT STRIPS IN DISTRESS OR LESS THAN TWO FEET (2') IN WIDTH (BETWEEN THE TRENCH AND GUTTER LINE), SAID PAVEMENT STRIPS SHALL BE REMOVED AND REPAVED, AT THE DISCRETION OF THE CITY ENGINEER. A TACK COAT SHALL BE APPLIED TO JOIN EXISTING ASPHALT CONCRETE AND VERTICAL SURFACES IN COMPLIANCE WITH THE GREENBOOK.
12. PARKING LOT GRADE. THE MINIMUM AC OR CONCRETE PAVEMENT GRADE SHALL BE ONE PERCENT (1%).
13. GUTTER LIE. A 3/8 INCH UP SHALL BE PLACED ADJACENT TO CONCRETE GUTTERS IN ACCORDANCE WITH CITY AND ENGINEERING STANDARDS. REFER TO STANDARD NO. 200.
14. PAVING DETAIL AROUND MANHOLES, VALVE COVERS, ETC. ALL PAVING AROUND MANHOLES, UTILITY VALVE COVER, ETC. SHALL BE IN ACCORDANCE WITH THE GREENBOOK REQUIREMENTS, UTILITY AGENCY REQUIREMENTS, AND CITY AND ENGINEERING STANDARDS. REFER TO CITY STANDARD NO. 503 "PAVING DETAIL AROUND MANHOLE."
15. AC PLACEMENT. THE METHOD OF DEPOSITING, DISTRIBUTING (I.E., USING A SELF-PROPELLED SPREADING/FINISHING MACHINE) AND ROLLING AC SHALL BE IN ACCORDANCE WITH THE GREENBOOK.
16. ACCEPTANCE OF PRODUCT. THE CONTRACTOR SHALL REPAIR ANY DEFECTIVE SURFACING DUE TO GRADE SETTLEMENT OF FILLS, TRENCH FILLS OR BASE MATERIAL, AS REQUIRED BY THE CITY ENGINEER. NO PROTECTIVE "BIROBATHS" OR DEVIATIONS GREATER THAN 1/8 INCH IN SIX FEET (6") SHALL BE ACCEPTED.
17. PROTECTION OF WORK. THE CONTRACTOR SHALL: (A) PROTECT EXISTING STRUCTURES, CURB AND GUTTERS, SIDEWALKS, LANDSCAPING, CATCH BASIN DEPRESSIONS AND OTHER SURFACE FEATURES AGAINST DAMAGE CAUSED BY PAVING OPERATIONS AND ASPHALT SPRAY; (B) PROTECT COMPLETED WORK; ALL VEHICULAR TRAFFIC (I.E., MOVING OR STATIONARY LOADS) SHALL BE KEPT OFF NEWLY PAVED AREAS UNTIL PAVEMENT SURFACES HAVE COOLED DOWN ADEQUATELY; (C) CLEAN THE SITE (I.E., REMOVE LOOSE PAVEMENT AND AGGREGATE, CLEAN OUT ALL MANHOLE PITS, ENSURE FREE OPERATION OF VALVES AFTER PAVING, REMOVE ALL DEBRIS, RUBBISH AND EXCESS MATERIAL FROM WORK AREA, ETC.).
18. OTHER CONSTRUCTION NOTES. REFER TO SEPARATE NOTES FOR "GENERAL," "GRADING" AND "EROSION AND SEDIMENT CONTROL" REQUIREMENTS.
19. OTHER PERTINENT INFORMATION. REFER TO THE CITY OF TEMECULA MUNICIPAL CODE, TITLE 18, "CONSTRUCTION, GRADING AND ENCROACHMENTS"

CULTURAL RESOURCES NOTES:

1. IF AT ANY TIME DURING EXCAVATION/CONSTRUCTION OF THE SITE, ARCHAEOLOGICAL/CULTURAL RESOURCES, OR ANY ARTIFACTS OR OTHER OBJECTS WHICH REASONABLY APPEARS TO BE EVIDENCE OF CULTURAL OR ARCHAEOLOGICAL RESOURCE ARE DISCOVERED, THE PROPERTY OWNER SHALL IMMEDIATELY ADVISE THE CITY OF SUCH AND THE CITY SHALL CAUSE ALL FURTHER EXCAVATION OR OTHER DISTURBANCE OF THE AFFECTED AREA TO IMMEDIATELY CEASE. THE DIRECTOR OF COMMUNITY DEVELOPMENT AT HIS/HER SOLE DISCRETION MAY REQUIRE THE PROPERTY OWNER TO DEPOSIT A SUM OF MONEY IT DEEMS REASONABLY NECESSARY TO ALLOW THE CITY TO CONSULT AND/OR AUTHORIZE AN INDEPENDENT, FULLY QUALIFIED SPECIALIST TO INSPECT THE SITE AT NO COST TO THE CITY, IN ORDER TO ASSESS THE SIGNIFICANCE OF THE FIND. UPON DETERMINING THAT THE DISCOVERY IS NOT AN ARCHAEOLOGICAL/CULTURAL RESOURCE, THE DIRECTOR OF COMMUNITY DEVELOPMENT SHALL NOTIFY THE PROPERTY OWNER OF SUCH DETERMINATION AND SHALL AUTHORIZE THE RESUMPTION OF WORK. UPON DETERMINING THAT THE DISCOVERY IS AN ARCHAEOLOGICAL/CULTURAL RESOURCE, THE DIRECTOR OF COMMUNITY DEVELOPMENT SHALL NOTIFY THE PROPERTY OWNER THAT NO FURTHER EXCAVATION OR DEVELOPMENT MAY TAKE PLACE UNTIL A MITIGATION PLAN OR OTHER CORRECTIVE MEASURES HAVE BEEN APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
2. IF AT ANY TIME DURING EXCAVATION/CONSTRUCTION OF THE SITE, ARCHAEOLOGICAL/CULTURAL RESOURCES, OR ANY ARTIFACTS OR OTHER OBJECTS WHICH REASONABLY APPEARS TO BE EVIDENCE OF CULTURAL OR ARCHAEOLOGICAL RESOURCE ARE DISCOVERED, THE PROPERTY OWNER SHALL IMMEDIATELY ADVISE THE CITY OF SUCH AND THE CITY SHALL CAUSE ALL FURTHER EXCAVATION OR OTHER DISTURBANCE OF THE AFFECTED AREA TO IMMEDIATELY CEASE. THE DIRECTOR OF COMMUNITY DEVELOPMENT AT THEIR SOLE DISCRETION MAY REQUIRE THE PROPERTY OWNER TO DEPOSIT A SUM OF MONEY IT DEEMS REASONABLY NECESSARY TO ALLOW THE CITY TO CONSULT AND/OR AUTHORIZE AN INDEPENDENT, FULLY QUALIFIED SPECIALIST TO INSPECT THE SITE AT NO COST TO THE CITY, IN ORDER TO ASSESS THE SIGNIFICANCE OF THE FIND. UPON DETERMINING THAT THE DISCOVERY IS NOT AN ARCHAEOLOGICAL/CULTURAL RESOURCE, THE DIRECTOR OF COMMUNITY DEVELOPMENT SHALL NOTIFY THE PROPERTY OWNER OF SUCH DETERMINATION AND SHALL AUTHORIZE THE RESUMPTION OF WORK. UPON DETERMINING THAT THE DISCOVERY IS AN ARCHAEOLOGICAL/CULTURAL RESOURCE, THE DIRECTOR OF COMMUNITY DEVELOPMENT SHALL NOTIFY THE PROPERTY OWNER THAT NO FURTHER EXCAVATION OR DEVELOPMENT MAY TAKE PLACE UNTIL A MITIGATION PLAN OR OTHER CORRECTIVE MEASURES HAVE BEEN APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
3. IF CULTURAL RESOURCES ARE DISCOVERED DURING THE PROJECT CONSTRUCTION (INADVERTENT DISCOVERIES), ALL WORK IN THE AREA OF THE FIND SHALL CEASE, AND A QUALIFIED ARCHAEOLOGIST AND THE PECHANGA MONITOR SHALL INVESTIGATE THE FIND, AND MAKE RECOMMENDATIONS AS TO TREATMENT AND MITIGATION.
4. A QUALIFIED ARCHAEOLOGICAL MONITOR WILL BE PRESENT AND WILL HAVE THE AUTHORITY TO STOP AND REDIRECT GRADING ACTIVITIES. IN CONSULTATION WITH THE PECHANGA TRIBE AND THEIR DESIGNATED MONITORS, EVALUATE THE SIGNIFICANCE OF ANY ARCHAEOLOGICAL RESOURCES DISCOVERED ON THE PROPERTY.
5. TRIBAL MONITORS FROM THE PECHANGA TRIBE SHALL BE ALLOWED TO MONITOR ALL GRADING, EXCAVATION AND GROUNDBREAKING ACTIVITIES, INCLUDING ALL ARCHAEOLOGICAL SURVEYS, TESTING, AND STUDIES, TO BE COMPENSATED BY THE DEVELOPER.
6. THE LANDOWNER AGREES TO RELINQUISH OWNERSHIP OF ALL CULTURAL RESOURCES, INCLUDING ALL ARCHAEOLOGICAL ARTIFACTS THAT ARE FOUND ON THE PROJECT AREA, TO THE PECHANGA TRIBE FOR PROPER TREATMENT AND DISPOSITION.
7. ALL SACRED SITES ARE TO BE AVOIDED AND PRESERVED.
8. NO GRUBBING/CLEARING OF THE SITE SHALL OCCUR PRIOR TO SCHEDULING THE PRE-GRADING MEETING WITH PUBLIC WORKS. ALL PROJECT SITES CONTAINING SUITABLE HABITAT FOR BURROWING OWLS, WHETHER OWLS WERE FOUND OR NOT, REQUIRE A 30-DAY PRECONSTRUCTION SURVEY THAT SHALL BE CONDUCTED WITHIN 30 DAYS PRIOR TO GROUND DISTURBANCE TO AVOID DIRECT TAKE OF BURROWING OWLS. IF THE RESULTS OF THE SURVEY INDICATE THAT NO BURROWING OWLS ARE PRESENT ON-SITE, THEN THE PROJECT MAY MOVE FORWARD WITH GRADING, UPON PLANNING DIVISION APPROVAL. IF BURROWING OWLS ARE FOUND TO BE PRESENT OR NESTING ON-SITE DURING THE PRECONSTRUCTION SURVEY, THEN THE FOLLOWING RECOMMENDATIONS MUST BE ADHERED TO: EXCLUSION AND RELOCATION ACTIVITIES MAY NOT OCCUR DURING THE BREEDING SEASON, WHICH IS DEFINED AS MARCH 1 THROUGH AUGUST 31, WITH THE FOLLOWING EXCEPTION: FROM MARCH 1 THROUGH MARCH 15 AND FROM AUGUST 1 THROUGH AUGUST 31 EXCLUSION AND RELOCATION ACTIVITIES MAY TAKE PLACE IF IT IS PROVEN TO THE CITY AND APPROPRIATE REGULATORY AGENCIES (IF ANY) THAT EGG LAYING OR CHICK REARING IS NOT TAKING PLACE. THIS DETERMINATION MUST BE MADE BY A QUALIFIED BIOLOGIST.
9. A PECHANGA TRIBAL MONITOR WILL BE PRESENT AND WILL HAVE THE AUTHORITY TO STOP AND REDIRECT GRADING ACTIVITIES, IN CONSULTATION WITH THE PROJECT ARCHAEOLOGIST AND THEIR DESIGNATED MONITORS, TO EVALUATE THE SIGNIFICANCE OF ANY POTENTIAL RESOURCES DISCOVERED ON THE PROPERTY

EROSION AND SEDIMENT CONTROL NOTES:

1. FILTERED RUNOFF. ALL RUNOFF SHALL BE FILTERED PRIOR TO DISCHARGING FROM A SITE OR TO ANY TYPE OF PRIVATE OR PUBLIC STORM WATER CONVEYANCE SYSTEM (NATURAL WATERCOURSES, STREETS, GUTTERS, CONCRETE-LINED V-DITCHES, STORM DRAINS, FLOW-LINES, INLETS, OUTLETS, ETC.). ALL NON-PERMITTED DISCHARGES ARE PROHIBITED FROM ENTERING ANY STORM WATER CONVEYANCE SYSTEM YEAR-ROUND.
2. BEST MANAGEMENT PRACTICES (BMPs). YEAR-ROUND, POLLUTION PREVENTION MEASURES, ALSO KNOWN AS BEST MANAGEMENT PRACTICES (BMPs), MUST BE INSTALLED PRIOR TO ANY FIELD ACTIVITIES. BMP HANDBOOKS CAN BE DOWNLOADED AT WWW.CABMHPHANDBOOKS.COM. ADDITIONAL EROSION PREVENTION AND SEDIMENT CONTROL (ESC) MEASURES MUST BE INSTALLED AND MAINTAINED PRIOR TO AND THROUGHOUT EACH RAINY SEASON. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ESC MEASURES THROUGHOUT THE DURATION OF THE PROJECT FOR ALL CLEARING, DISKING, GRADING, EXCAVATING AND STOCKPILING ACTIVITIES, AND ON ALL EXPOSED SLOPES AND INACTIVE PADS THROUGHOUT THE ENTIRE SITE. THE DEVELOPER/CONTRACTOR IS ALSO RESPONSIBLE FOR ANY DISCHARGES FROM SUBCONTRACTORS.
- A. STOCKPILING OF BMPs. ADDITIONAL ESC MATERIALS SHALL BE STOCKPILED AT VARIOUS LOCATIONS THROUGHOUT THE SITE FOR IMMEDIATE USE WITHIN SEVEN DAYS PRIOR TO ANY FORECAST RAIN. ON EMERGENCY SITUATIONS, THE DEVELOPER/CONTRACTOR SHALL IMMEDIATELY MAKE EQUIPMENT AND WORKERS AVAILABLE TO PROTECT THE SITE.
3. EROSION AND SEDIMENT CONTROLS. ALL ESC MEASURES SHALL BE INSPECTED, RESTORED, REPAIRED OR MODIFIED YEAR-ROUND THROUGHOUT THE SITE TO PROTECT PERIMETERS, ADJACENT PROPERTIES, ENVIRONMENTALLY SENSITIVE AREAS AND ALL PRIVATE/PUBLIC STORM WATER CONVEYANCE SYSTEMS. IF ANY EROSION OR SEDIMENT CONTROLS FAIL DURING ANY RAIN EVENT, MORE EFFECTIVE ONES WILL BE REQUIRED IN THEIR PLACE.
- A. EROSION CONTROLS. EROSION CONTROLS SHALL INCLUDE, BUT ARE NOT LIMITED TO: APPLYING AND ESTABLISHING: VEGETATIVE COVER, WOOD MULCH, STAPLED OR PINNED BLANKETS (STRAW, COCONUT OR OTHER), PLASTIC SHEETING (MINIMUM 10-MIL), POLYPROPYLENE MATS, SPRAY-ON CONTROLS TO ALL DISTURBED AREAS OR OTHER MEASURES APPROVED BY THE CITY ENGINEER. JUTE NETTING SHALL NOT BE USED AS A STAND-ALONE EROSION CONTROL. FOR SLOPES GREATER THAN 4:1, PROVIDE FIBER ROLLS AND EITHER A BONDED FIBER MATRIX PRODUCT APPLIED TO A RATE OF 10 GAL/ACRE. THE CITY ENGINEER MAY APPROVE DIFFERENT APPLICATION RATES FOR SLOPES LESS THAN 4:1.
- B. SEDIMENT CONTROLS. SEDIMENT CONTROLS SHALL INCLUDE, BUT ARE NOT LIMITED TO: DESILTING BASINS, GRADED BERMS, FIBER ROLLS, SILT FENCES, GRAVEL BAG CHEVRONS (FILLED WITH MINIMUM 3/4 GRAVEL), CHECK DAMS, DRAINAGE INLET PROTECTION, ETC. FIBER ROLLS SHALL BE INSTALLED IN 15-FOOT INCREMENTS MEASURED ALONG THE FACE OF THE SLOPE. SILT FENCE SHALL BE INSTALLED ALONG INTERIOR STREETS AND COMBINED WITH GRAVEL-BAG OR SILT FENCE CHEVRONS INSIDE THE SIDEWALK RIGHT-OF-WAY OR BACK OF CURBS.
4. STATE CONSTRUCTION GENERAL PERMIT: IF THE PROJECT DISTURBS, EXPOSES OR STOCKPILES ONE ACRE OR MORE OF SOIL, THE SITE MUST BE COVERED UNDER THE STATE CONSTRUCTION GENERAL PERMIT. A WASTE DISCHARGE IDENTIFICATION (WQID) NUMBER, A RISK LEVEL DETERMINATION NUMBER AND THE QUALIFIED "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) DEVELOPER (OSD) SHALL BE PROVIDED BY THE CITY PRIOR TO ISSUANCE OF A GRADING PERMIT. A SWPPP SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF THE PROJECT AND SHALL BE READILY AVAILABLE TO THE CITY AND STATE INSPECTORS AND UPDATED TO REFLECT CURRENT SITE CONDITIONS DURING CONSTRUCTION. THE CONSTRUCTION PERMIT CAN BE DOWNLOADED AT: WWW.WATERBOARDS.CA.GOV/WATERISSUES/PROGRAMS/STORMWATER/CONSTRUCTION.
5. PERIMETER PROTECTION. PERIMETER PROTECTION MUST BE INSTALLED PRIOR TO ANY CLEARING ACTIVITIES. CLEARING SHALL BE LIMITED TO AREAS THAT WILL BE IMMEDIATELY GRADED OR DISTURBED. A COMBINATION OF ESC MEASURES SHALL BE IMPLEMENTED IN AREAS THAT HAVE BEEN CLEARED. ALL DISTURBED AREAS OF AN INACTIVE SITE, AS DESCRIBED IN THE ENGINEERING AND CONSTRUCTION MANUAL, SHALL ALSO BE PROTECTED.
6. CONSTRUCTION ACCESS POINTS: CONSTRUCTION ACCESS POINTS SHALL BE STABILIZED WITH A COMBINATION OF ROCK AND SHAKER PLATES YEAR-ROUND TO PREVENT TRACK-OUT. INTERIOR ACCESS POINTS (ALL PORCEDED DRIVEWAYS, MATERIAL STORAGE AND STAGING AREA ENTRANCES/EXITS, ETC.) SHALL ALSO BE PROTECTED WITH ROCK TO PREVENT TRACK-OUT ONTO INTERIOR STREETS. ROUTINE STREET SWEEPING SHALL BE PERFORMED ON ALL PAVED STREETS WHERE TRACKING IS OBSERVED. VACUUM SWEEPERS SHALL BE USED WHEN STREET SWEEPING BECOMES INEFFECTIVE. CONTROLLED STREET WASHING SHALL ONLY BE ALLOWED PRIOR TO THE APPLICATION OF ASPHALT SEAL COATS, AND ONLY WHEN ALL PERTINENT DRAINAGE INLETS ARE PROTECTED.
7. DESILTING BASINS: DESILTING BASINS SHALL BE DESIGNED ACCORDING TO THE GUIDANCE PROVIDED IN CASQA'S CONSTRUCTION BMP HANDBOOK. IMPOUNDED WATER SHALL BE SECURED FROM THE PUBLIC. SIGMAGE INDICATING "PONDED WATER - DO NOT ENTER," OR AN EQUIVALENT WARNING NOTICE, SHALL BE POSTED.
8. MATERIAL STORAGE: MATERIAL STORAGE AND STAGING AREAS SHALL BE ESTABLISHED. FUEL TANKS, PORTABLE TOILETS, LIQUIDS, GELS, POWDERS, LANDSCAPE MATERIALS AND STOCKPILES OF SOIL SHALL BE STORED AWAY FROM ALL PRIVATE/PUBLIC STORM WATER CONVEYANCE SYSTEMS, SIDEWALKS, RIGHT-OF-WAYS AND FLOW-LINES AND SHALL HAVE SECONDARY CONTAINMENT. INACTIVE STOCKPILES OF SOIL SHALL BE COVERED AT ALL TIMES. ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORECAST RAIN.
9. CONSTRUCTION WASTE: CONSTRUCTION WASTE AND MISCELLANEOUS DEBRIS SHALL BE PLACED IN WATER-TIGHT BINS. WIRE MESH RECEPTACLES SHALL NOT BE ALLOWED. WASH-OUT STATIONS SHALL BE PROVIDED FOR CONCRETE, PAINTS, STUCCO AND OTHER LIQUID WASTE, AND SHALL BE LINED WITH PLASTIC AND LOCATED AWAY FROM PUBLIC RIGHT-OF-WAYS, FLOW LINES, ETC. PRIOR TO ANY FORECAST RAIN. BINS AND WASH-OUTS SHALL BE COVERED WITH LIDS OR PLASTIC TAPPS.
10. SLOPE PROTECTION: STORM WATER RUNOFF SHALL NOT BE DIRECTED OVER SLOPES WITHOUT PERMANENT DOWN DRAINS INSTALLED. ESC MEASURES ARE REQUIRED ON ALL EXPOSED SLOPES UNTIL SUFFICIENT/PERMANENT LANDSCAPE IS ESTABLISHED. THERE SHALL BE 100% SLOPE PROTECTION IN PLACE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
11. PORTABLE MIXERS: ALL PORTABLE MIXERS SHALL HAVE PLASTIC LINERS UNDERNEATH THEM WITH GRAVEL-BAGS PLACED ON THE DOWN-HILL SIDE OF THE LINERS TO CONTAIN DISCHARGES.
12. MAINTENANCE: ALL ONSITE AND OFFSITE FLOW LINES (I.E., V- AND BROW-DITCHES, TERRACE DRAINS, RIBBON GUTTERS, CURB GUTTERS, ETC.), STORM WATER CONVEYANCE SYSTEMS, CHECK DAMS, CHEVRONS, SILT FENCES AND DESILTING BASINS SHALL BE FREE OF SEDIMENT, CONSTRUCTION MATERIALS, WASTE, MISCELLANEOUS DEBRIS AND DETERIORATED ESC MEASURES YEAR-ROUND.
13. OBSTRUCTIONS: NO OBSTRUCTIONS, OTHER THAN BMPs, SHALL BE ALLOWED WITHIN ANY STORM WATER CONVEYANCE SYSTEM, UNLESS ALTERNATIVE DRAINAGE FACILITIES HAVE BEEN APPROVED BY THE CITY ENGINEER.
14. OTHER CONSTRUCTION NOTES: REFER TO SEPARATE NOTES FOR "GENERAL," "GRADING" AND "PAVING" REQUIREMENTS.

INADVERTENT ARCHEOLOGICAL FIND:

- INADVERTENT ARCHEOLOGICAL FIND. IF DURING GROUND DISTURBANCE ACTIVITIES, UNIQUE CULTURAL RESOURCES ARE DISCOVERED THAT WERE NOT ASSESSED BY THE ARCHAEOLOGICAL REPORT(S) AND/OR ENVIRONMENTAL ASSESSMENT CONDUCTED PRIOR TO PROJECT APPROVAL, THE FOLLOWING PROCEDURES SHALL BE FOLLOWED. UNIQUE CULTURAL RESOURCES ARE DEFINED, FOR THIS CONDITION ONLY, AS BEING MULTIPLE ARTIFACTS IN CLOSE ASSOCIATION WITH EACH OTHER, BUT MAY INCLUDE FEWER ARTIFACTS IF THE AREA OF THE FIND IS DETERMINED TO BE OF SIGNIFICANCE DUE TO ITS SACRED OR CULTURAL IMPORTANCE AS DETERMINED IN CONSULTATION WITH THE NATIVE AMERICAN TRIBE(S).
- I. ALL GROUND DISTURBANCE ACTIVITIES WITHIN 100 FEET OF THE DISCOVERED CULTURAL RESOURCES SHALL BE HALTED UNTIL A MEETING IS CONVENED BETWEEN THE DEVELOPER, THE ARCHAEOLOGIST, THE TRIBAL REPRESENTATIVE(S) AND THE COMMUNITY DEVELOPMENT DIRECTOR TO DISCUSS THE SIGNIFICANCE OF THE FIND.
- II. AT THE MEETING, THE SIGNIFICANCE OF THE DISCOVERIES SHALL BE DISCUSSED AND AFTER CONSULTATION WITH THE TRIBAL REPRESENTATIVE(S) AND THE ARCHAEOLOGIST, A DECISION SHALL BE MADE, WITH THE CONCURRENCE OF THE COMMUNITY DEVELOPMENT DIRECTOR, AS TO THE APPROPRIATE MITIGATION (DOCUMENTATION, RECOVERY, AVOIDANCE, ETC.) FOR THE CULTURAL RESOURCES.
- III. GRADING OF FURTHER GROUND DISTURBANCE SHALL NOT RESUME WITHIN THE AREA OF THE DISCOVERY UNTIL AN AGREEMENT HAS BEEN REACHED BY ALL PARTIES AS TO THE APPROPRIATE MITIGATION. WORK SHALL BE ALLOWED TO CONTINUE OUTSIDE OF THE BUFFER AREA AND WILL BE MONITORED BY ADDITIONAL TRIBAL MONITORS IF NEEDED.
- IV. TREATMENT AND AVOIDANCE OF THE NEWLY DISCOVERED RESOURCES SHALL BE CONSISTENT WITH THE CULTURAL RESOURCES MANAGEMENT PLAN AND MONITORING AGREEMENTS ENTERED INTO WITH THE APPROPRIATE TRIBES. THIS MAY INCLUDE AVOIDANCE OF THE CULTURAL RESOURCES THROUGH PROJECT DESIGN, IN-PLACE PRESERVATION OF CULTURAL RESOURCES LOCATED IN NATIVE SOILS AND/OR RE-BURIAL ON THE PROJECT PROPERTY SO THEY ARE NOT SUBJECT TO FURTHER DISTURBANCE IN PERPETUITY AS IDENTIFIED IN NON-DISCOVERY CONDITIONS OF THE DISCOVERY.
- V. IF THE FIND IS DETERMINED TO BE SIGNIFICANT AND AVOIDANCE OF THE SITE HAS NOT BEEN ACHIEVED, A PHASE III DATA RECOVERY PLAN SHALL BE PREPARED BY THE PROJECT ARCHAEOLOGIST, IN CONSULTATION WITH THE TRIBE, AND SHALL BE SUBMITTED TO THE CITY FOR THEIR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION OF THE SAID PLAN.
- VI. PURSUANT TO CALIF. PUB. RES. CODE § 21083.2(b) AVOIDANCE IS THE PREFERRED METHOD OF PRESERVATION FOR ARCHAEOLOGICAL RESOURCES AND CULTURAL RESOURCES. IF THE LANDOWNER AND THE TRIBE(S) CANNOT AGREE ON THE SIGNIFICANCE OR THE MITIGATION FOR THE ARCHAEOLOGICAL OR CULTURAL RESOURCES, THESE ISSUES WILL BE PRESENTED TO THE CITY COMMUNITY DEVELOPMENT DIRECTOR FOR DECISION. THE CITY COMMUNITY DEVELOPMENT DIRECTOR SHALL MAKE THE DETERMINATION BASED ON THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT WITH RESPECT TO ARCHAEOLOGICAL RESOURCES. RECOMMENDATIONS OF THE PROJECT ARCHAEOLOGIST AND SHALL TAKE INTO ACCOUNT THE CULTURAL AND RELIGIOUS PRINCIPLES AND PRACTICES OF THE TRIBE. NOTWITHSTANDING ANY OTHER RIGHTS AVAILABLE UNDER THE LAW, THE DECISION OF THE CITY COMMUNITY DEVELOPMENT DIRECTOR SHALL BE APPEALABLE TO THE CITY PLANNING COMMISSION AND/OR CITY COUNCIL.
- CULTURAL RESOURCES DISPOSITION. IN THE EVENT THAT NATIVE AMERICAN CULTURAL RESOURCES ARE DISCOVERED DURING THE COURSE OF GRADING (INADVERTENT DISCOVERIES), THE FOLLOWING PROCEDURES SHALL BE CARRIED OUT FOR FINAL DISPOSITION OF THE DISCOVERIES:
- A) ONE OR MORE OF THE FOLLOWING TREATMENTS, IN ORDER OF PREFERENCE, SHALL BE EMPLOYED WITH THE TRIBES. EVIDENCE OF SUCH SHALL BE PROVIDED TO THE CITY OF TEMECULA COMMUNITY DEVELOPMENT DEPARTMENT:
1. PRESERVATION-IN-PLACE OF THE CULTURAL RESOURCES, IF FEASIBLE. PRESERVATION IN PLACE MEANS AVOIDING THE RESOURCES, LEAVING THEM IN THE PLACE WHERE THEY WERE FOUND WITH NO DEVELOPMENT AFFECTING THE INTEGRITY OF THE RESOURCES.
- II. REBURIAL OF THE RESOURCES ON THE PROJECT PROPERTY (AS IDENTIFIED ON BURIAL AREA EXHIBIT). THE MEASURES FOR REBURIAL SHALL INCLUDE, AT LEAST, THE FOLLOWING: MEASURES AND PROVISIONS TO PROTECT THE FUTURE REBURIAL AREA FROM ANY FUTURE IMPACTS IN PERPETUITY. REBURIAL SHALL NOT OCCUR UNTIL ALL LEGALLY REQUIRED CATALOGING AND BASIC RECORDATION HAVE BEEN COMPLETED, WITH AN EXCEPTION THAT SACRED ITEMS, BURIAL GOODS AND NATIVE AMERICAN HUMAN REMAINS ARE EXCLUDED. ANY REBURIAL PROCESS SHALL BE CULTURALLY APPROPRIATE. LISTING OF CONTENTS AND LOCATION OF THE REBURIAL SHALL BE INCLUDED IN THE CONFIDENTIAL PHASE IV REPORT. THE PHASE IV REPORT SHALL BE FILED WITH THE CITY UNDER A CONFIDENTIAL COVER AND NOT SUBJECT TO PUBLIC RECORDS REQUEST.
- ARCHAEOLOGY REPORT - PHASE III AND IV. PRIOR TO FINAL INSPECTION, THE DEVELOPER/PERMIT HOLDER SHALL PROMPT THE PROJECT ARCHAEOLOGIST TO SUBMIT TWO (2) COPIES OF THE PHASE III DATA RECOVERY REPORT, IF REQUIRED, AND THE PHASE IV CULTURAL RESOURCES MONITORING REPORT THAT COMPLETES WITH THE COMMUNITY DEVELOPMENT DEPARTMENT'S REQUIREMENTS FOR SUCH REPORTS. THE PHASE IV REPORT SHALL INCLUDE EVIDENCE OF THE REQUIRED CULTURAL/HISTORICAL SENSITIVITY TRAINING FOR THE CONSTRUCTION STAFF HELD DURING THE PRE-GRADE MEETING. THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL REVIEW THE REPORTS TO DETERMINE ADEQUATE MITIGATION COMPLIANCE. PROVIDED THE REPORTS ARE ADEQUATE, THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL CLEAR THIS CONDITION. ONCE THE REPORT(S) ARE DETERMINED TO BE ADEQUATE, TWO (2) COPIES SHALL BE SUBMITTED TO THE EASTERN INFORMATION CENTER (EIC) AT THE UNIVERSITY OF CALIFORNIA RIVERSIDE (UCR) AND ONE (1) COPY SHALL BE SUBMITTED TO THE CONSULTING TRIBE(S) CULTURAL RESOURCES DEPARTMENT(S).
- ARCHAEOLOGIST RETAINED. PRIOR TO BEGINNING PROJECT CONSTRUCTION, THE PROJECT APPLICANT SHALL RETAIN A RIVERSIDE COUNTY QUALIFIED/CITY OF TEMECULA APPROVED ARCHAEOLOGICAL MONITOR TO MONITOR ALL GROUND-DISTURBING ACTIVITIES IN AN EFFORT TO IDENTIFY ANY UNKNOWN ARCHAEOLOGICAL RESOURCES. ANY NEWLY DISCOVERED CULTURAL RESOURCES SHALL BE SUBJECT TO A CULTURAL RESOURCES EVALUATION. THE ARCHAEOLOGICAL MONITOR'S AUTHORITY TO STOP AND REDIRECT GRADING WILL BE EXERCISED IN CONSULTATION WITH THE PECHANGA TRIBE IN ORDER TO EVALUATE THE SIGNIFICANCE OF ANY POTENTIAL RESOURCES DISCOVERED ON THE PROPERTY. PECHANGA AND ARCHAEOLOGICAL MONITORS SHALL BE ALLOWED TO MONITOR ALL GRADING, EXCAVATION AND GROUNDBREAKING ACTIVITIES, AND SHALL ALSO HAVE THE LIMITED AUTHORITY TO STOP AND REDIRECT GRADING ACTIVITIES SHOULD AN INADVERTENT CULTURAL RESOURCE BE IDENTIFIED. THE ARCHAEOLOGIST SHALL PROVIDE A FINAL MONITORING REPORT AT THE END OF ALL EARTHMOVING ACTIVITIES TO THE CITY OF TEMECULA, THE PECHANGA TRIBE AND THE EASTERN INFORMATION CENTER AT UC, RIVERSIDE.
- HUMAN REMAINS. IF HUMAN REMAINS ARE ENCOUNTERED, CALIFORNIA HEALTH AND SAFETY CODE SECTION 7050.5 STATES THAT NO FURTHER DISTURBANCE SHALL OCCUR UNTIL THE RIVERSIDE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN. FURTHER, PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODE SECTION 5097.98(b) REMAINS SHALL BE LEFT IN PLACE AND FREE FROM DISTURBANCE UNTIL A FINAL DECISION AS TO THE TREATMENT AND DISPOSITION HAS BEEN MADE. IF THE RIVERSIDE COUNTY CORONER DETERMINES THE REMAINS TO BE NATIVE AMERICAN, THE NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS. THE NATIVE AMERICAN HERITAGE COMMISSION MUST THEN IMMEDIATELY IDENTIFY THE MOST LIKELY DESCENDANT(S) OF RECEIVING NOTIFICATION OF THE DISCOVERY. THE MOST LIKELY DESCENDANT(S) SHALL THEN MAKE RECOMMENDATIONS WITHIN 48 HOURS, AND ENGAGE IN CONSULTATIONS CONCERNING THE TREATMENT OF THE REMAINS AS PROVIDED IN PUBLIC RESOURCES CODE 5097.98 AND THE TREATMENT AGREEMENT DESCRIBED IN THESE CONDITIONS.



TWO WORKING DAYS BEFORE YOU DIG

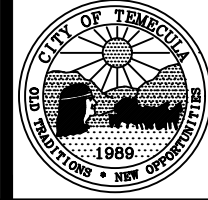
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Contractor						SEE NOTE ON SHEET 1.
Inspector						
Date Completed						

SCALE
Horizontal
AS SHOWN
Vertical
N/A



Designed By	Drawn By	Checked By
NJD	NJD	SDH
Plans Prepared Under Supervision Of		
Stanley D. Heaton		
Date: 5/7/2025		
R.C.E. No. 43982		

RECOMMENDED BY:	DATE:
ACCEPTED BY:	DATE:
RON MORENO, P.E. DIRECTOR OF PUBLIC WORKS / CITY ENGINEER R.C.E. No. 69156	



**CITY OF TEMECULA**  
DEPARTMENT OF PUBLIC WORKS

**PRECISE GRADING PLAN**  
**PARCEL 3, P.M. 29132**  
**PARKER MEDICAL CENTER II PA22-0987**  
**NOTES**

APPROVED BY: \_\_\_\_\_ NAME \_\_\_\_\_ DATE \_\_\_\_\_

Drawing No. \_\_\_\_\_

Sheet **2** of 5

PA22-0987 1219-110W6 (6640W6) 1219-1\_POP.dwg Last Saved Fri Apr 2025 8:22am



CONSTRUCTION NOTES (PRECISE GRADING ONLY)

1. CONSTRUCT TYPE "A-6" CURB AND GUTTER PER CITY OF TEMECULA STD. NO. 200
2. CONSTRUCT TYPE "D-6" CURB PER CITY OF TEMECULA STD. NO. 204A
3. CONSTRUCT TYPE "D" CURB W/ 0" CURB FACE PER CITY OF TEMECULA STD. NO. 204B
4. CONSTRUCT 6" A.C. PAVEMENT OVER 8" CRUSHED AGGREGATE BASE (PER SOILS REPORT)
5. CONSTRUCT 4" A.C. PAVEMENT OVER 6" CRUSHED AGGREGATE BASE (PER SOILS REPORT)
6. CONSTRUCT 1' CURB OPENING PER DETAIL 1 ON SHEET 4
7. CONSTRUCT 2' CURB TRANSITION PER CITY OF TEMECULA STD. NO. 213
8. CONSTRUCT 4" P.C.C. RIBBON GUTTER PER DETAIL 2 SHEET 4
9. CONSTRUCT 4" P.C.C. SIDEWALK PER CITY OF TEMECULA STD. NO. 401 & SOILS ENGR'S REC.
10. CONSTRUCT 12" STEP-OUT CURB PER DETAIL 3 SHEET 4
11. CONSTRUCT ADA ACCESS RAMP PER CITY OF TEMECULA STD. NO. 402
12. CONSTRUCT BIORETENTION BASIN PER DETAIL 4 ON SHEET 4
13. CONSTRUCT RETAINING WALL BY SEPARATE PERMIT
14. CONSTRUCT TRASH ENCLOSURE PER ARCHITECT'S SITE PLANS
15. CONSTRUCT WHEEL STOP PER DETAIL 5 ON SHEET 4
16. CONSTRUCT 12" PVC DRAIN
17. CONSTRUCT CURB OUTLET PER CITY OF TEMECULA STD. NO. 301
18. CONSTRUCT TRUNCATED DOMES PER CITY OF TEMECULA STD. NO. 402 (SHEET 2)
19. CONSTRUCT 4" P.C.C. PAVEMENT PER SOILS ENGR'S REC.
20. CONSTRUCT 4" DECOMPOSED GRANITE
21. REMOVE 3' SECTION OF WALL AND INSTALL GATE
22. NOT USED
23. CONSTRUCT DRAINAGE SWALE PER DETAIL 6 ON SHEET 4
24. INSTALL 6" NDS ATRIUM GRATE WITH SPEE-D BASIN OR EQUIVALENT
25. INSTALL 6" PVC DRAIN PIPE
26. INSTALL 12" NDS ATRIUM GRATE WITH SPEE-D BASIN
27. INSTALL 1" PAVERS OVER CONCRETE
28. REMOVE AND REPLACE AC PAVEMENT MATCH EXISTING GRADES FOR SMOOTH TRANSITION
29. REMOVE AND REPLACE PORTION OF EXISTING DRIVE APPROACH

LEGEND:

BOT.	BOTTOM OF PIPE
EX.	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
LP	LOW POINT
PAD	PAD ELEVATION
R/W	RIGHT OF WAY
TC	TOP OF CURB
TYP.	TYPICAL
TW	TOP OF WALL
TF	TOP OF FOOTING
PIP	PROTECT IN PLACE
M.E.	MATCH EXISTING
---	EXISTING RETAINING WALL
- - -	PROPOSED RETAINING WALL
- C -	CENTERLINE
- P -	PROPERTY LINE
Y 2:1 Y	2:1 SLOPE (UNLESS OTHERWISE NOTED)
-(1450)	EXISTING CONTOUR
1450	PROPOSED ELEVATION
- - -	CUT
- - -	FILL
- - -	CUT/FILL LINE
- - -	ADA PATH
- - -	EARTHEN SWALE
BR	BIOFILTRATION BASIN

EASEMENT NOTES:

1. AN EASEMENT FOR TRASH ENCLOSURE RECORDED APRIL 22, 2024, INSTRUMENT NO. 2024-0119540, OFFICIAL RECORDS, COUNTY OF RIVERSIDE.
2. EASEMENT AND SLOPE AND LANDSCAPE MAINTENANCE AGREEMENT RECORDED JANUARY 7, 2004, INSTRUMENT NO. 2004-0009399 OFFICIAL RECORDS, COUNTY OF RIVERSIDE.
3. GRANT OF EASEMENT AND MAINTENANCE AGREEMENT RECORDED MAY 10, 2022 AS INSTRUMENT NO. 2022-0217168, ALL REMAINING EASEMENTS ARE NOT PLOTTABLE



CONSTRUCTION RECORD	DATE	BY	REVISIONS	ACCD	DATE	BENCH MARK
Contractor						SEE NOTE ON SHEET 1.
Inspector						
Date Completed						

SCALE
Horizontal
AS SHOWN
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N/A

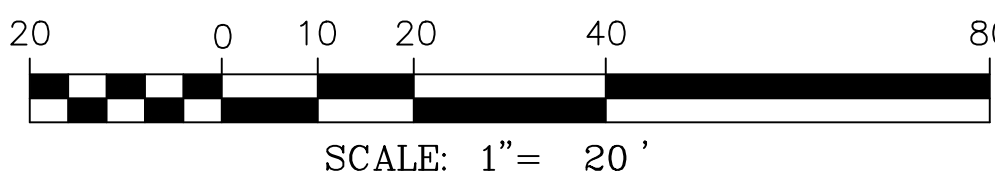
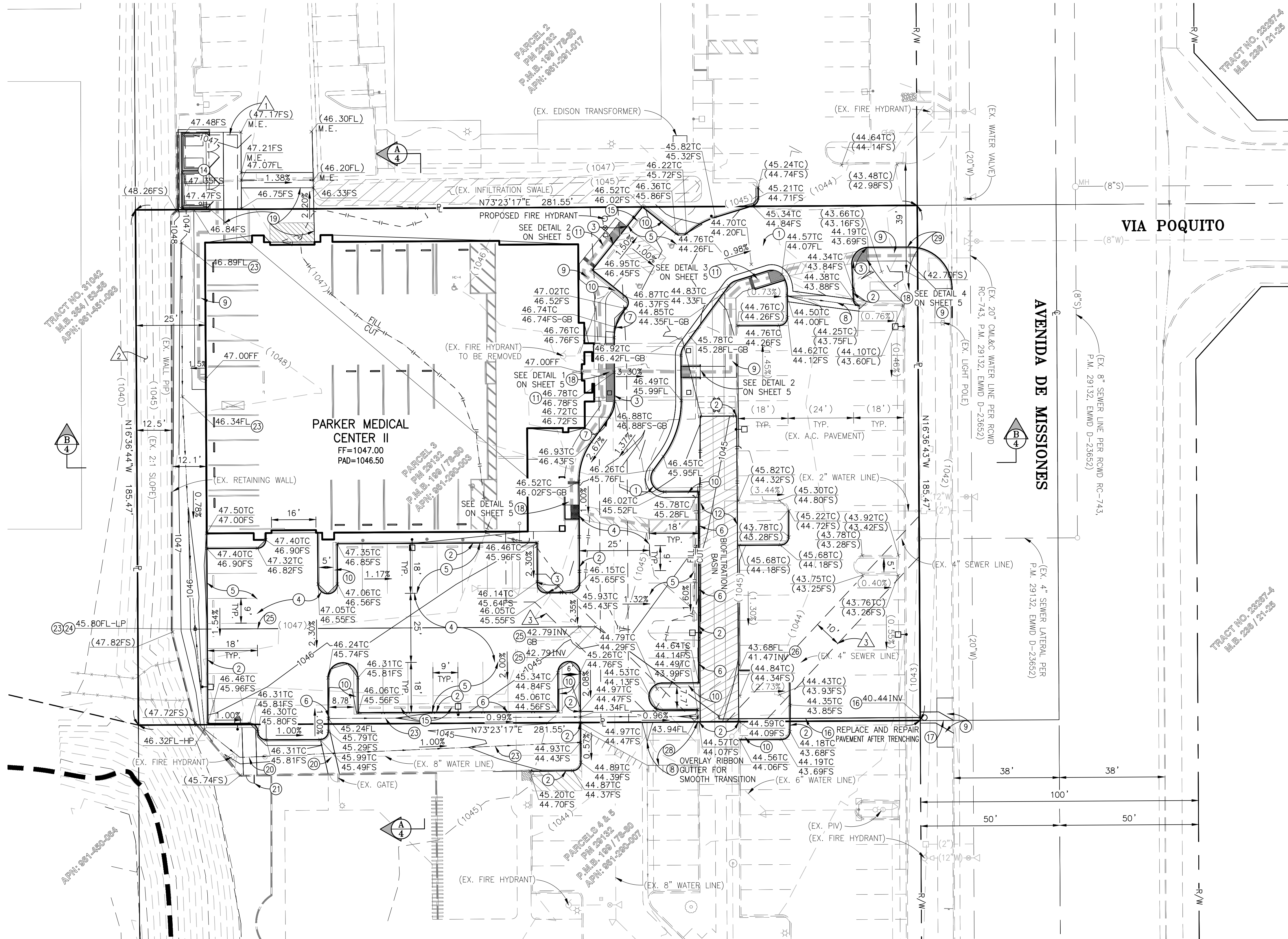


Designed By	Drawn By	Checked By
NJD	NJD	SDH
Plans Prepared Under Supervision Of		
Date: 5/7/2025		
Stanley D. Heaton		
R.C.E. No. 43982		

RECOMMENDED BY:	DATE:
ACCEPTED BY:	DATE:
RON MORENO, P.E. DIRECTOR OF PUBLIC WORKS / CITY ENGINEER R.C.E. No. 69156	

CITY OF TEMECULA	DEPARTMENT OF PUBLIC WORKS
PRECISE GRADING PLAN PARCEL 3, P.M. 29132 PARKER MEDICAL CENTER II PA22-0987 PRECISE GRADING PLAN	

Drawing No.
Sheet 3 of 5



PA22-0987

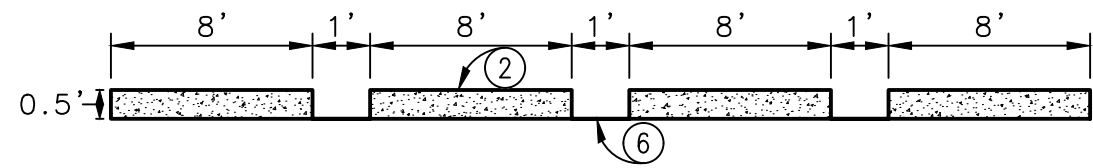
BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: NAME DATE

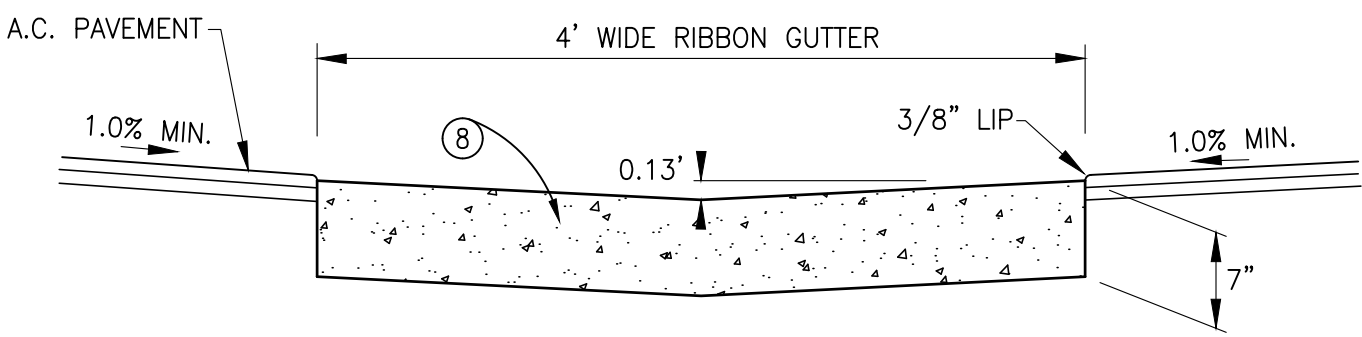
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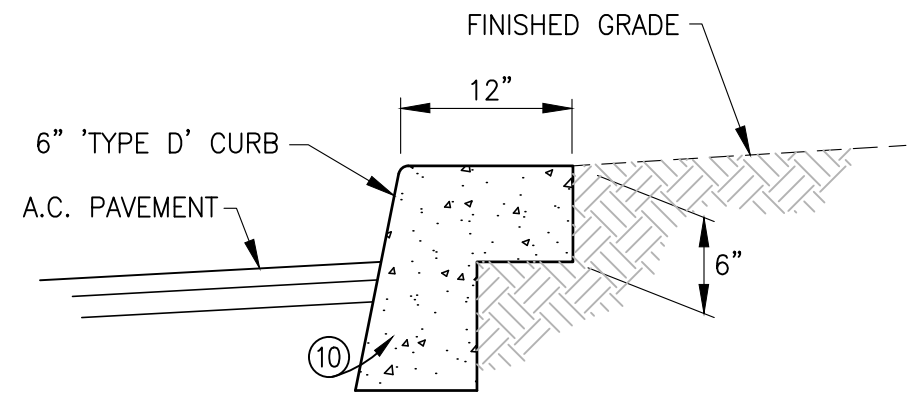
1' TYPICAL CURB OPENING DETAIL  
NO SCALE

1



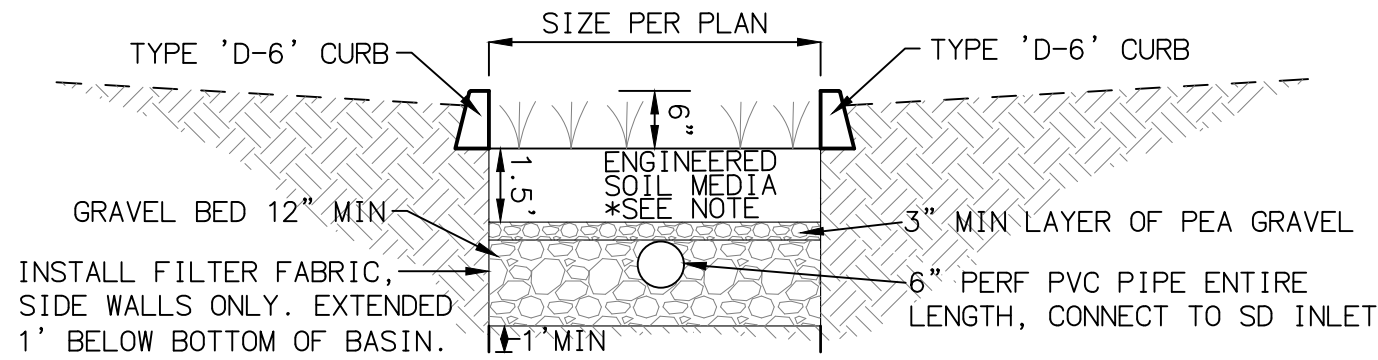
RIBBON GUTTER DETAIL  
NO SCALE

2



STEP-OUT CURB DETAIL  
NO SCALE

3



BIO-FILTRATION BASIN DETAIL  
NO SCALE

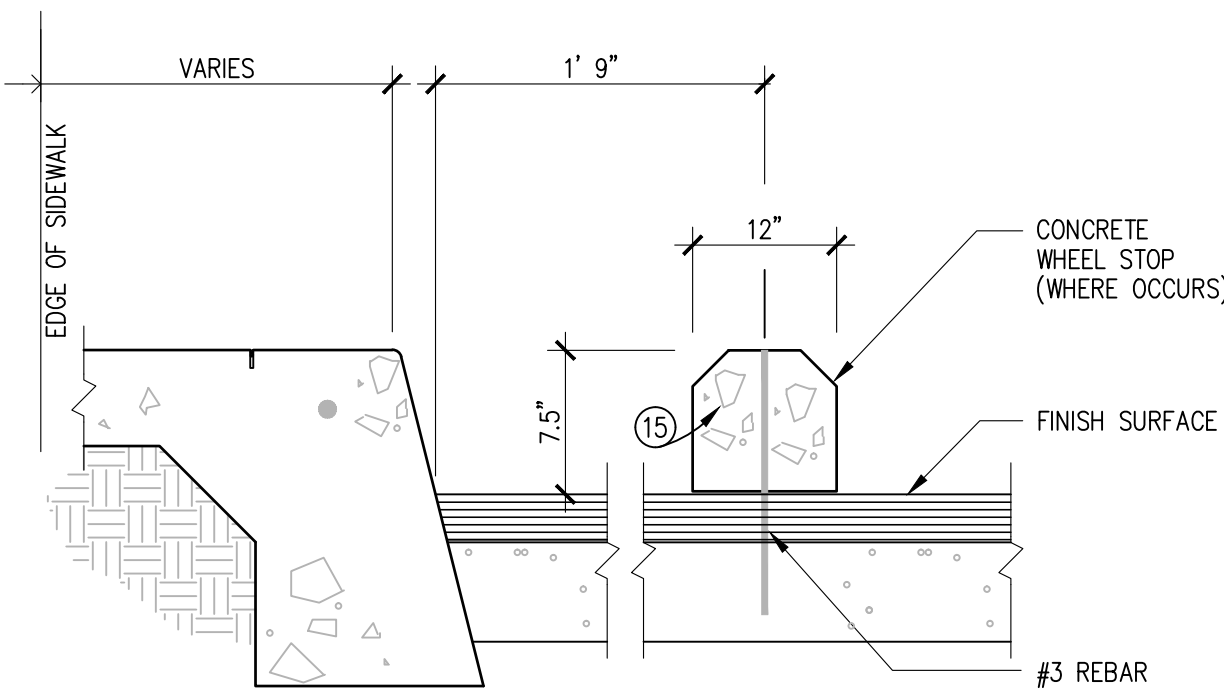
ENGINEERED SOIL MEDIA REQUIREMENTS

\*THE ENGINEERED SOIL MEDIA SHALL BE COMPRISED OF 85 PERCENT MINERAL COMPONENT AND 15 PERCENT ORGANIC COMPONENT, BY VOLUME, DRUM MIXED PRIOR TO PLACEMENT. THE MINERAL COMPONENT SHALL BE A CLASS-A SANDY LOAM TOPSOIL THAT MEETS THE RANGE SPECIFIED IN TABLE 1 BELOW. THE ORGANIC COMPONENT SHALL BE NITROGEN STABILIZED COMPOST, SUCH THAT NITROGEN DOES NOT LEACH FROM THE MEDIA.

PERCENT RANGE	COMPONENT
70-80	SAND
0-20	TOPSOIL
0-20	COMPOST

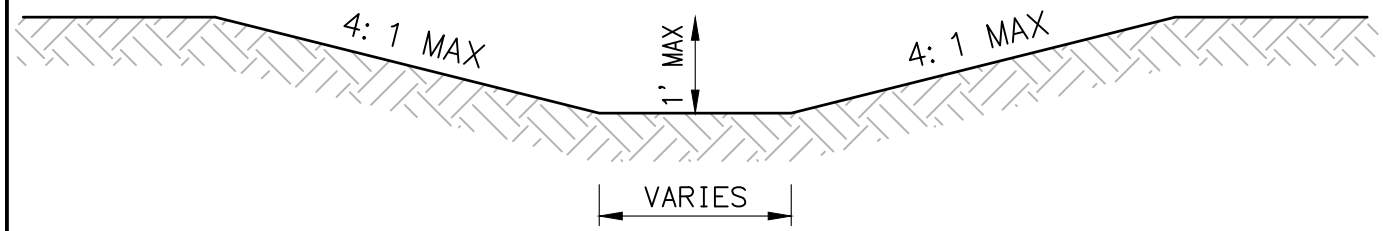
THE TRIP TICKET, OR CERTIFICATE OF COMPLIANCE, SHALL BE MADE AVAILABLE TO THE INSPECTOR TO PROVE THE ENGINEERED MIX MEETS THIS SPECIFICATION.

4

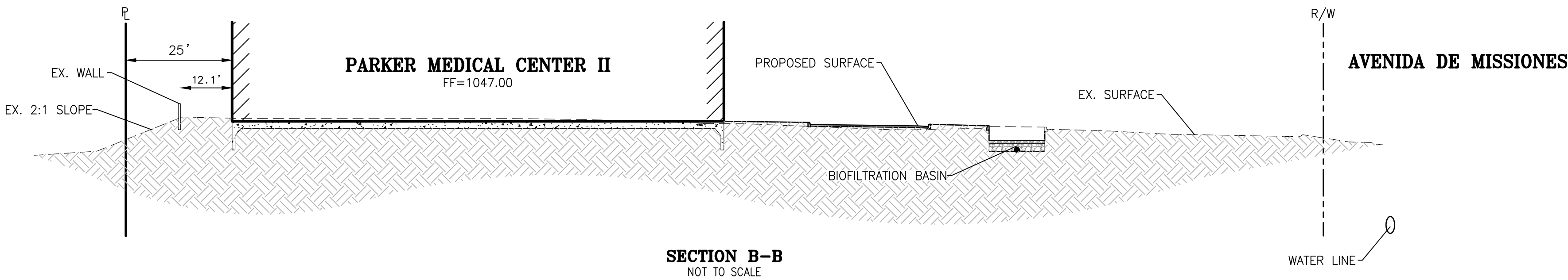
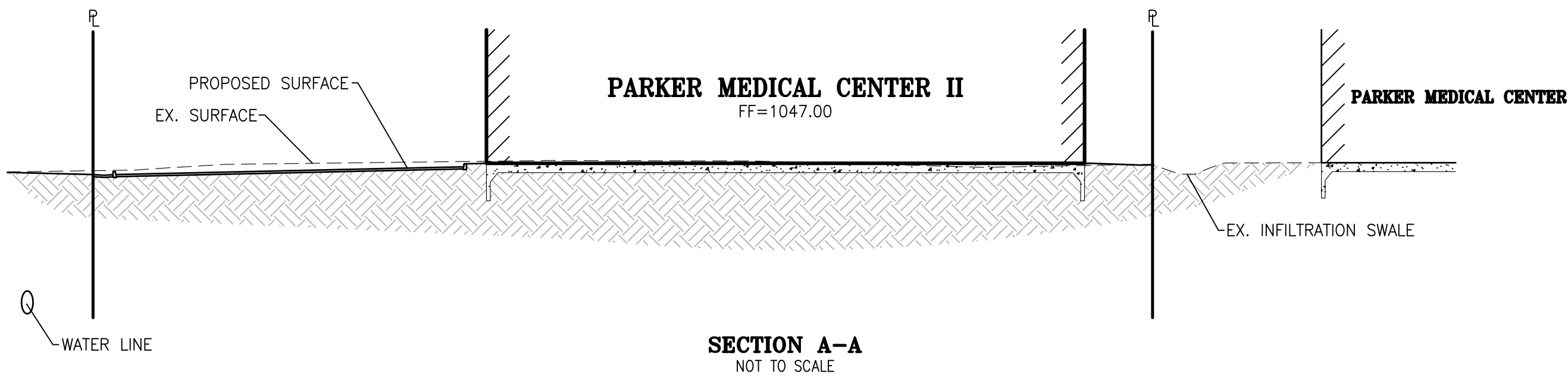


CONCRETE WHEEL STOP  
NO SCALE

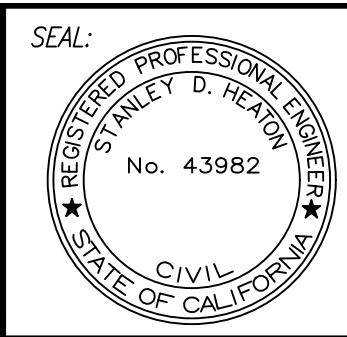
5



TYPICAL DRAINAGE SWALE  
NO SCALE



CONSTRUCTION RECORD	DATE	BY	REVISIONS	ACCD	DATE	BENCH MARK
Contractor						SEE NOTE ON SHEET 1.
Inspector						
Date Completed						



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NJD	NJD	SDH
Plans Prepared Under Supervision Of		
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RECOMMENDED BY: _____ DATE: _____
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**CITY OF TEMECULA**  
DEPARTMENT OF PUBLIC WORKS

**PRECISE GRADING PLAN**  
PARCEL 3, P.M. 29132  
PARKER MEDICAL CENTER II PA22-0987  
DETAILS AND SECTIONS

Drawing No.
Sheet
4 of 5

PA22-0987

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH  
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: \_\_\_\_\_ NAME \_\_\_\_\_ DATE \_\_\_\_\_

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