

# WINCHESTER MARKETPLACE TEMECULA, CALIFORNIA SIGN PROGRAM #30

Original Sign Program Approved March 15, 1999  
Amended June 11, 2015 (PA15-1350)  
Amended March 20, 2017 (PA17-0546)

APNs:

910290009  
910290011  
910290007  
910290008  
910290006  
910290010



## TABLE OF CONTENTS

	Page
OBJECTIVE _____	1
TENANT RESPONSIBILITY _____	1
SUBMITTALS AND APPROVALS _____	1, 2
RESTRICTIONS _____	2, 3
Prohibited Signs _____	2
Nonconforming Signs _____	3
Illegal Signs _____	3
Abandoned Signs _____	3
GENERAL PROVISIONS _____	4
CONSTRUCTION REQUIREMENTS _____	5, 6
TENANT WALL MOUNTED SIGNS _____	8
Ancillary Signs _____	9
Window signs _____	10
Temporary Window Signs _____	10
PROJECT ENTRY MONUMENT SIGNS /MULTI- TENANT PYLON _____	11
GRAPHIC EXHIBITS _____	attached

**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 1**

**OBJECTIVE**

The objective of the Winchester Marketplace Sign Guidelines and Criteria is to provide design standards and specifications that assure consistency in quality, color, size, placement, and configuration for signage throughout the project.

**TENANT RESPONSIBILITY**

Tenant shall be responsible for the following:

- o Sign design for tenant(s) sign(s)
- o Permit processing costs and application fees
- o Sign fabrication and installation
- o All costs relating to signage maintenance, repair or removal, including repair of any damage to the building, i.e. patching painting of building fascia to maintain the appearance and operating condition of all signs once they are installed, and in accordance with approved plans.

**SUBMITTALS AND APPROVALS**

1. There is a formal process for the creation, review and approval of tenant signage. Prior to sign fabrication, plans for all proposed signage shall be submitted to the Owner or His Authorized Agent who will review plans for conformance with the Tenant Sign Guidelines and Criteria. All plans submitted for approval must conform to requirements of the criteria contained herein and the City of Temecula Ordinances. The Owner shall have the discretionary authority to deny approval for any submittal which does not comply with the intent or purpose of the Tenant Sign Guidelines and Criteria. Lessee shall submit within forty -five (45) days after lease signing.

For signage approval, include (3) sets of the following and submit to:

SCHULTZ ASSOC., LLC  
ATTN: KRISTINA McCABE AMY COLLINS  
6119 RIDGEVIEW, STE 300  
RENO, NV. 98509  
PHONE: (775) 828 -1400



**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 2**

- a. Include with submittal, name, address and phone number of tenant/ user.
  - b. Name, address and phone number of Sign Contractor, copy of workman's comp. insurance certificate, C-45 electric sign contractor's License copy and copy of Liability Insurance Certificate for at least \$2,000,000.00 (two million dollars) naming "CIP Temecula, LLC and it's Agents" as additional insured.
  - c. Elevation of structure showing all proposed signs indicating sign type, design, location, size and layout of sign drawn to scale and indicating dimensions of building, dimensions of tenant frontage as well as sign dimensions, attachment devices and construction details, colors, materials and lighting details.
  - d. Section detail of letters and /or sign element showing a dimensional projection of the face of letters, method and intensity of illumination.
2. Following approval of proposed signage by the Owner, applications for all permits for fabrication and installation by Sign Contractor may be submitted to the City of Temecula Planning Department for approval, along with applicable sign permit applications. Tenant shall provide landlord a copy of sign permit card within 5 days of issuance.
3. Fabrication and installation of all signs shall be performed in accordance with the standards and specifications outlined in these guidelines and in the final approved plans and working drawings. Following completion of signage installation, tenant shall provide landlord copy of sign) permit /inspection record card showing final City approval within five days of issuance.

**RESTRICTIONS**

Only those sign types specified by Ordinance No. 98 -10 of the City of Temecula and approved in writing by the Owner will be allowed. The following signs are prohibited:

1. **Prohibited Signs**
  - a. Signs other than those required for public safety, information or interpretive signage, shall be prohibited in any area designated as natural open space.
  - b. Exposed junction boxes, transformers, lamps, tubing, conduits, or neon crossovers of any type.



- c. Typical internally illuminated cabinet sign with acrylic material used for entire sign face.



**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 4**

- d. Rooftop signs, rotating, revolving, flashing or moving signs, and pole signs.
- e. Advertising or promotional signs on parked vehicles.
- f. Off premise signs (other than directional signs) installed for the purpose of advertising a project, event, person or subject not related to the premises upon which said sign is located.
- g. No signs, decals or advertising may be placed on windows except as provided for in the sign plan and specifically approved in writing by the owner. Window neon signs will be considered by the landlord on a case by case basis.
- h. No temporary promotional signs, appliances, or advertising shall be permitted such as banners, pennants, streamers, temporary wall signs, portable signs, sandwich boards, inflatable displays or any other attention getting devices except as provided for herein, or as allowed by City of Temecula Ordinance No. 98 -10, Chapter 17.28 along with owner approval.

2. Nonconforming Signs

The Owner may, at its sole discretion, correct, replace or remove any sign that is installed without written approval and /or that is deemed not to be in conformance with the plans as submitted and with the Tenant Sign Guidelines and Criteria.

3. Illegal Signs

Any sign that is deemed not to be in conformance with the approved Tenant Sign Guidelines and Criteria or erected without government approval or permits is considered an illegal sign. The owner may, at its sole discretion, correct, replace or remove any illegal sign.

4. Abandoned Signs

An abandoned sign is that whose use is discontinued because the premises upon which it is located becomes vacated and unoccupied for a period of more than 90 days or as specified in Section D, Chapter 17.28.910 of City Sign Ordinance. The Owner may, at its sole discretion, replace or remove any abandoned sign.

\*Note: Any expense incurred by Owner for correction or removal of Non-Conforming Signs; Illegal Signs and Abandoned Signs will be the burden of the tenant and tenant will reimburse owner for all costs upon receipt of invoice.

**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 5**

**GENERAL PROVISIONS**

1. Signs shall be designed in a manner that is compatible with and complementary to the overall project and adjacent facades.
2. Only those sign types provided for in the sign plan and /or specifically approved in writing by the Owner will be allowed.
3. Signage that incorporates logos, business identity, and /or images denoting the type of business shall be encouraged. Logo design and colors to be approved by the Owner.
4. Logo and letter heights, where specified, shall be determined by measuring the normal capital letter of a type font exclusive of typographic swashes, ascenders, and descenders.
5. Signs shall be without visible means of attachment, unless attachments make an intentional statement.
6. All sign fabrication work shall be of excellent quality. All logo images and type styles shall be accurately reproduced. Lettering that approximates type styles shall not be acceptable. The Owner reserves the right to reject any fabrication work deemed to be below standard.

*Added June 11, 2015*

7. Sign Backers for channel letters and logo boxes are to be constructed of a high quality materials and finishes that must be pre-approved by the City of Temecula and landlord. Example high quality finished include wood, powder coated aluminum, glass and other materials that are durable and visually compatible with the entire center. The total size of the backers shall be no larger than five (5%) percent of the approved sign area.
8. The combined depth of the backers plus signs shall be no deeper than 10 inches

**CONSTRUCTION REQUIREMENTS**

1. All formed metal, such as letter forms, shall be fabricated using full-weld construction and manufactured of aluminum.
2. All ferrous and non-ferrous metals shall be separated with non-conductive gaskets to prevent electrolysis. In addition to gaskets, stainless steel fasteners shall be used to



secure ferrous to non-ferrous metals.

3. Threaded rods or anchor bolts shall be used to mount illuminated channel letters, which are spaced out from fascia. Angle clips attached to letter sides will not be permitted. Channelume type construction will not be permitted.
4. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free of dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.

**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 7**

5. All penetrations shall be waterproofed so as not to allow any water leaks. All channel letters must have "weep holes" or drain holes at the bottom of letters.
6. Depth of illuminated channel letters shall not exceed 5 inches. Neon inside illuminated channel letters shall be sufficient to make illumination even with no dull spots or "hot spots"
7. Signs illuminated with neon shall use 30 m.a. transformers. All illumination must match the exact specifications of the approved shop drawings.
8. Reverse pan channel letters or letters with halo illumination must have clear lexan enclosures covering the backside of each letter.
9. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks will not be permitted.
10. All conduit, raceways, crossovers, wiring, ballast boxes, transformers, and other equipment necessary for sign connection shall be concealed.
11. Underwriter's Laboratory-approved labels shall be affixed to all electrical fixtures. Fabrication and installation of electrical signs shall comply with all national and local building and electrical codes.
12. Penetrations into building walls, where required, shall be made waterproof.
13. Location of all openings for conduit sleeves and support in sign panels and building walls shall be indicated by the sign contractor on drawings submitted to the Owner. Sign contractor shall install same in accordance with the approved drawings.
14. In no case shall any manufacturer's label be visible from normal viewing angles.

**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 8**

**TENANT WALL MOUNTED SIGNS:**

One square foot of signage is allowed for every linear foot of store frontage per the City of Temecula Sign Ordinance. All wall-mounted signs shall conform to details in attached Exhibit D.

- a. Internally-illuminated channel letters, reverse pan channel letters, and open pan channel letters are all allowable sign types. Open pan channel letters may only be used when the inside of the channel lettering is painted the same color as the neon used within the channel.
- b. All wall signage must be fabricated of aluminum. See attached Exhibit D for details.
- c. The maximum letter height within the center is 42" for in-line tenants, and 45" for stand-alone pad tenants. The minimum letter height for all tenants shall be no less than 8". Note: For stand-alone Building D, the overall sign height, including logo(s), shall not exceed 88".
- d. The use of internally-illuminated logo boxes in conjunction with internally-illuminated individual letters is permitted provided the height of the logo nodule is no greater than the height of the largest letter and no wider than two times (2x) the height of the largest letter. In no case will logo nodules by themselves be allowed.
- e. Externally-illuminated tenant wall signs are not allowed.

**Colors**

The following guidelines are to be adhered to in selecting colors for signage:

- Sign colors should be selected to provide sufficient contrast for readability against building backgrounds (see sign type exhibits attached)
- Colors within each sign should be harmoniously blended
- Color of letter returns on channel letters should match the color of the fascia upon which the signs are attached unless approved in writing by Owner.
- Neon colors should complement related signage elements (e.g., red plex letter face with red neon)



**WINCHESTER MARKETPLACE  
TENANT SIGN GUIDELINES AND CRITERIA**

**PAGE 9**

1. **Type Styles**

Tenants may adapt established type styles or logo fonts that are in use on similar buildings operated by them, provided that the Owner approves them. Type may be arranged in one or more lines of copy, and may consist of upper and/ or lower case letters.

2. **Design Balance**

Notwithstanding the maximum square footage specified for copy area allowances, adequate amounts of visual open space shall be provided so that signs appear balanced and in scale in relation to their backgrounds and adjacent signage, Only those sign types outline herein will be allowed unless specifically approved in writing by the Owner and the City of Temecula. The types of signs allowed will vary in accordance with architectural configurations and other building/site conditions.

Tenants with more than one frontage may have one sign per elevation as approved by Owner and the city of Temecula. Stand-alone Building D shall be allowed one sign per elevation, subject to approval by Owner and City of Temecula. All signs must conform to the design criteria of this Sign Program.

3. **Location of Tenant Signage**

Tenant signs should be centered vertically and horizontally in designated sign band area or tower locations below the architectural diamonds on the fascia. Refer to "Exhibit E" for guidance. Same exhibit also shows maximum letter height for "typical" sign locations.

Stacked copy is allowed, but in no case may the overall height of stacked copy (not including any separate logo box(ex)) exceed the maximum allowable height for a single line of letters. E.g., if the Tenant's sign location allows a 24" maximum letter height and they wish to have two lines of "stacked" copy, then the stacked copy cannot exceed 24" in overall height.

*Added January 20th, 2026*

Pursuant to the objectives and standards established in the Winchester Marketplace Sign Program, the proposed designated sign band placements are detailed in attached Graphic Exhibits labeled *Typical Sign Placement* and are consistent with the adopted sign guidelines above. the placement, size, and construction of the new sign should adhere to the one square foot per linear foot frontage ratio, maximum height restrictions, allowable materials, and illumination standards as set forth in this program (see pages 8-10). This amendment ensures that the identity and visibility needs of the tenants are balanced with the community's aesthetic expectations and Cit of Temecula Ordinance No. 98-10.

**Ancillary Signage**

Ancillary signs are signs other than primary tenant identification signs. Typical ancillary signage includes:



**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 10**

**Window Signs**

Window signs may be incorporated as part of a tenant storefront display; but such signs should be designed to augment the display of merchandise and appropriately scaled. Maximum area allowed is 4 square feet per window. Design of all window signs subject to Owner's approval prior to installation. Use of windows strictly as "sign boards" or backgrounds is prohibited. Window neon signs may be allowed on a case-by-case basis requiring Owner's review and approval. All window neon signs must be hard-wired ceiling and use a dedicated junction box. No plug -in neon allowed.

**Temporary Window Signs:**

Temporary window signs are allowed if they meet the following criteria: Temporary window signs are those signs which advertise or promote a special event, such as an opening, or offering a new product or service, and are easily removed.

- i. Sign graphics of any nature painted directly on a window shall not be considered a temporary window sign.
- ii. A window sign advertising or promoting any product or service offered on a regular basis or at a regular price shall not be considered a temporary window sign.
- iii. Temporary window signs shall not be illuminated, shall be limited to 12% of the tenant's storefront glass area, and shall be displayed no more than 14 days.
- iv. Flashing or moving signage is prohibited.

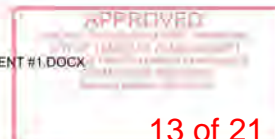
**PROJECT ENTRY MONUMENT SIGNS: (EXHIBIT A)**

Entry monument wall signs shall be located at each entrance (see site plan exhibit). In addition two individual tenant monument signs shall be allowed for entire center per the new City of Temecula Sign Ordinance. Each tenant monument sign shall be limited to 6 feet in height and 30 sq feet per sign face.

**WINCHESTER MARKETPLACE**  
**TENANT SIGN GUIDELINES AND CRITERIA**  
**PAGE 11**

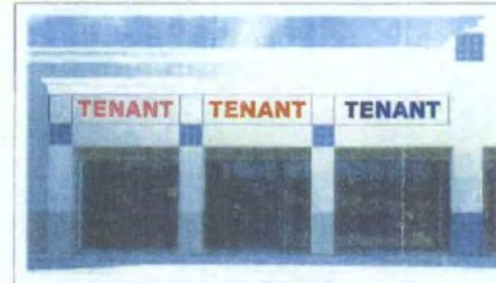
**MULTI TENANT PYLON SIGNS:(EXHIBIT B)**

Signs shall be located on Parcel 1 and Parcel 5. The exact location is to be determined at time of sign submittal for permits. These signs shall contain multiple panels for use by tenants of the project. However, the Developer reserves all rights and authority to determine which Tenants, if any, may be permitted to use signage.





2'-0" LETTER SIZE MAXIMUM HERE



1'-0" LETTER SIZE MAXIMUM HERE



3'-0" LETTER SIZE MAXIMUM HERE



3'-0" LETTER SIZE MAXIMUM HERE

**TYPICAL SIGN PLACEMENT**

ELEVATIONS 5/8" SCALE 3/32" x 1/8"  
 SIGN LENGTHS TO BE 75 PERCENT OF LEASED PREMISES MAXIMUM...  
 SIGN HEIGHTS TO BE BASED ON ARCHITECTURAL FEATURES SHOWN ABOVE...  
 SIGN SQUARE FOOTAGE TO BE BASED ON CITY CODE REQUIREMENTS...

PROJECT TITLE WINCHESTER MARKETPLACE  
 ADDRESS TEMECULA  
 ACCOUNT EXECUTIVE REID COOPER  
 FILE #WINCHED1 DESIGN #98824 REVISED MARCH 04, 1999 DAG

**APPROVED**

SUBJECT TO BUILDING DEPARTMENT APPROVAL  
 CITY OF TEMECULA PLANNING DEPARTMENT  
 PROJECT MEETS ZONING STANDARDS

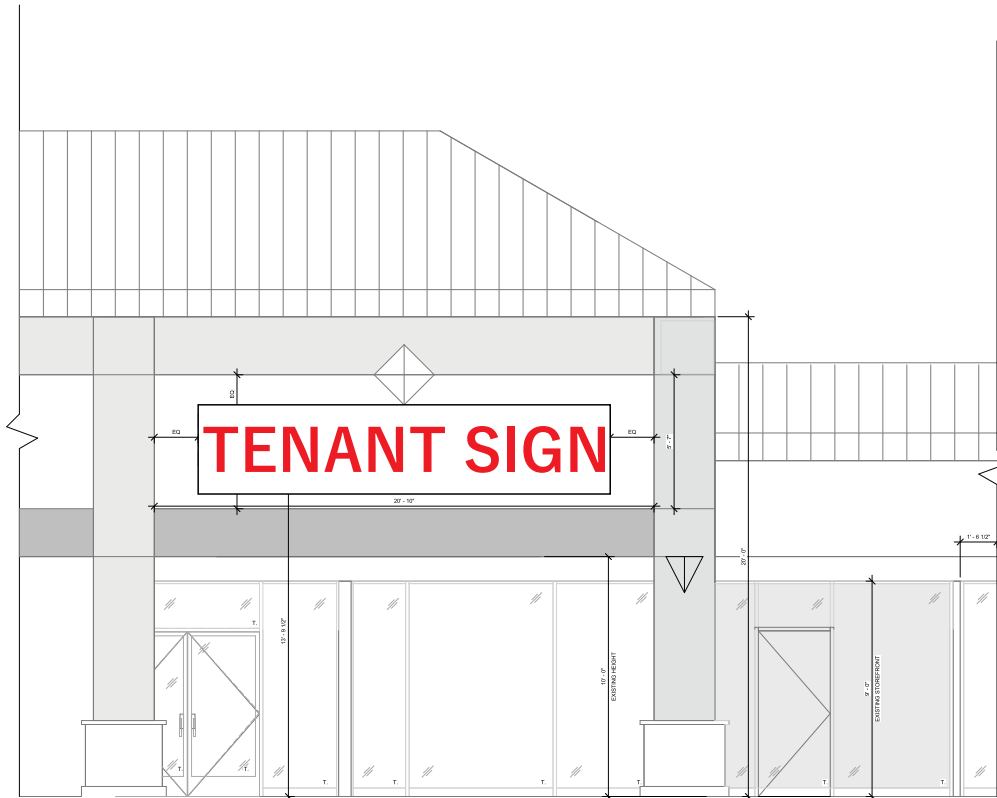
WRITTEN CONSENT OF ULTRANEON SIGN COMPANY  
 brandon.rabidou  
 03/31/2017

ULTRANEON SIGN COMPANY  
 5455 CAMP EY STREET, SUITE 401, SAN DIEGO, CA 92121  
 ALL RIGHTS RESERVED

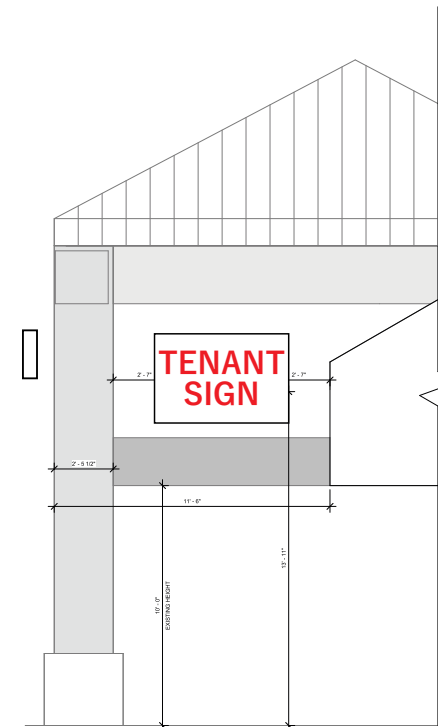
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Added January 20th, 2026

Pursuant to the objectives and standards established in the Winchester Marketplace Sign Program, the proposed designated sign band placements are detailed in attached Graphic Exhibits labeled Exhibits labeled Typical Sign Placement and are consistent with the adopted sign guidelines above. The placement, size, and construction of the new sign should adhere to the one square foot per linear foot frontage ratio, maximum height restrictions, allowable materials, and illumination standards as set forth in this program (see pages 8-10). This amendment ensures that the identity and visibility needs of tenants are balanced with the community's aesthetic expectations and City of Temecula Ordinance No. 98-10.



2'-0" Letter Size Maximum here



2'-0" Letter Size Maximum here

**TYPICAL SIGN PLACEMENT CONTINUED...**

Elevation Scale: 1/8"=1'-0"



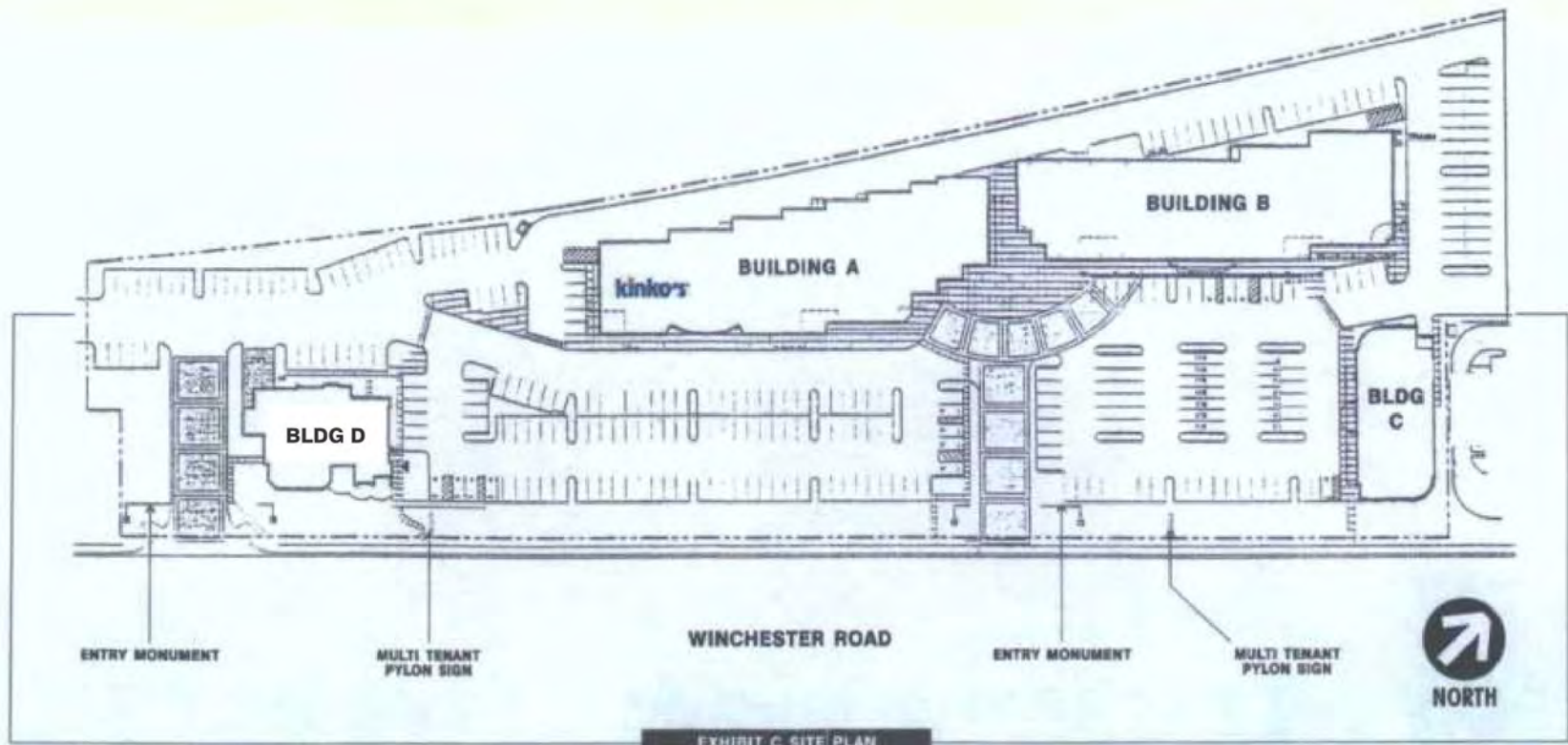
NEW DOUBLE FACED INTERNALLY ILLUMINATED MULTI-TENANT MONUMENT DISPLAY SCALE 3/8"=1'-0"  
 USE STANDARD .090 AND .063 ALUMINUM CONSTRUCTION WITH ANGLE FRAME AND STEEL PIPE SUPPORT INTO CEMENT FOOTING.  
 SIGN PANELS USE .090 ALUMINUM WITH ROUTED AREAS WHERE GRAPHICS OCCUR.  
 PUSH THROUGH 1/2" CLEAR PLEX WITH TRANSLUCENT VINYL FACES FOR THROUGH FACE AND EDGE LIGHTING.  
 USE WHITE LEXAN DIFFUSER PANELS BEHIND, ILLUMINATE WITH CWOHO FLUORESCENT TUBES AT 1'-0" ON CENTER.  
 USE CERAMIC TILE DECOR AT BASE ON CEMENT PAD AND FOOTING.

PROJECT TITLE WINCHESTER MARKETPLACE  
 ADDRESS TEMECULA  
 ACCOUNT EXECUTIVE REID COOPER  
 FILE #WINCHE01 DESIGN #98824 REVISED MARCH 04, 1999 DAG

**APPROVED**

SUBJECT TO BUILDING DEPARTMENT APPROVAL  
 CITY OF TEMECULA PLANNING DEPARTMENT  
 PROJECT MEETS ZONING STANDARDS  
 PERMITS ARE REQUIRED  
 brandon.rabidou  
 03/31/2017

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WINCHESTER ROAD

**EXHIBIT C SITE PLAN**

MULTI TENANT PYLON SIGNS  
MUST BE AT LEAST 350'-0" APART  
SETBACKS FROM PROPERTY LINE SHALL BE A  
MINIMUM OF 5'-0" OR A MINIMUM OF 17'-0"  
FROM FACE OF CURB WHICHEVER IS LESS

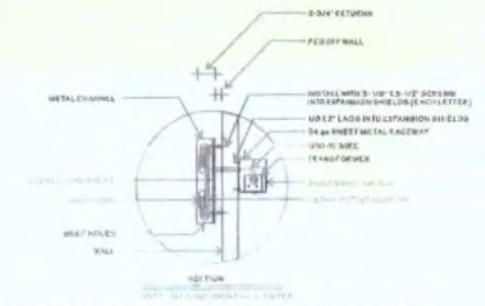
PROJECT TITLE: WINCHESTER MARKETPLACE  
ADDRESS: TEMECULA  
ACCOUNT EXECUTIVE: REID COOPER  
FILE#WINCHE01 DESIGN#988024 REVISED MARCH 04, 1998 DAG

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 CITY OF TEMECULA PLANNING DEPARTMENT  
 PROJECT MEETS ZONING STANDARDS  
 PERMITS ARE REQUIRED  
 brandon.rabidou  
 03/31/2017  
 Amended March 2017



NEW SINGLE FACED INTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTER DISPLAYS (MAKE TWO SETS) SCALE 3/16"=1'-0"  
 USE STANDARD ALUMINUM CONSTRUCTION WITH SEMI GLOSS ENAMEL FINISH.  
 PAINT FACES METALLIC COPPER PENNY, RETURNS TO MATCH CERAMIC TILE COLOR.  
 ILLUMINATE WITH 30 mA #4800 WHITE NEON HALO.  
 VERIFY EXACT TRANSFORMER LOCATION PRIOR TO INSTALLATION.



REVERSE PAN CHANNEL LETTERS WITH DOUBLE BACKS

PROJECT COLOR PALLETTE	
	FRAZEE WILDCAT #8714M
	FRAZEE MUSHROOM BASKET #8712W
	METALLIC COPPER PENNY PAINT (TBO)
	MATCH PROJECT CERAMIC TILE



WALL ELEVATION SCALE 3/16"=1'-0"  
 WEST ENTRY NEAR "MIMIS"

**EXHIBIT A**  
**PROJECT ENTRY MONUMENT SIGNS**



WALL ELEVATION SCALE 3/16"=1'-0"  
 CENTRAL ENTRY

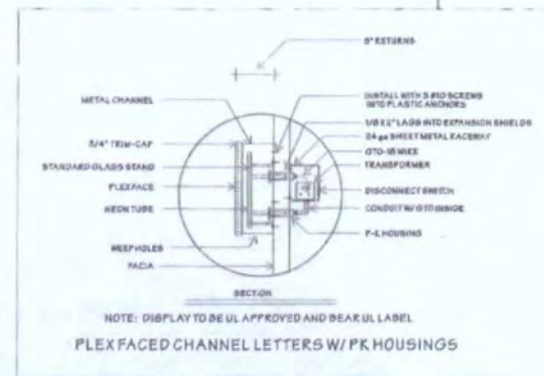
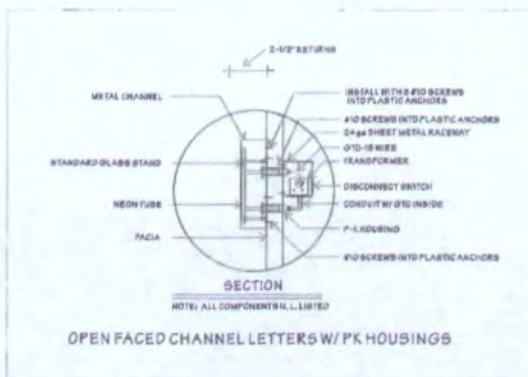
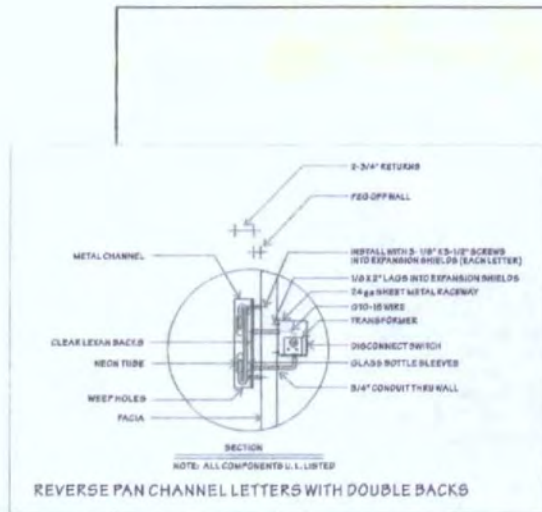
PROJECT TITLE WINCHESTER MARKETPLACE  
 ADDRESS TEMECULA  
 ACCOUNT EXECUTIVE REID COOPER  
 FILE #WINCHE01 DESIGN #98024 REVISED MARCH 04, 1999 DAG

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 CITY OF TEMECULA PLANNING DEPARTMENT  
 ALL PERMITS MUST BE OBTAINED FROM THE CITY ENGINEER  
 PROJECT MEETS ZONING STANDARDS  
 PERMITS ARE REQUIRED  
 Brandon.Rabidou  
 03/31/2017

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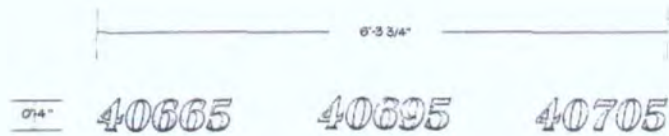
**EXHIBIT D**

ALL LETTER AND GRAPHIC CONSTRUCTION TO BE ALUMINUM FORMED AND PAINTED SEMI GLOSS ENAMEL, SIDES OF LETTERS TO BE .063, LETTER BACKS OR FACES TO BE .080, TRANSFORMERS TO BE 30 MA. ALL COLORS AND GRAPHICS TO BE SUBJECT TO LANDLORD APPROVAL.

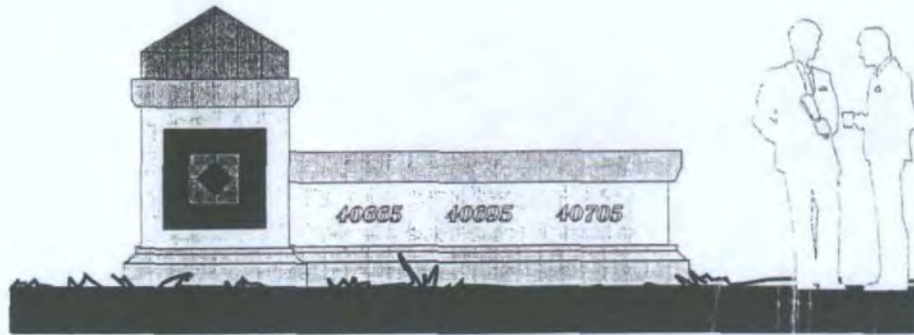
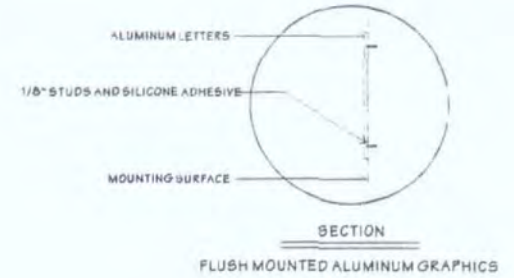
PROJECT TITLE WINCHESTER MARKETPLACE  
 ADDRESS TEMECULA  
 ACCOUNT EXECUTIVE REID COOPER  
 FILE #WINCHE01 DESIGN #98024 REVISED MARCH 04, 1999 DAG

**APPROVED**  
 SUBJECT TO BUILDING DEPARTMENT APPROVAL  
 CITY OF TEMECULA PLANNING DEPARTMENT  
 PROJECT MEETS ZONING STANDARDS  
 PERMIT STAFF PROVIDED  
 brandon.rabidou  
 03/31/2017

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NEW SINGLE FACED NON ILLUMINATED ADDRESS NUMERALS WALL DISPLAY SCALE 3/4"=1'-0"  
 USE STANDARD FLAT CUT OUT 1/4" ALUMINUM GRAPHICS WITH SEMI GLOSS ENAMEL FINISH,  
 PAINT METALLIC COPPER PENNY FLUSH MOUNT.



WALL ELEVATION SCALE 3/8"=1'-0"  
 EAST ENTRY  
*Central*

PROJECT TITLE WINCHESTER MARKETPLACE  
 ADDRESS 40665-40705 WINCHESTER ROAD, TEMECULA  
 ACCOUNT EXECUTIVE REID COOPER  
 FILE #WINCHE01 DESIGN #98624 REVISED MARCH 15, 1999 DAG

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**ultraneon**  
**APPROVED**  
 SIGN COMPANY

SUBJECT TO BUILDING DEPARTMENT APPROVAL  
 ALL CITY OF TEMECULA PLANNING DEPARTMENT  
 PROJECT MEETS ZONING STANDARDS  
 WRITTEN CONSENT FROM ULTRANEON SIGN COMPANY  
 PERMITS ARE REQUIRED  
 brandon.rabidou  
 03/31/2017

City of Temecula PLANNING Department  
 City of Temecula PLANNING Department

DATE: 09-Mar-99 JOB Winchester Marketplace

STRUCTURAL TECHNOLOGY  
651 Arroyo Dr., Suite 100  
San Diego, CA 92103-6401  
(619) 296-2096

SHEET 1  
of 1

BY: JCD No. 237 - 77

CLIENT: Ultraneon  
CODE: 1994 UBC  
LOCATION: Temecula, CA  
WINCHESTER RD.  
WIND: Basic Wind = 70  
Exposure = C  
Wind governs qs = 12.6  
Cq = 1.4

Design Wind Pressures

0' - 15'	18.70
15' - 20'	19.93
20' - 25'	20.99
25' - 30'	21.70
30' - 40'	23.11
40' - 60'	25.23

AREA	FORCE	ARM	MOMENT
33.2	620	3.25	2015
25.5	477	9.00	4291
3.8	72	12.00	858

62 1168 7164

FOOTING

SOIL PRESSURE =  $100 \times 2 \times 1.33 = 267$  PSF/FT  
(UBC TABLE 18-1-A VALUE  $\times 2$ , PER FOOTNOTE 3 & 1603.5)

P = 1168 LBS H = 6.13 FEET

B = 1.50 FEET

S1 =  $S \times D / 3 = 575.24$

A =  $2.34 \times P / (S1 \times B) = 3.17$

D =  $.5 \times A (1 + (1 + 4.36 \times H / A)^{.5}) = 6.46$  FEET

FORMULA PER UBC SECTION 1806.7.2.1

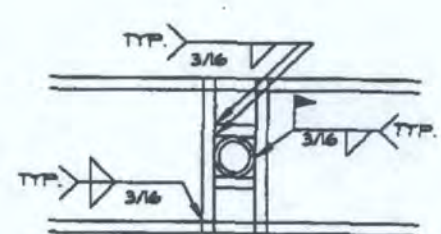
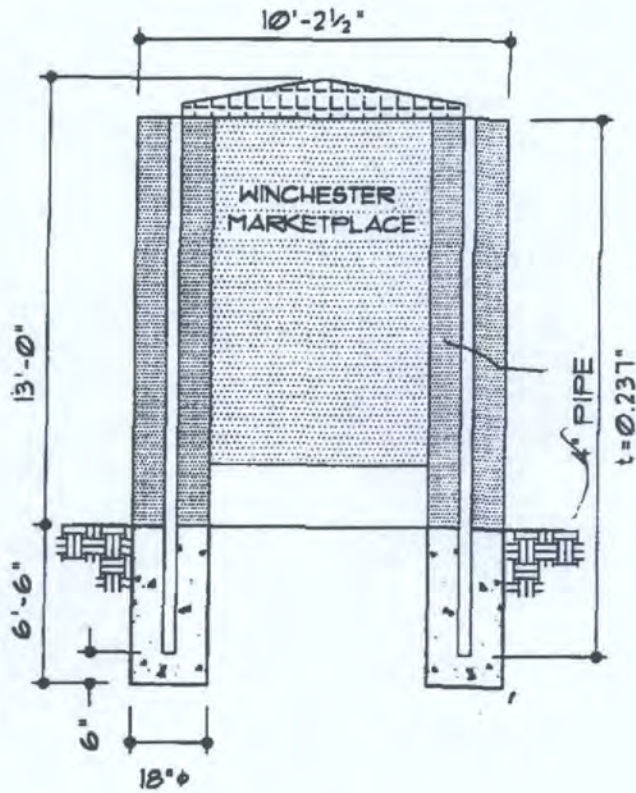
1' - 6" DIAM x 6' - 6" DEEP

COLUMN

PIPE STEEL - ASTM A53 GRADE B

S =  $7164 \times 12 / (1.33 \times 22000) = 2.9 @ 0.0$  FT

4.0" PIPE w = 10.8 #/ft t = 0.237"



GENERAL NOTES

for poles and footings

- f'c = 2500 psi
- Pipe steel ASTM A53 Grade B

REGISTERED PROFESSIONAL ENGINEER  
MARK JOSEPH AGOST  
No. 46994  
E-12719  
STATE OF CALIFORNIA  
**APPROVED**  
SUBJECT TO BUILDING DEPARTMENT APPROVAL  
CITY OF TEMECULA PLANNING DEPARTMENT  
PROJECT MEETS ZONING STANDARDS  
PERMITS ARE REQUIRED  
brandon.rabidou  
03/31/2017