

These Drawings, Design, Specifications and other documentation prepared by the Architect for the Project are the exclusive property of KEA Architecture Development. They are to be used only for the Project and the Architect shall retain all common law, statutory and other special rights, including copyright. The Architect's drawings, specifications and other documents and all the same in whole or in part by the Contractor, others, or other parties for purposes of the Project or for completion of this Project are hereby agreed to by agreement in writing and shall constitute a contribution to the Project.

SUMMARY:

PROJECT OWNER:
D'ALTO PARTNERS
BILL DALTON
TODD DALTON
4191 FIFTH STREET
SUITE 302
TEMECULA, CA 92590
(951) 481-1111

PROJECT LOCATION:
4192B FIFTH STREET
SUITE 102
TEMECULA, CA 92590

A.P.N.:
922-024-002, 922-024-013

ZONE / LAND USE DISTRICT:
TRC (TOURIST RETAIL CORE)
OVERLAY DISTRICT: OLD TOWN SPECIFIC
PLAN
CC (COMMUNITY COMMERCIAL)

APPLICABLE CODES:
ALL DESIGN COMPONENTS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE 2001 EDITION OF THE CALIFORNIA BUILDING, PLUMBING, MECHANICAL AND FIRE CODES, TITLE 24 ENERGY CODE, TITLE 24 DISABLED ACCESS REGULATIONS, AND THE TEMECULA MUNICIPAL CODE.

OCCUPANCY:
KITCHEN: B
DINING ROOM: A3

OCCUPANCY LOAD:
DINING ROOM: 1173 S.F. / 15' x 78.2
KITCHEN: 1072 / 100' x 9.36
TOTAL: 83.56

CONSTRUCTION TYPE:
TYPE II, 1 HOUR SPRINKLERED

AREA TABULATION:
KITCHEN + FOOD PREP: 1072 S.F.
OFFICE / BATHROOMS: 36.1 S.F.
DINING AREA: 1173 S.F.
TOTAL INTERIOR SPACE: 2642 S.F.
OUTDOOR EATING AREA: 342 S.F.

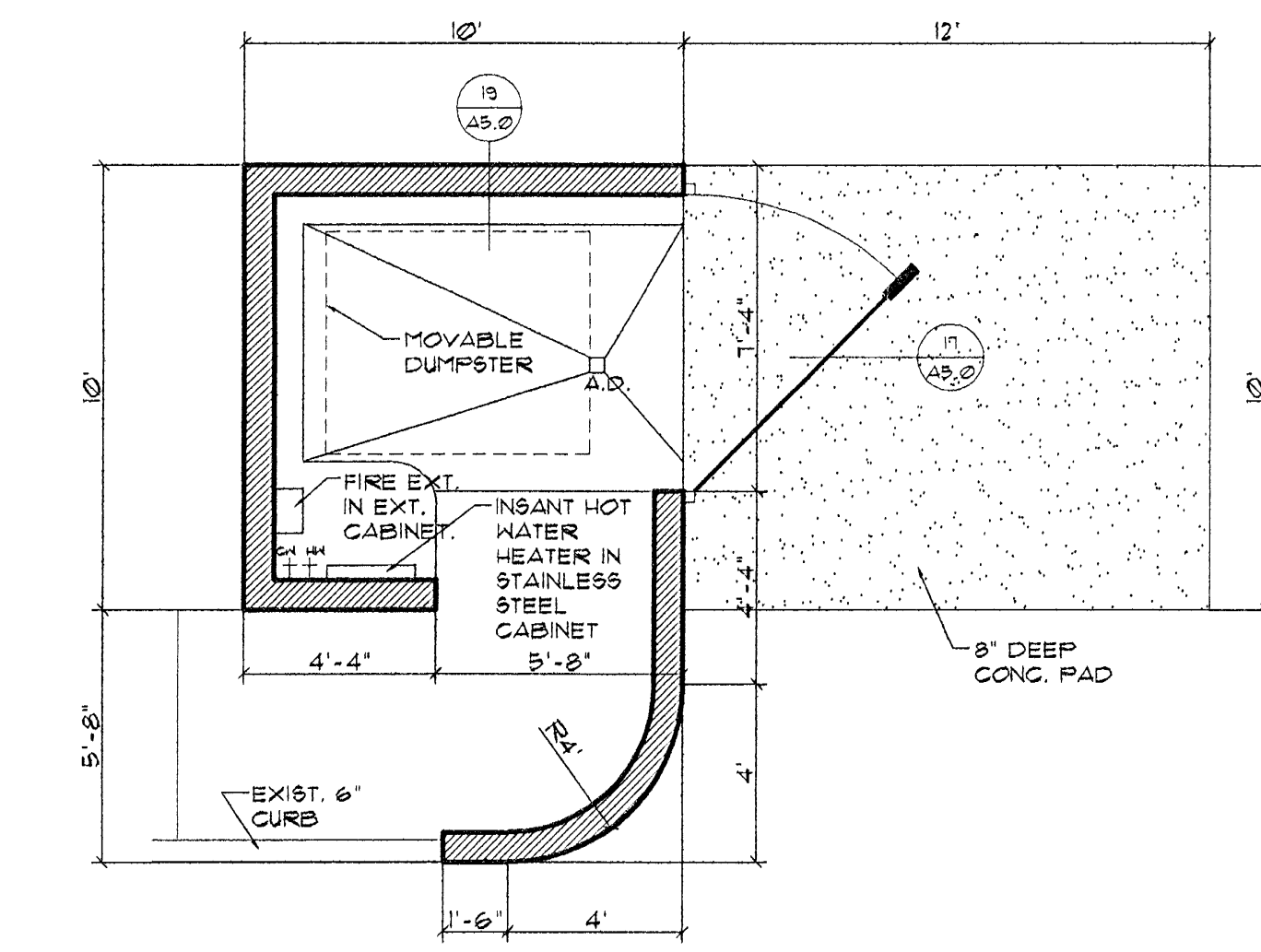
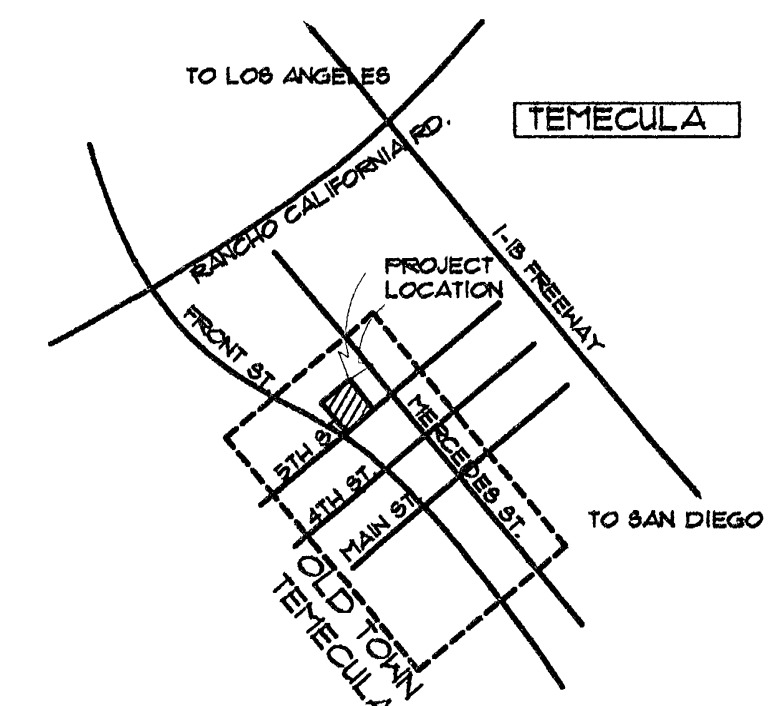
SCOPE OF WORK:
TENANT IMPROVEMENT ON NON OCCUPIED SPACE FOR NEW RESTAURANT. WORK TO INCLUDE INTERIOR NON BEARING WALLS, HARD LID AND SUSPENDED CEILING; STAINED AND SEALED CONCRETE FLOOR FINISH. INSTALLATION OF RESTAURANT KITCHEN AND FOOD PREP EQUIPMENT, WALK IN COOLER, TWO RESTROOMS AND VARIOUS RACKS AND TABLES FOR THE OPERATION OF THE RESTAURANT. PROJECT TO INCLUDE NEW HVAC, ELEC. + PLUMBING WORK.

UTILITY PURVEYORS

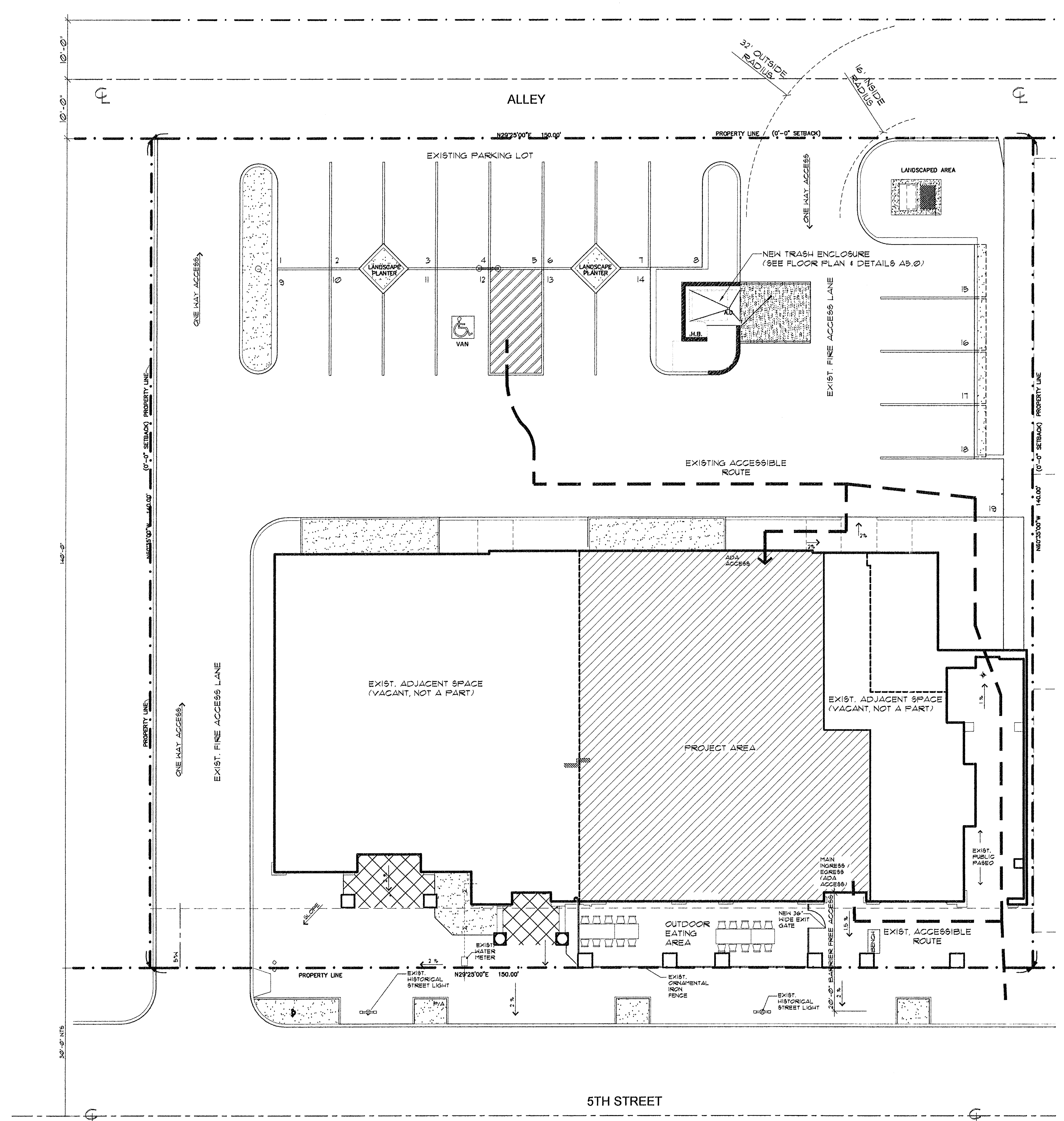
WATER: RANCHO CALIFORNIA WATER DISTRICT
SEWER: BISHOP
GAS: GAS CO.
ELECTRICITY: SCE
CABLE: ADELPHIA CABLE
TELEPHONE: VERIZON
TRASH: GR + R

APPROVED
CITY OF TEMECULA
REVIEWED BY: *[Signature]*
DATE: 7/19/07

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR OR ANY AFFIDAVIT OF ANY VIOLATION OF ANY OF THE PROVISIONS OF STATE OR LOCAL LAWS, ORDINANCES OR REGULATIONS BY RESPECTIVE HOMEOWNERS ASSOCIATIONS. ONE SET OF APPROVED PLANS MUST BE KEPT ON THE JOB UNTIL COMPLETION.



TRASH ENCLOSURE FLOOR PLAN
SCALE: 1/4" = 1'-0"



SITE PLAN
SCALE: 1" = 10'-0"

OWNER:
MR. PAUL PALUMBO
(951) 694-6621

PROJECT:
PALUMBO RISTORANTE T.I.
4192S 5TH STREET, SUITE 102
TEMECULA, CA 92590

DATE:
7-19-07

PRELIMINARY	03-30-07
CONSTRUCTION	03-30-07
FINAL CHECK	5-3-07
SUBMITAL ONE	5-3-07
SUBMITAL TWO	7-19-07
SUBMITAL THREE	7-19-07
PERMIT	00-00-00
ISSUED FOR BIDDING	00-00-00
ISSUED FOR CONSTRUCTION	00-00-00

REVISIONS

NO.	REVISION	DATE

SHEET NO.
A
1.0

NOTES

- 1 EXISTING EXTERIOR WALL TO REMAIN - PROTECT IN PLACE
- 2 EXISTING EXTERIOR STOREFRONT TO REMAIN - PROTECT IN PLACE
- 3 EXISTING EXTERIOR STOREFRONT ENTRY DOOR TO BE RELOCATED AS SHOWN
- 4 EXISTING INTERIOR DEMISSING WALL TO REMAIN - PROTECT IN PLACE
- 5 PROPOSED NEW BAR COUNTER (42" HT)
- 6 PROPOSED NEW ADA COMPLIANT BAR COUNTER (34" HT)
- 7 EXISTING INTERIOR WALL TO REMAIN - PROTECT IN PLACE
- 8 EXISTING KITCHEN SINK TO BE REMOVED
- 9 EXISTING ELECTRICAL PANEL TO BE RELOCATED - REFER TO ELEC DWGS
- 10 OCCUPANT LOAD AT THIS EXIT $\frac{25.5}{36}$
- WIDTH OF EGRESS APERTURE TABLE 1005.1 * (2.25')
- WIDTH OF DOOR 36"
- * MINIMUM WIDTH REQUIRED AND NOT LESS THAN SPECIFIED ELSEWHERE IN THE CODE CBC 2013 ED (MIN 3'-0" WIDE)
- 11 EXISTING EXTERIOR PATIO CANOPY TO REMAIN - PROTECT IN PLACE
- 12 EXISTING EXTERIOR METAL MAN DOOR TO REMAIN - PROTECT IN PLACE
- 13 EXISTING INTERIOR WALL TO BE REMOVED
- 14 EXISTING WROUGHT IRON FENCE TO REMAIN - PROTECT IN PLACE
- 15 EXISTING WROUGHT IRON GATE TO REMAIN - PROTECT IN PLACE
- 16 EXISTING ARCHITECTURAL COLUMN TO REMAIN - PROTECT IN PLACE
- 17 EXTEND WALL UP TO UNDERSIDE OF SECOND FLOOR STRUCTURE THIS AREA
- 18 EXISTING ADA COMPLIANT MEN'S RESTROOM TO REMAIN PROTECT IN PLACE
- 19 EXISTING ADA COMPLIANT WOMEN'S RESTROOM TO REMAIN PROTECT IN PLACE

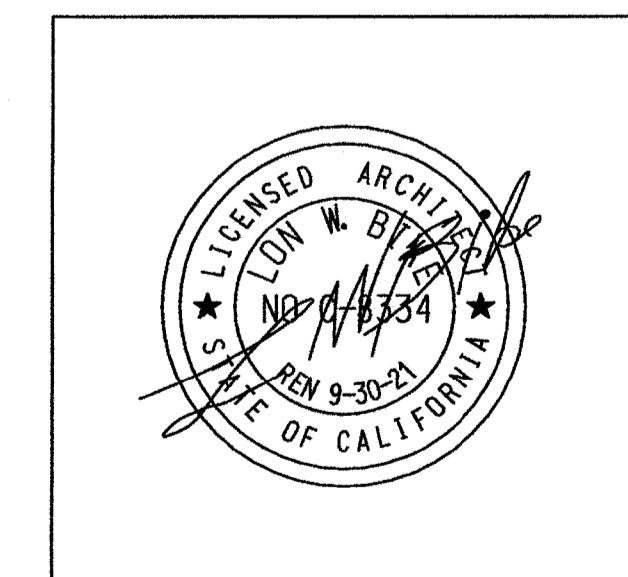
at³
 at³ associates, inc.
 dba
 Architectural Team Three
 23905 Clinton Keith Road
 Suite 114
 Wildomar, California 92595
 telephone (951) 600-5793
 fax (951) 600-1915

OWNER
 OCTAVIO LANDEROS
 41925 5TH STREET, SUITE 102
 TEMECULA, CALIFORNIA

NEW BAR & CEILING
 FOR
 LANDEROS MEXICAN GRILL & CANTINA
 41925 5TH STREET, SUITE 102
 TEMECULA, CALIFORNIA

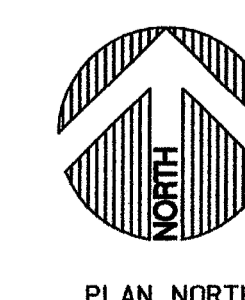
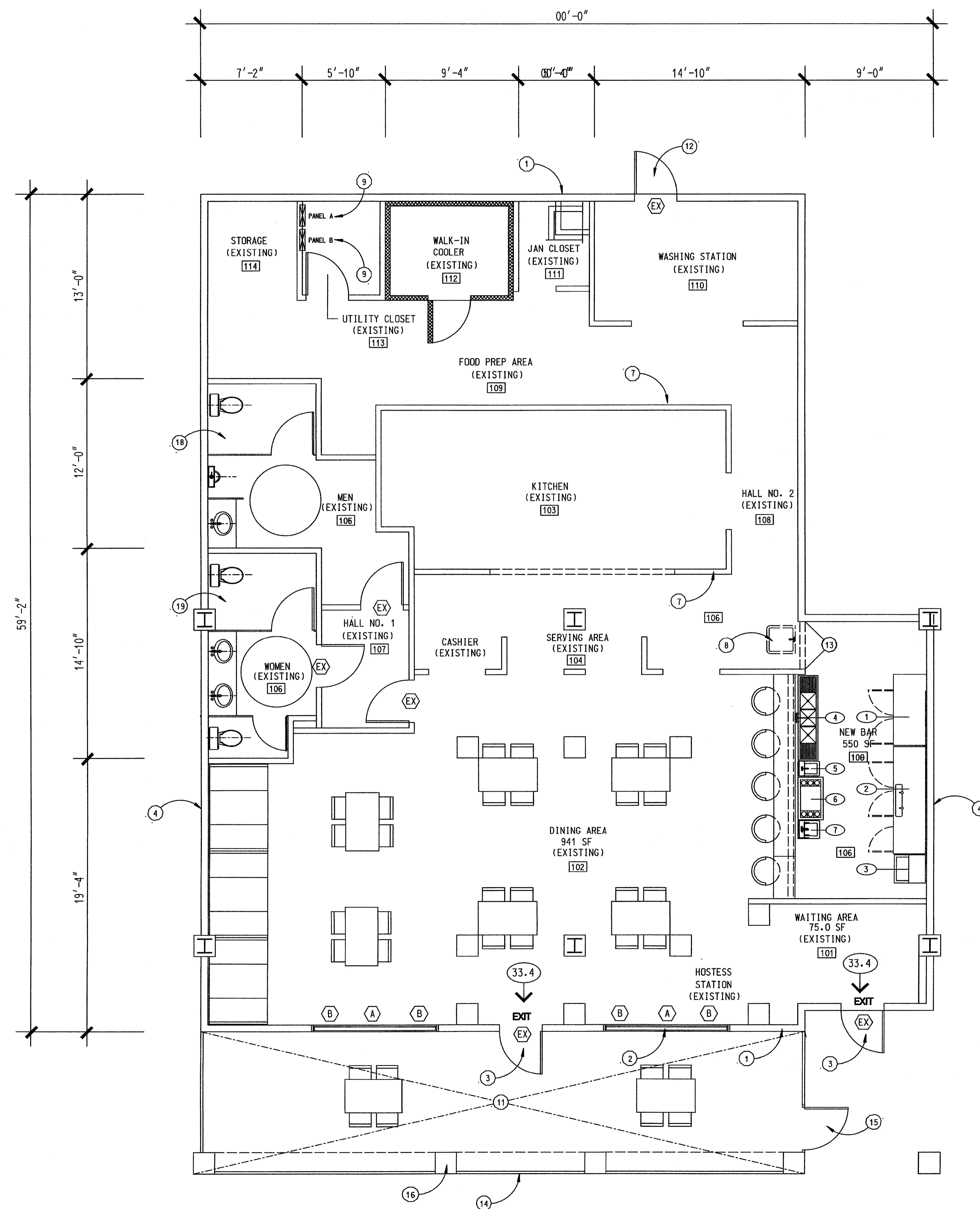
DATES

CLIENT REVIEW	02-23-21
CLIENT REVIEW	
CLIENT REVIEW	
CLIENT REVIEW	
1ST PLAN CHECK	05-17-21
2ND PLAN CHECK	07-13-21



PROJECT NO.
 21-1905

SHEET
 A-3



PLAN NORTH

WALL LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALL TO BE REMOVED
- NEW INTERIOR WALL
- 1-HOUR RATED CONSTRUCTION THIS AREA