

OLD TOWN BOUTIQUE HOTEL

OLD TOWN FRONT STREET
RIVERSIDE COUNTY, TEMECULA, CA.



PROJECT **DOWNTOWN BOUTIQUE HOTEL**
DEVELOPMENT PLAN SUBMITTAL #5
PA22 - 0929
PA22 - 0930
PA22 - 0931

LEGAL DESCRIPTION THE PROPOSED PROJECT IS A SELECT SERVICE HOTEL. THE FACILITY IS A 247 OPERATION. REQUIRED PARKING STALLS IS 50 STALLS. AVERAGE DAILY TRIPS IS EQUAL TO THE NUMBER OF PARKING. AS THIS IS A HOTEL, NO HAZARDOUS MATERIALS/CHEMICAL PROCESSING/ OR SIGNIFICANT EQUIPMENT IS PROPOSED. THERE WILL BE A KITCHENBAR AND POOL AREA AS AMENITIES FOR THE GUESTS AND FOR VISITORS.	PROJECT INFORMATION TOTAL GROSS SITE AREA: .98 AC 42,519 SF NET COVERAGE: 27 % 11,633 SF FLOOR AREA RATIO 60,258 (GROSS BLD SF) / 42,519 (LOT SF) = 1.41 FAR TOTAL BUILDING AREA: 60,258 SF 1ST: 11,633 SF 2ND: 17,535 SF 3RD: 17,584 SF 4TH: 13,705 SF LANDSCAPE PROVIDED: 11% OF TOTAL SITE 4,684 SF PARKING REQUIRED: 50 HOTEL ROOM @ 1/ROOM TOTAL REQUIRED: 50 STALLS PARKING PROVIDED: STANDARD 47 STALLS ADA 3 STALLS TOTAL 50 STALLS BICYCLE RACK PROVIDED: 1	UTILITY PROVIDERS WATER - ROWD SEWER - EMWD ELECTRIC - SO CAL EDISON SHEET INDEX T100 TITLE SHEET A1.0 PROPOSED SITE PLAN A1.1 SITE DETAILS A1.2 ACCESSIBLE EGRESS PLAN A2.0 FIRST LEVEL FLOOR PLAN A2.1 SECOND LEVEL FLOOR PLAN A2.2 THIRD LEVEL FLOOR PLAN A2.3 FOURTH LEVEL FLOOR PLAN A4.0 ROOF PLAN A8.0 BUILDING ELEVATIONS A8.1 BUILDING ELEVATIONS A8.2 DOWNTOWN ARCHITECTURAL STYLE A9.0 3D VIEWS A9.1 ISOMETRIC VIEW #1 A9.2 ISOMETRIC VIEW #2 C-1 GRADING PLAN E1.0 LIGHT FIXTURE LOCATION E1.1 PHOTOMETRIC PLAN E1.2 SPECIFICATION SHEET L-1 PRELIMINARY PLANTING PLAN	APPLICANT'S REPRESENTATIVE/ARCHITECT COMPANY NAME: WALTER R. ALLEN ARCHITECT + ASSOCIATES ADDRESS: 28465 OLD TOWN FRONT STREET #201 TEMECULA CA 92590 PHONE: (951) - 296 - 6802 LANDSCAPE ARCHITECT COMPANY NAME: ALHAMBRA GROUP ADDRESS: 41635 ENTERPRISE CIRCLE NORTH, SUITE C, TEMECULA CA 92590 PHONE: (951) - 296 - 6802 ASSESSOR'S PARCEL NO. APN: 922-100-048 M.B. 15/726 LOT# 2 BLOCK 32 SCOPE OF WORK CONSTRUCTION OF A NEW 4-STORY LUXURY HOTEL PROJECT WITH GROUND LEVEL PARKING. CONSISTS OF GUESTROOMS, RESTAURANT, COMMERCIAL SPACES (GROUND LEVEL), BAR, GYM AND OUTDOOR POOL, 4TH LEVEL CONTAINS OPEN AIR POOL AREA AND RESTAURANT/BAR AREAS.	VICINITY MAP
--	--	--	--	-------------------------

PA22-0929, PA22-0930, PA22-0931 SUBMITTAL #5

OM DEVELOPMENT
AND CONSTRUCTION

Consolidated
Walter R. Allen
Architect + Associates
License Number:
C24288
APN: 922-100-048
BLOCK NUMBER: M.B. 15/726 LOT #2 BLOCK 32

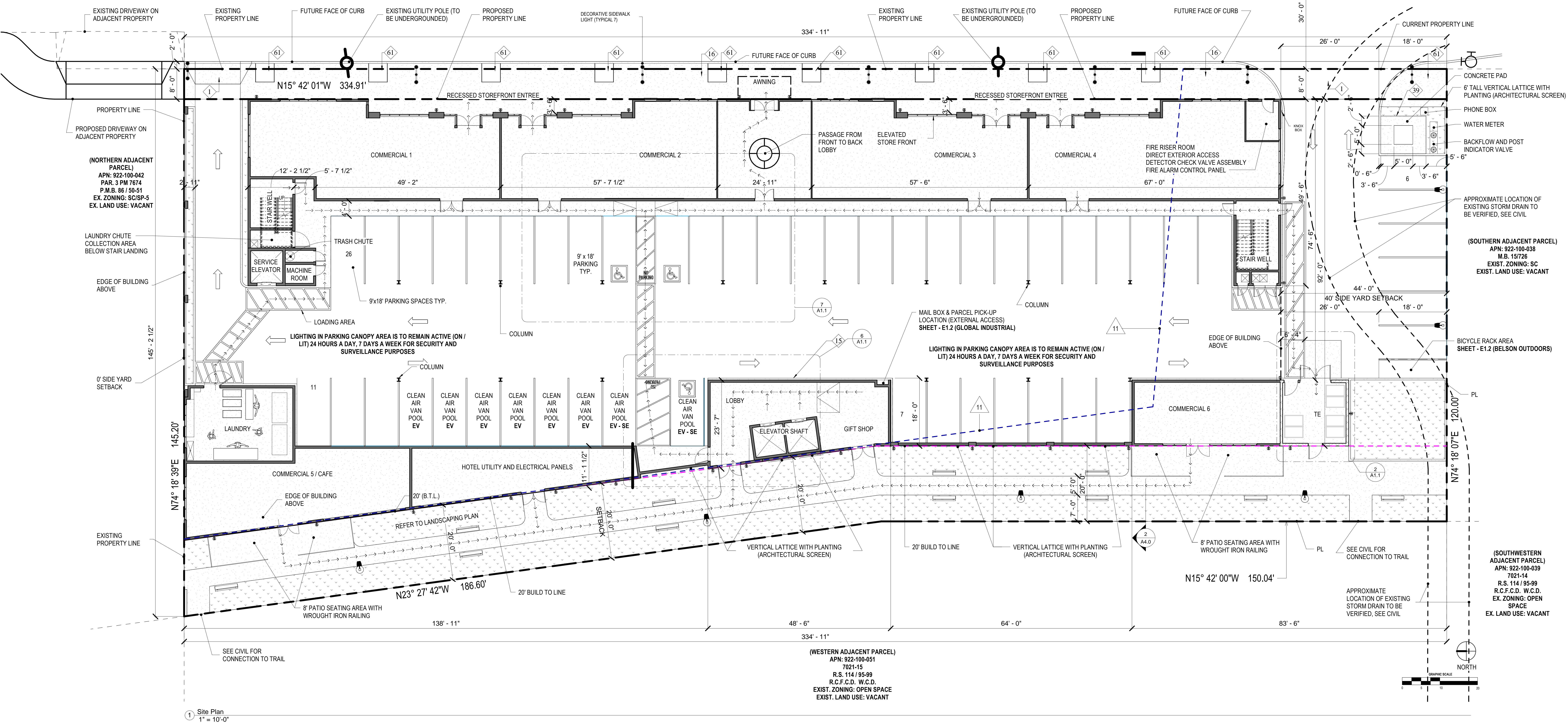
Title Sheet

Date: 5/17/2023
Scale: 1/8" = 1'-0"
SHEET NUMBER

T100

(EASTERN ADJACENT PARCEL)
APN: 922-091-003
LOT 1
TM 21375
M.B. 165 / 25-26
EX. ZONING: SC
EX. LAND USE: DEVELOPED

OLD TOWN FRONT STREET



1 Site Plan
1" = 10'-0"

EASEMENT NOTES:

- 9 Easement and rights incidental thereto for public utilities, public service uses, as set forth in a document recorded February 7, 1975, as Instrument No. 15887, of Official Records. NOT PLOTTABLE
- 11 Easement and rights incidental thereto for temporary construction easement, as set forth in a document recorded April 3, 2009, as Instrument No. 2009-0163110 and July 29, 2010 as Instrument No. 2010-0355371, both of Official Records. (TO BE VACATED)

PA22-0929, PA22-0930, PA22-0931
SUBMITTAL #5

SITE LEGEND		KEYNOTES		KEYNOTES	
	CEILING MOUNTED LIGHT FIXTURE		LANDSCAPE AREA	32	FUTURE EV CHARGING STATION
	WALL MOUNTED SCONCE LIGHT		STANDARD PARKING STALL	39	TRANSFORMER
	DECORATIVE SIDEWALK LIGHT		EXISTING FIRE HYDRANT	52	BIKE RACK - DERO ROUND RACK COLOR BLACK SURFACE
			EXISTING UTILITY POLE (TO BE UNDERGROUNDED)	61	TREE LOCATIONS PER CITY PLAN
			ACCESSIBLE PATH OF TRAVEL	62	INTERNAL LOT LINES PER CIVIL PLAN
			CLEAN VAN POOLEV PARKING STALL		
			ADA PARKING STALL		
			PROPERTY LINE		

1 NEW DRIVE CUT, PER CITY STANDARDS. REFER TO LANDSCAPE DRAWINGS FOR ENHANCED PAVING DESIGN IF APPLICABLE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFO.

2 CONCRETE PAVING, REFER TO CIVIL DRAWINGS FOR SECTION AND DRAINAGE. G.C. TO COORDINATE WITH SOILS REPORT. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE DESIGN AT TRUCK APRONS IF APPLICABLE.

4 PARKING SET BACK

5 TRUNCATED DOMES

6 PROPOSED LANDSCAPE AREA

11 ADA SITE ENTRY SIGN PER CODE TYP

12 ADA PARKING STALL SIGN PER CODE, TYP. PROVIDED AT ALL ADA STALLS

14 PRECAST CONCRETE WHEEL STOP

15 ZERO CURB FACE

16 CONCRETE WALK, 4" MIN THICKNESS, SCORE CONCRETE @ 5' O.C., PROVIDE A LIGHT BROOM FINISH OR PER CITY STANDARD PAVING (STAMPED AND COLORED)

17 REFER TO CIVIL DRAWINGS FOR RIGHT OF WAY DETAIL

28 LAUNDRY CHUTE LOCATION

31 CONCRETE TRASH ENCLOSURE PER CITY REQUIREMENTS

32 FUTURE EV CHARGING STATION

39 TRANSFORMER

52 BIKE RACK - DERO ROUND RACK COLOR BLACK SURFACE

61 MOUNT - SEE SPECIFICATION ON A1.1

62 TREE LOCATIONS PER CITY PLAN

OM DEVELOPMENT AND CONSTRUCTION

Consultant: Walter R. Allen Architect + Associates

License Number: C24288

APN: 922-100-048

BLOCK NUMBER: M.B. 15726 LOT #2 BLOCK 32

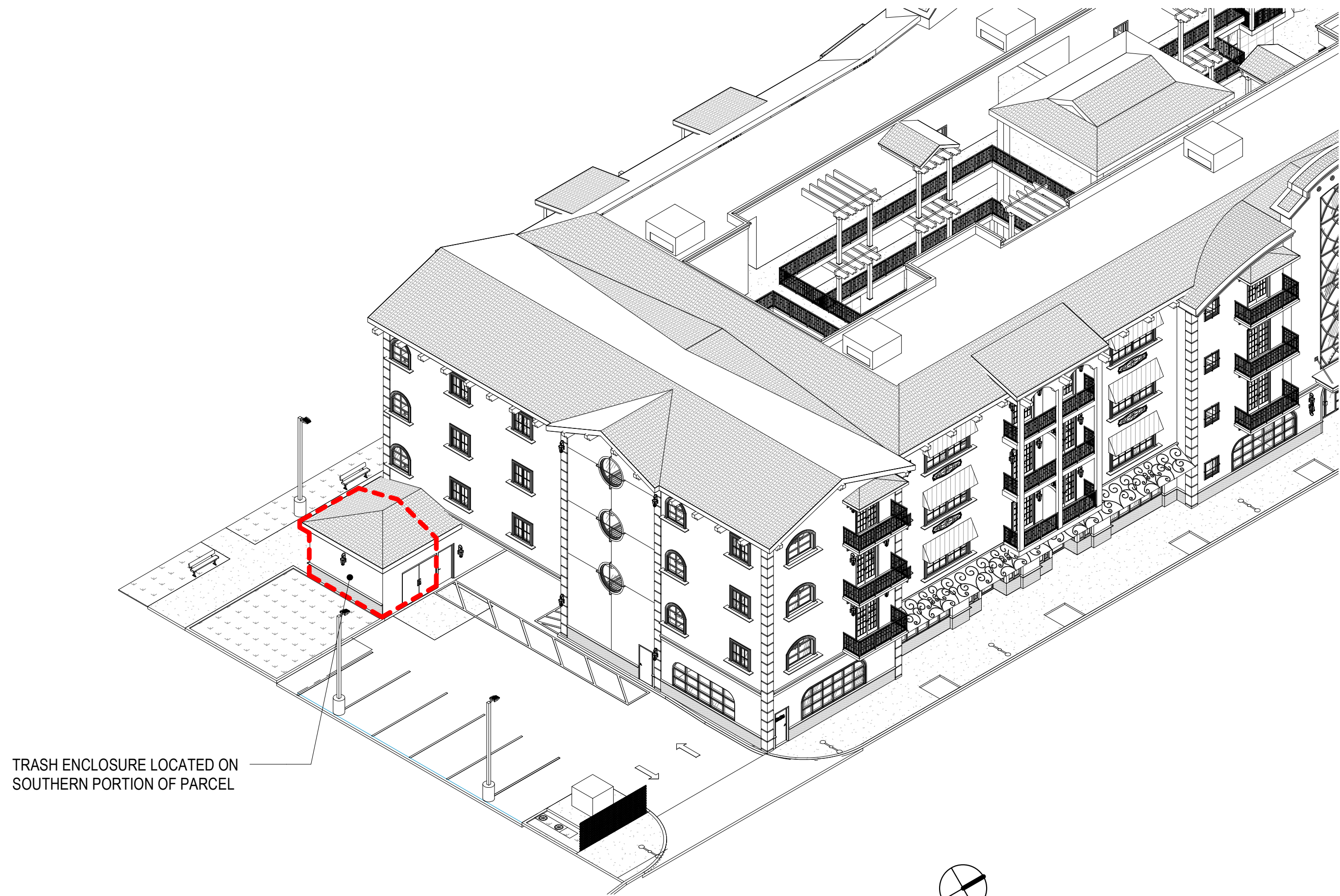
PROPOSED SITE PLAN

Date: 9/1/2023

Scale: As Indicated

SHEET NUMBER

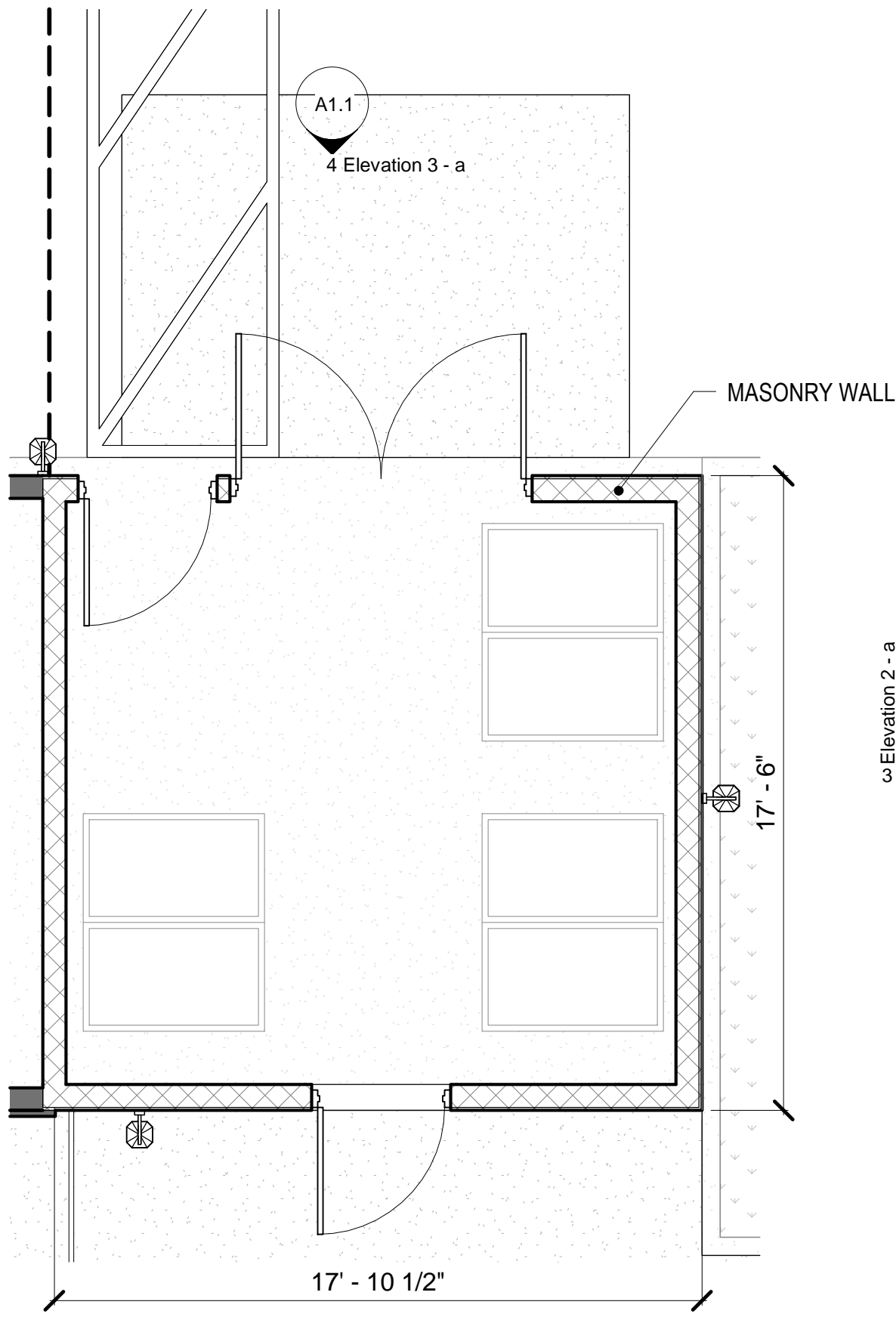
A1.0



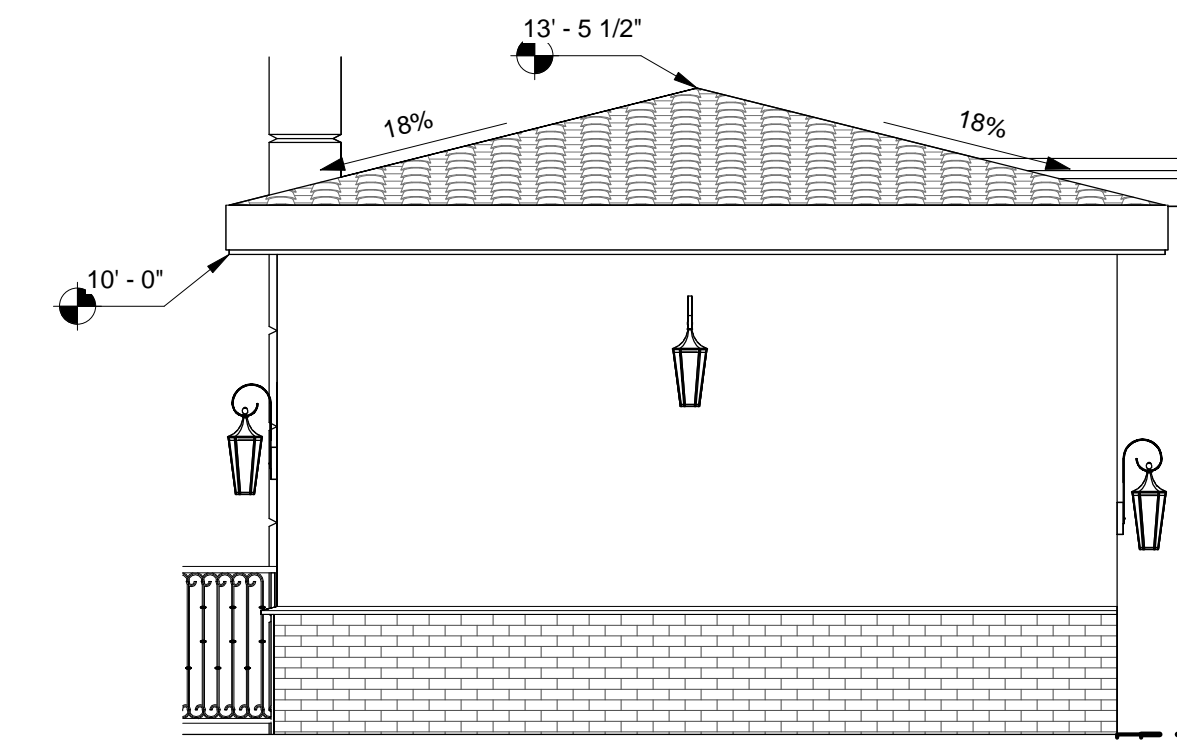
1 Trash Enclosure Location



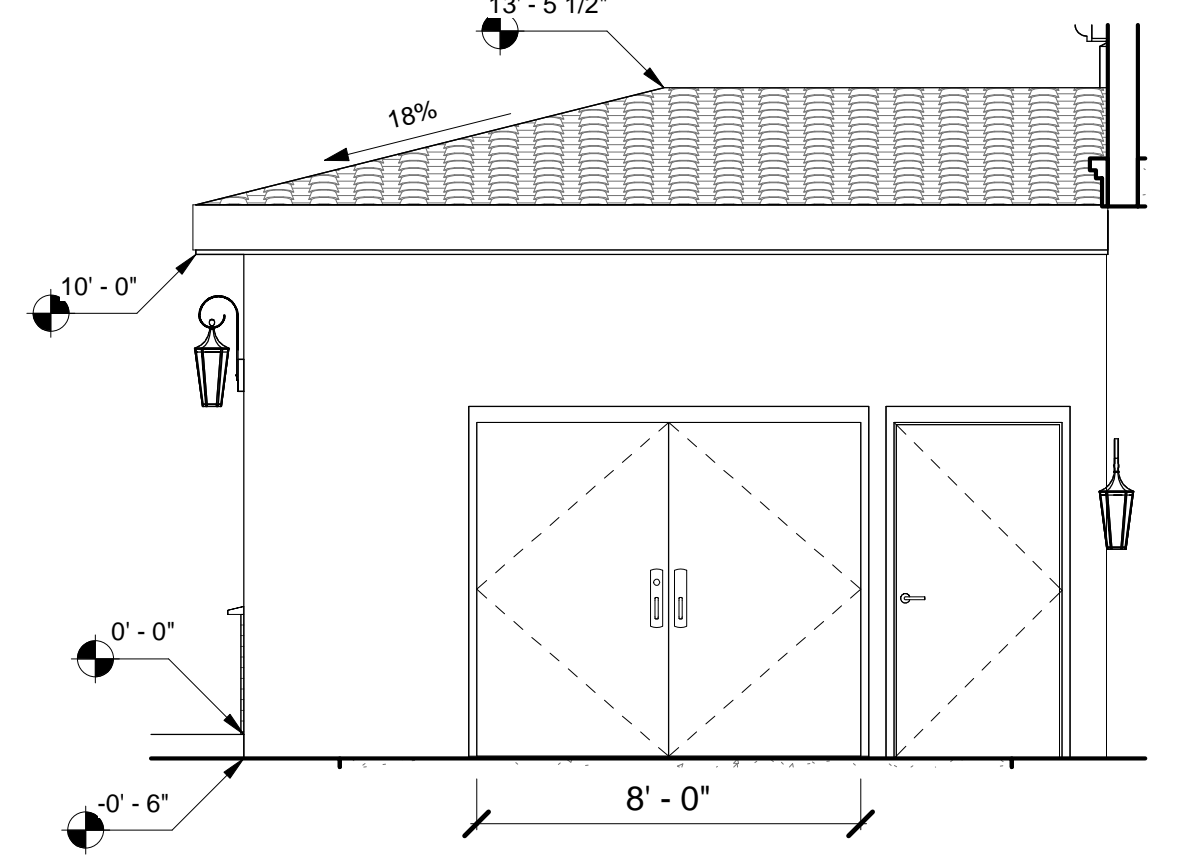
NOTE: MASONRY WALL WILL BE STUCCO FINISHED



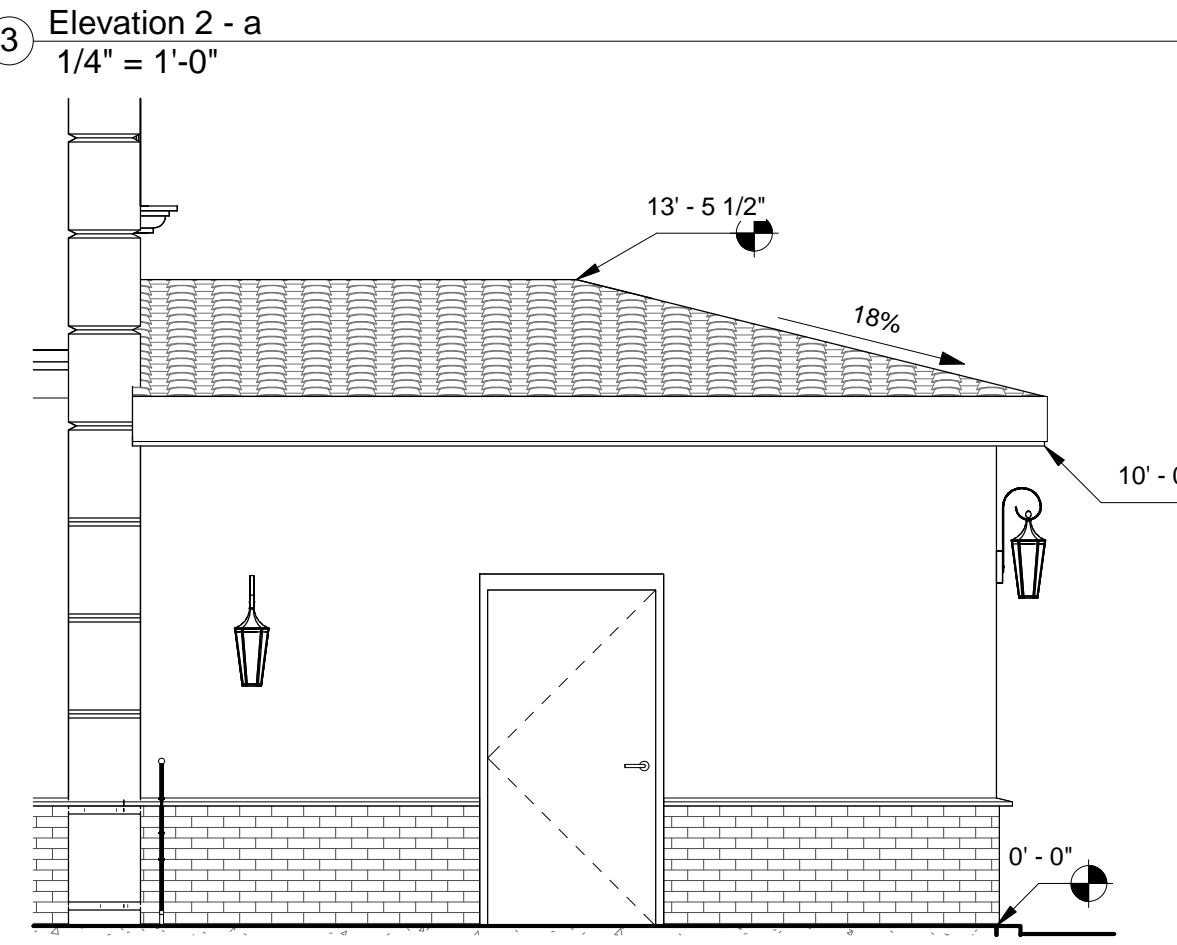
2 Site Plan - Trash Enclosure Callout 1
1/4" = 1'-0"



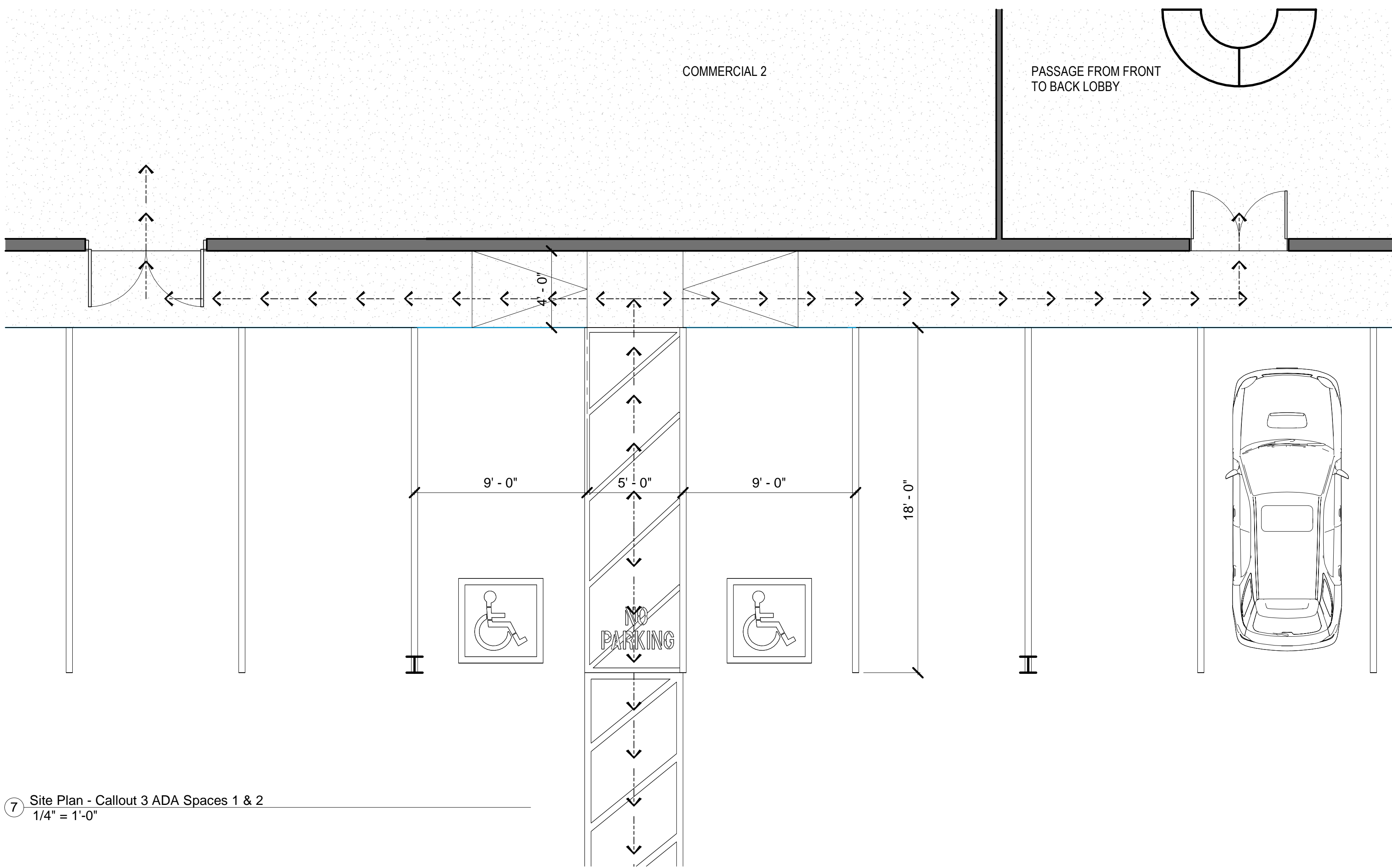
3 Elevation 2 - a
1/4" = 1'-0"



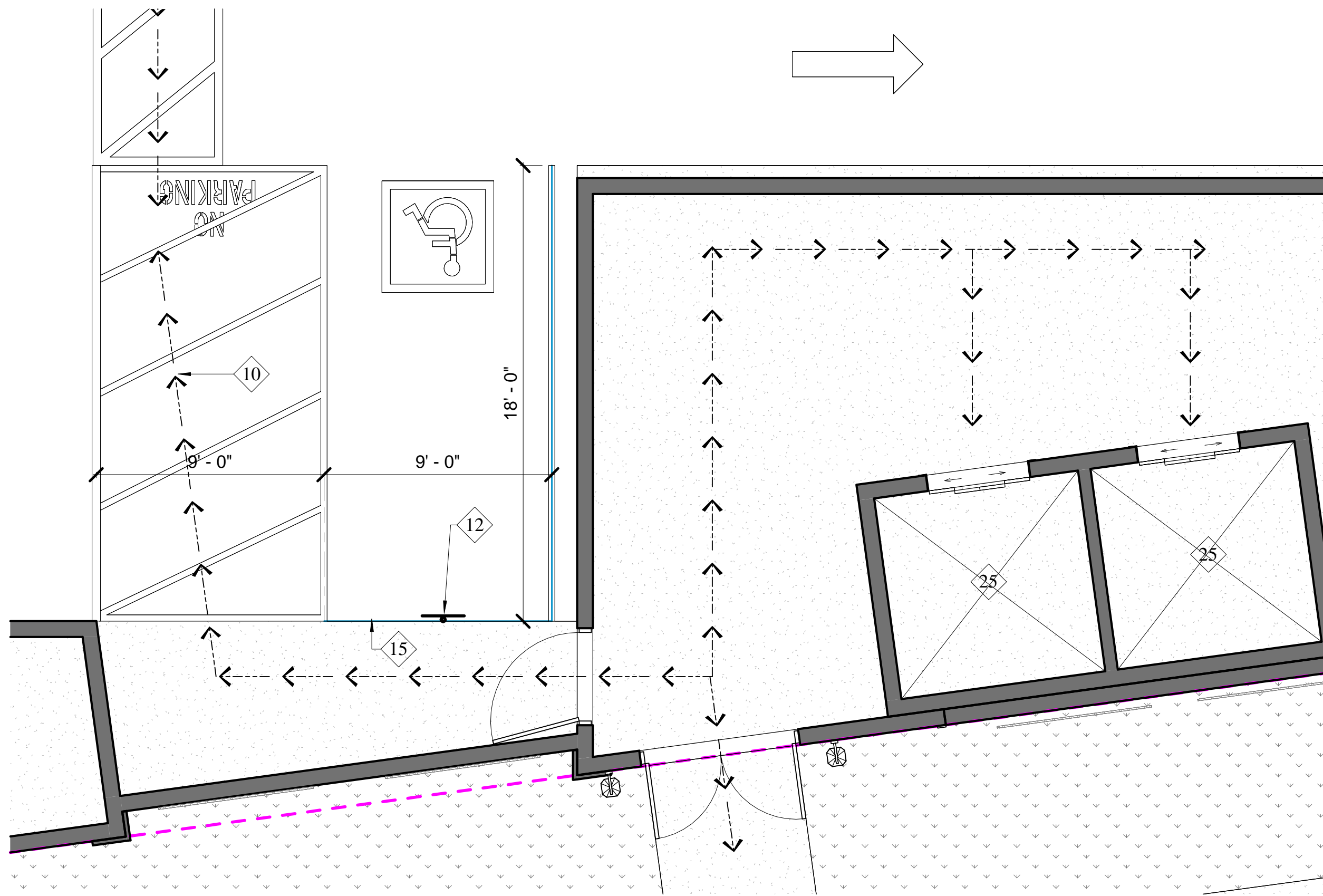
4 Elevation 3 - a
1/4" = 1'-0"



5 Elevation 4 - a
1/4" = 1'-0"



7 Site Plan - Callout 3 ADA Spaces 1 & 2
1/4" = 1'-0"



6 Site Plan - Callout 2 ADA Space 3
1/4" = 1'-0"

BICYCLE RACK SPECIFICATION

BELSON Your Outdoor Superstore 1-800-323-5664
M-F 8:00am - 4:30pm CT

[Home](#) | [About Us](#) | [Contact Us](#) | [FAQs](#) | [Site Map](#) | [Payments](#)

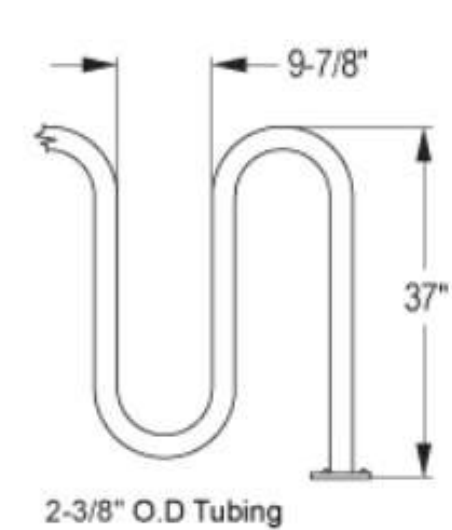
Heavy-Duty Challenger | Wave Bike Racks

Simple, Attractive & Effective Bike Parking

The Heavy-Duty Challenger wave bike racks are similar to the Challenger Plus bike racks, except for the narrower spacing between loops. The compact design allows the effective use of high security U-locks to secure the frame of the bike to these wave bike racks.

The robust frame of the Heavy-Duty Challenger is constructed of 2-3/8" O.D. tubing which makes it well suited for even the most brutish weather. The racks are offered in a galvanized, powder-coated, and stainless steel finish.

Model H36-7-P-SF | Black



Matching Products



Heavy-Duty Winder Wave Bike Rack



Challenger Plus Outdoor Bike Rack

The Heavy-Duty Challenger wave bike racks come in various lengths, up to 21-bike capacity to maximize your bike storage and are available in in-ground and surface mount. Drop In Anchors available for concrete installation.

PA22-0929, PA22-0930, PA22-0931
SUBMITTAL #5



OM DEVELOPMENT AND CONSTRUCTION

Consultant
Walter R. Allen
Architect + Associates

License Number:
C24288

APN: 922 100 048

BLOCK NUMBER: M.B. 15708 LOT #2 BLOCK 32

SITE DETAILS

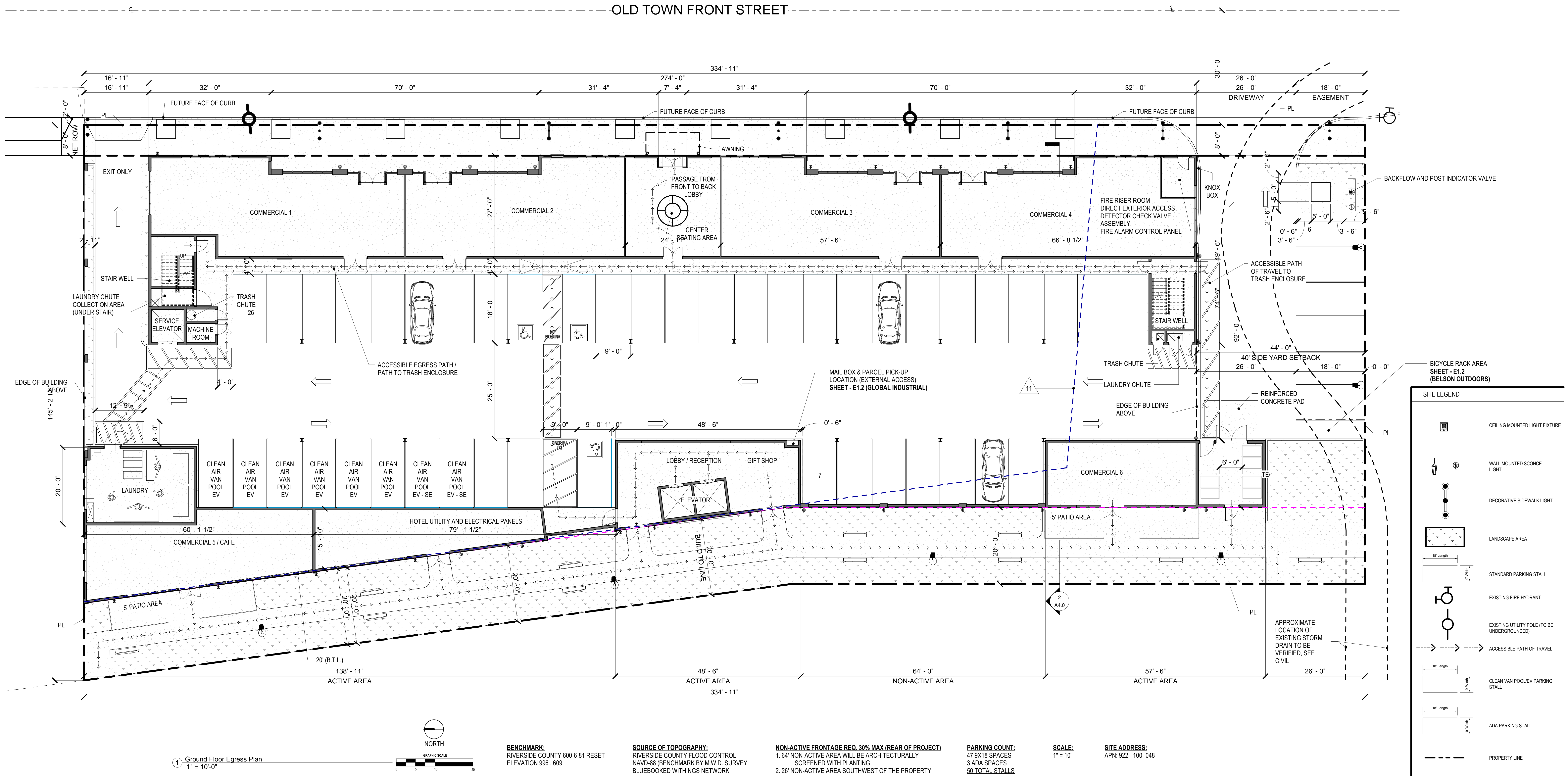
Date: 9/17/2023

Scale: As Indicated

SHEET NUMBER

A1.1

KEYNOTES	FLOOR PLAN WALL LEGEND	FLOOR PLAN GENERAL NOTES
5 TRUNCATED DOMES 10 ADA PATH OF TRAVEL 12 ADA PARKING STALL SIGN PER CODE, TYP. PROVIDE A ALL ADA STALLS 14 PRECAST CONCRETE WHEEL STOP 15 ZERO CURB FACE 25 ELEVATORS 52 BIKE RACK - DERO ROUND RACK COLOR BLACK SURFACE MOUNT- SEE SPECIFICATION ON A1.1	 WOOD OR STEEL CONSTRUCTION FIRST FLOOR WOOD SHEAR WALL AT SECOND TO FOURTH FLOOR INTERIOR METAL STUD PARTITION TYP. ALUMINUM CLAD WINDOW SYSTEM EXTERIOR WINDOW (SEE ELEVATIONS) ILLUMINATED EMERGENCY EXIT SIGN PER CBC AND FIRE DEPT. EE "E" DRAWINGS FOR LOCATION. SIGN SHALL BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN. IN CASE OF PRIMARY POWER LOSS.	1. FINISH FLOOR SLAB IS FLAT. REFER TO CIVIL DRAWINGS FOR ELEVATIONS AND ADDITIONAL INFORMATION. 2. PROVIDE STEGO WRAP 15 ML BARRIER BELOW SLAB PER MANUFACTURERS INSTRUCTIONS AND PER SOILS REPORT IN LOCATIONS FOR PROPOSED OFFICE AREAS. SEE FLOOR PLAN LEGEND FOR HATCHED AREAS. 3. REFER TO STRUCTURAL DRAWINGS FOR DESIGN OF FOUNDATION. 4. POUR STRIP TO BE SLOPED TO EXTERIOR DOORS 1/2" 5. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT AND CBC/CFC 6. PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS. DOORS EXITING FROM TENANT SPACES, DOORS INTO EXIT ENCLOSURES, AND ANY ADDITIONAL LOCATIONS NOTED ON PLANS. SEE "E" DRAWINGS FOR ADDITIONAL REQUIREMENTS. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS. 7. ALL FIRE RATED PARTITIONS TO EXTEND TO DECK ABOVE, AND PENETRATIONS TO BE SEALED. DO NOT USE CURING COMPOUND OR RELEASE AGENTS TO CURE SLAB. 8. CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT PROHIBITED ON SLAB. 9. FLY-ASH PROHIBITED IN CONCRETE SLAB MIX. 10. STOREFRONT FRAMING TO BE RECESSED IN SLAB 1/2". SEE DETAIL SHEETS. 11. FLOOR SLAB TO BE CLASS V PER ACI 302-IR-89 12. SEE "S" DWGS FOR ADDITIONAL INFO. 13. FLOOR COMPACTION TO BE 95% MIN. 14. TRENCH COMPACTION TO BE 90% MIN. 15. SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH. 16. DIMENSIONS ARE TO FACE OF CONCRETE PANEL, FINISH FACE OF DRYWALL, FINISH OPENING, TYPICAL UNLESS NOTED OTHERWISE. 17. PROVIDE EXIT SIGNS INCLUDING TACTILE SIGN - DETAILS 'N' & 'P' A02.2. REQUIRED BY SECTION 1011 OF 2013 CBC. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS. 18. ALL MAN DOORS, OVERHEAD DOORS, AND ROLL-UP DOORS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION. 19. ALL STOREFRONT SYSTEMS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION. STORE FRONT SYSTEMS TO BE DESIGN BUILD REFER TO CIVIL DRAWINGS FOR ALL POINT OF CONNECTIONS FOR UTILITIES. CONTRACTOR TO VERIFY LOCATIONS. 20. PROVIDE STEEL BOLLARDS FILLED WITH CONCRETE AND PAINTED PER FINISH SCHEDULE AT FIRE RISERS, PIVS, TRANSFORMERS, AND OTHER LOCATIONS AS REQUIRED. SEE 10A0.1.



OM DEVELOPMENT
AND CONSTRUCTION

Walter R. Allen
Architect + Associates
License Number:
C24288
APN: 922-100-048
BLOCK NUMBER: M.B. 151708 LOT #2 BLOCK 32

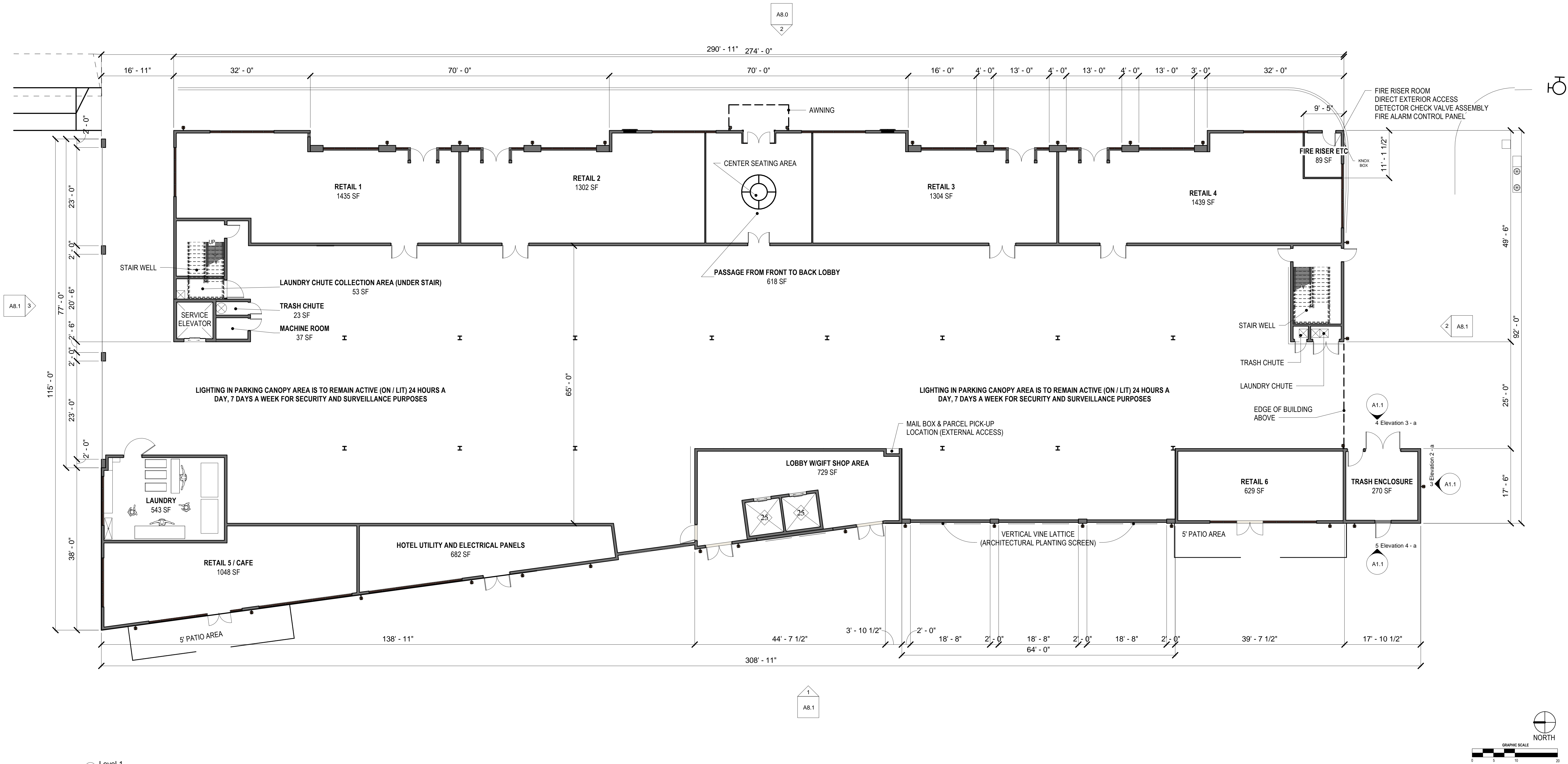
**ACCESSIBLE
EGRESS PLAN**

Date: 9/17/2023
Scale: As Indicated
SHEET NUMBER

EASEMENT NOTES:

9 Easement and rights incidental thereto for public utilities, public service uses, as set forth in a document recorded February 7, 1975, as Instrument No. 15887, of Official Records. NOT PLOTTABLE

11 Easement and rights incidental thereto for temporary construction easement, as set forth in a document recorded April 3, 2009, as Instrument No. 2009-0163110 and July 29, 2010 as Instrument No. 2010-0355371, both of Official Records. (TO BE VACATED)



PA22-0920, PA22-0930, PA22-0931
SUBMITTAL #5



OM DEVELOPMENT
AND CONSTRUCTION

Consulted:
Walter R. Allen
Architect + Associates

License Number:
C24288

APN: 922 100 048

BLOCK NUMBER: M.B. 15126 LOT #2 BLOCK 32

FLOOR PLAN
LEVEL 1

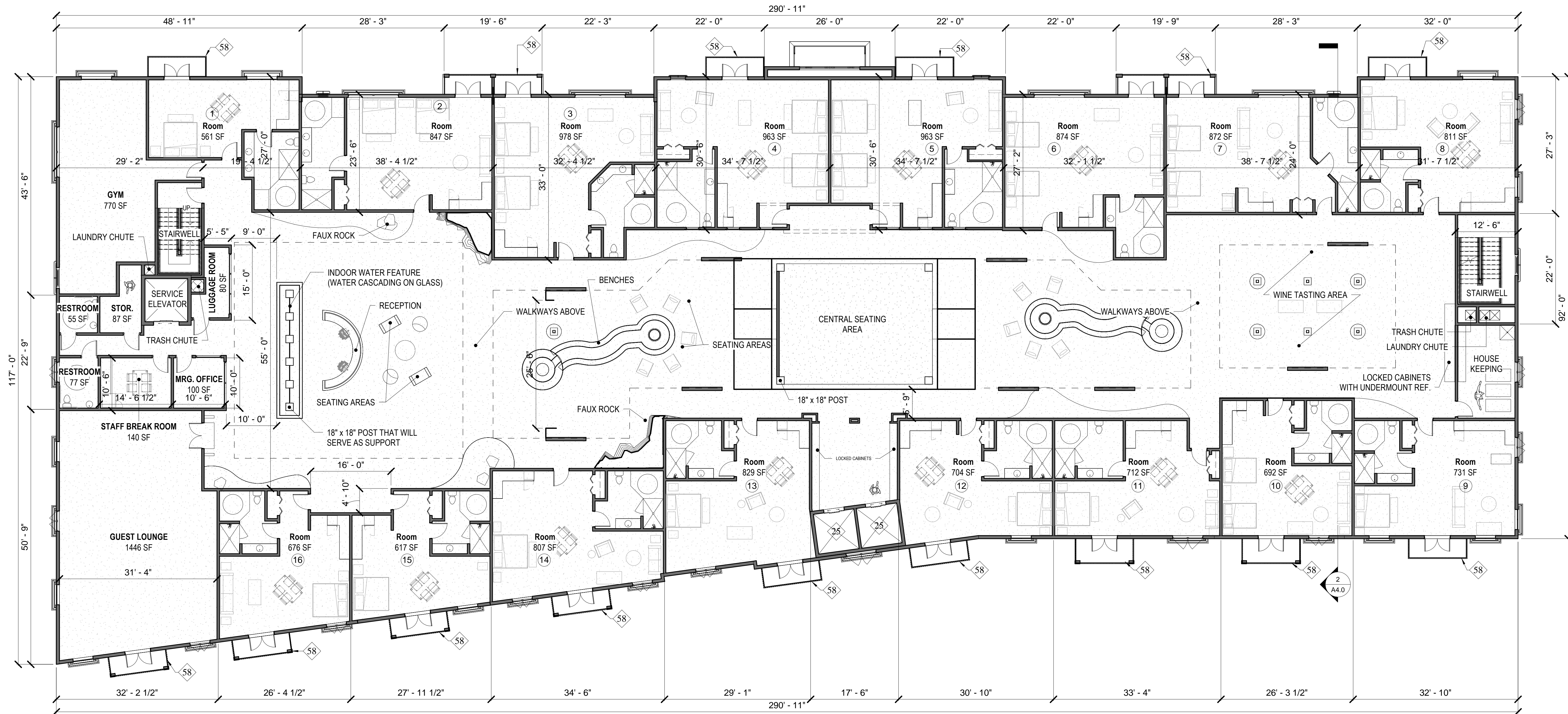
Date: 9/11/2023

Scale: As Indicated

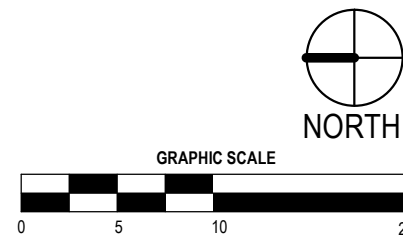
SHEET NUMBER


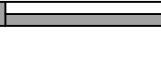


A2.0

NOTE: AVERAGE ROOM SQUARE FOOTAGE IS 800 SF



1 Level 2
1" = 10'-0"



KEYNOTES	FLOOR PLAN WALL LEGEND	FLOOR PLAN GENERAL NOTES
21 INTERIOR METAL STUD FRAMING WLL TYP. 23 CONCRETE SHEAR WALL 25 ELEVATORS 26 INTERIOR STAIRS 27 INTERIOR DOOR TYP. 43 ALUMINUM CLAD WINDOW SYSTEM, SEE EXTERIOR COLOR SCHEDULE 44 CONCRETE TILT-UP PANEL SEE EXTERIOR COLOR SCHEDULE 53 PROPOSED INTERNAL DOWNSPOUT LOCATION 58 42" GUARD RAIL 58 WOOD ACCENTED BALCONY	 WOOD OR STEEL CONSTRUCTION FIRST FLOOR WOOD SHEAR WALL AT SECOND TO FOURTH FLOOR INTERIOR METAL STUD PARTITION TYP.  ALUMINUM CLAD WINDOW SYSTEM  EXTERIOR WINDOW (SEE ELEVATIONS)  ILLUMINATED EMERGENCY EXIT SIGN PER CBC AND FIRE DEPT. EE "E" DRAWINGS FOR LOCATION. SIGN SHALL BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN. IN CASE OF PRIMARY POWER LOSS.	1. FINISH FLOOR SLAB IS FLAT. REFER TO CIVIL DRAWINGS FOR ELEVATIONS AND ADDITIONAL INFORMATION. 2. PROVIDE STEGO WRAP 15 ML BARRIER BELOW SLAB PER MANUFACTURERS INSTRUCTIONS AND PER SOILS REPORT IN LOCATIONS FOR PROPOSED OFFICE AREAS. SEE FLOOR PLAN LEGEND FOR HATCHED AREAS. 3. REFER TO STRUCTURAL DRAWINGS FOR DESIGN OF FOUNDATION. 4. POUR STRIP TO BE SLOPED TO EXTERIOR DOORS 1/2" 5. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT AND CBC/CFR 6. PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS. DOORS EXITING FROM TENANT SPACES, DOORS INTO EXIT ENCLOSURES, AND ANY ADDITIONAL LOCATIONS NOTED ON PLANS. SEE "E" DRAWINGS FOR ADDITIONAL REQUIREMENTS. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS. 7. ALL FIRE RATED PARTITIONS TO EXTEND TO DECK ABOVE, AND PENETRATIONS TO BE SEALED. DO NOT USE CURING COMPOUND OR RELEASE AGENTS TO CURE SLAB. 8. CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT PROHIBITED ON SLAB. 9. FLY-ASH PROHIBITED IN CONCRETE SLAB MIX. 10. STOREFRONT FRAMING TO BE RECESSED IN SLAB 1/2". SEE DETAIL SHEETS. 11. FLOOR SLAB TO BE CLASS V PER ACI 302-IR-89 12. SEE "S" DWGS FOR ADDITIONAL INFO. 13. FLOOR COMPACTION TO BE 95% MIN. 14. TRENCH COMPACTION TO BE 90% MIN. 15. SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH. 16. DIMENSIONS ARE TO FACE OF CONCRETE PANEL, FINISH FACE OF DRYWALL, FINISH OPENING, TYPICAL UNLESS NOTED OTHERWISE. 17. PROVIDE EXIT SIGNS INCLUDING TACTILE SIGN - DETAILS "N" & "P" A0.2. REQUIRED BY SECTION 1011 OF 2013 CBC. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS. 18. ALL MAN DOORS, OVERHEAD DOORS, AND ROLL-UP DOORS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION. 19. ALL STOREFRONT SYSTEMS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION. STORE FRONT SYSTEMS TO BE DESIGN BUILD REFER TO CIVIL DRAWINGS FOR ALL POINT OF CONNECTIONS FOR UTILITIES. CONTRACTOR TO VERIFY LOCATIONS. 20. PROVIDE STEEL BOLLARDS FILLED WITH CONCRETE AND PAINTED PER FINISH SCHEDULE AT FIRE RISERS, PIVS, TRANSFORMERS, AND OTHER LOCATIONS AS REQUIRED. SEE 10A0.1.

PA22-0920, PA22-0930, PA22-0931
SUBMITTAL #5

OM DEVELOPMENT
AND CONSTRUCTION

Consultant
Walter R. Allen
Architect + Associates
License Number:
C24288
APN: 922-100-048
BLOCK NUMBER: M.B. 151708 LOT #2 BLOCK 32

FLOOR PLAN
LEVEL 2


Date: 9/11/2023
Scale: As Indicated
SHEET NUMBER

A2.1

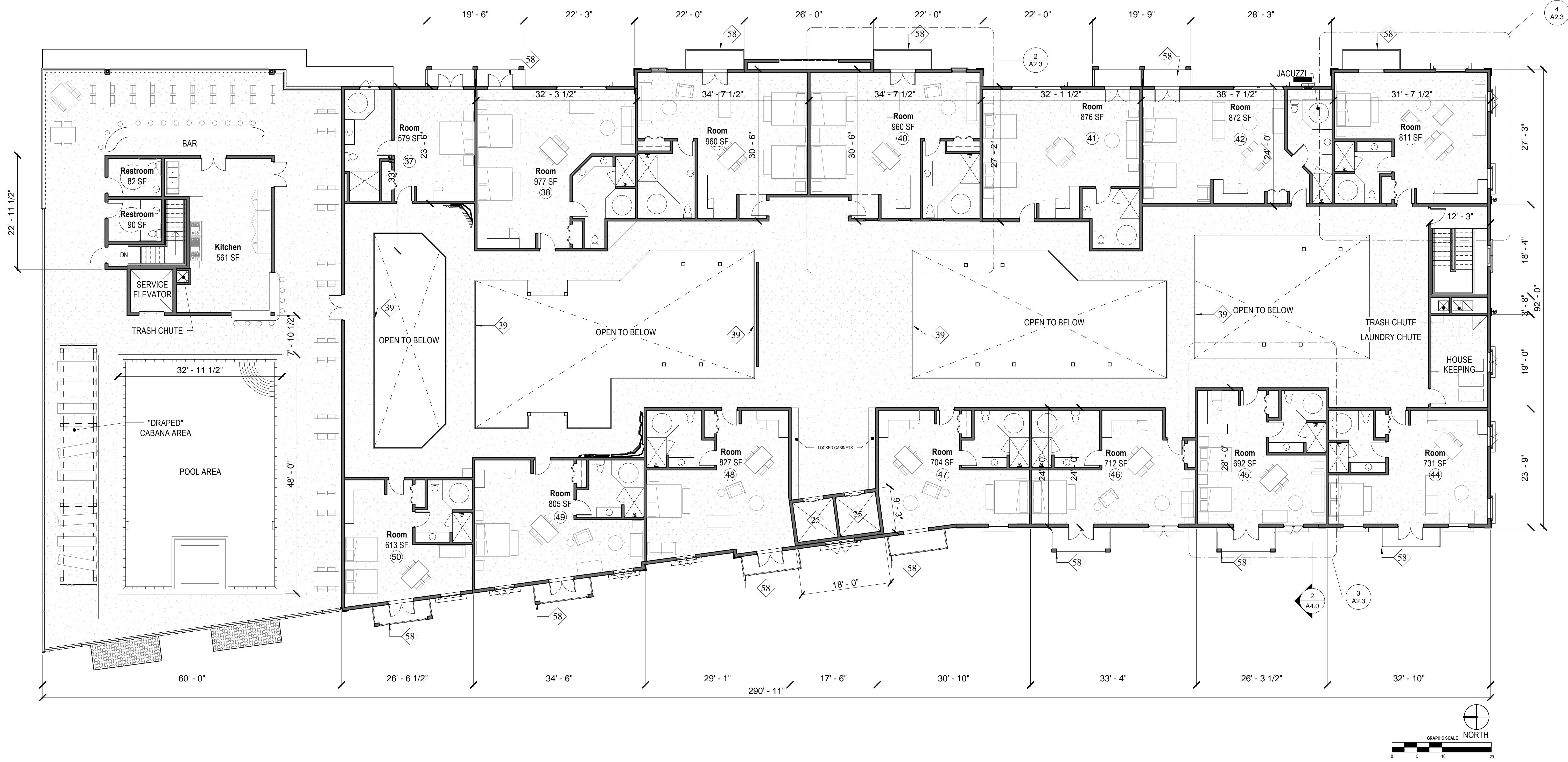
Room Schedule:

Room Number	Room Name	Area (SF)	Dimensions
36	Grand Suite TBD	765	48' - 6 1/2"
17	Room	561	48' - 6 1/2"
18	Room	847	38' - 4 1/2"
19	Room	979	32' - 4 1/2"
20	Room	963	34' - 7 1/2"
21	Room	963	34' - 7 1/2"
23	Room	876	32' - 1 1/2"
24	Room	872	38' - 7 1/2"
25	Room	811	31' - 7 1/2"
35	Room	697	48' - 6 1/2"
34	Grand Suite TBD	993	48' - 6 1/2"
33	Room	676	38' - 4 1/2"
32	Room	617	27' - 11 1/2"
31	Room	807	34' - 6"
30	Room	829	29' - 1"
29	Room	704	30' - 10"
28	Room	712	33' - 4"
27	Room	692	26' - 3 1/2"
26	Room	731	32' - 10"

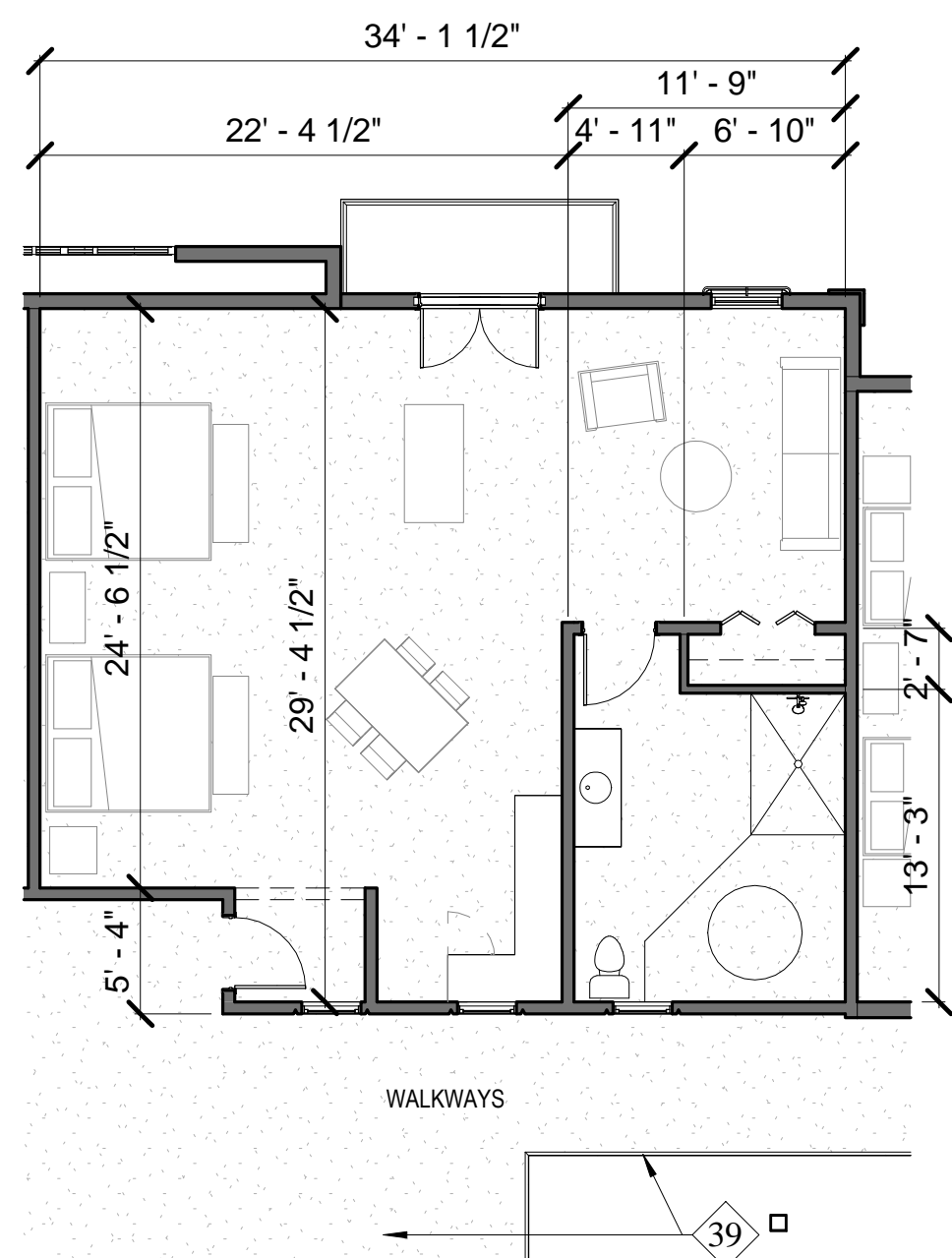
Other Labels: LAUNDRY CHUTE, STAIRWELL, SERVICE ELEVATOR, TRASH CHUTE, RESTROOM, STOR., OPEN TO BELOW, HOUSE KEEPING, LOCKED CABINETS, 2 A4.0

 <p>OM DEVELOPMENT AND CONSTRUCTION</p>	
<p>Consistent:</p> <p>Walter R. Allen Architect + Associates</p> <p>License Number: C24288</p> <p>APN: 922-100-048</p> <p>BLOCK NUMBER: M.B. 51726 LOT #2 BLOCK 3</p>	
<p>FLOOR PLAN LEVEL 3</p>	
<p>Date: 5/17/2023</p> <p>Scale: As Indicated</p> <p>SHEET NUMBER</p> <p>A2.2</p>	

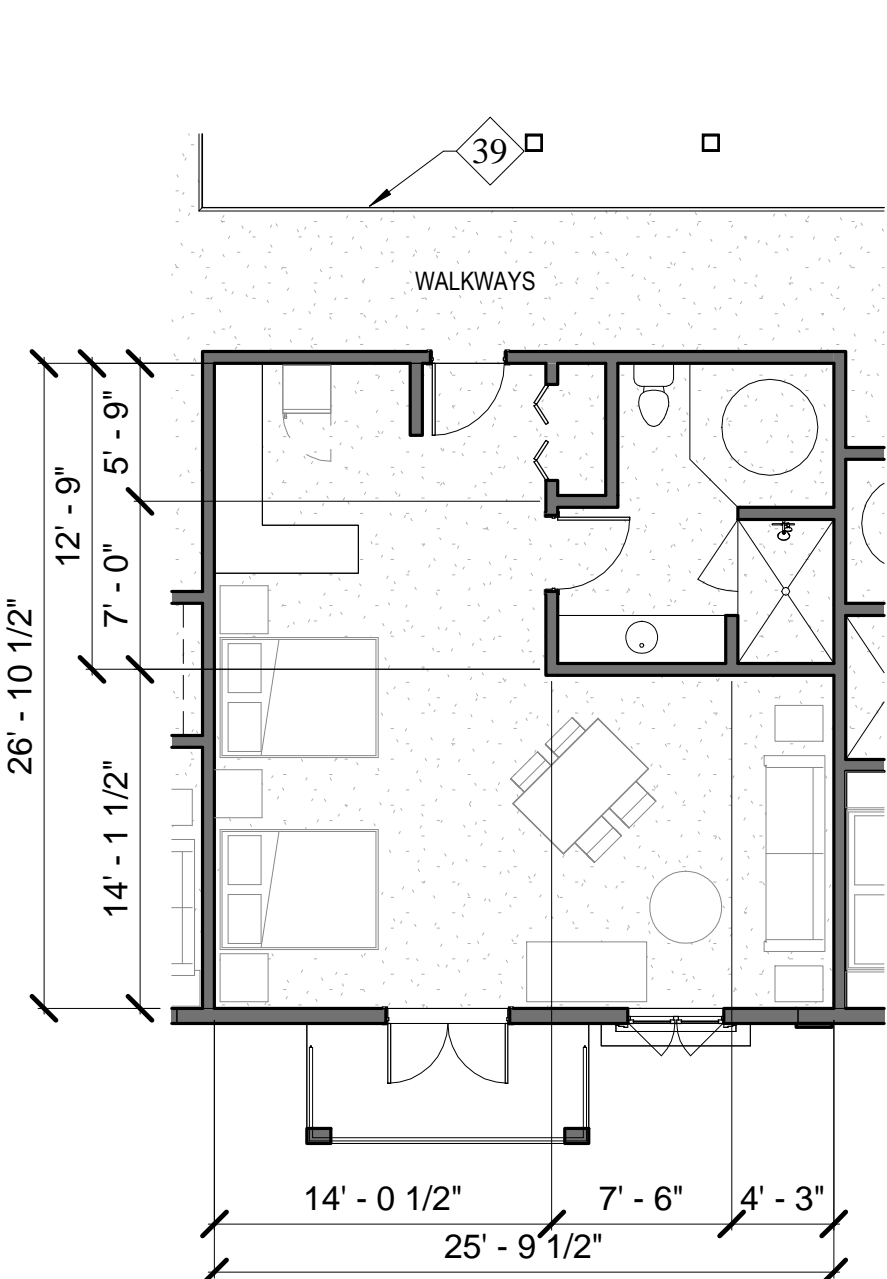
NOTE: AVERAGE ROOM SQUARE FOOTAGE IS 800 SF



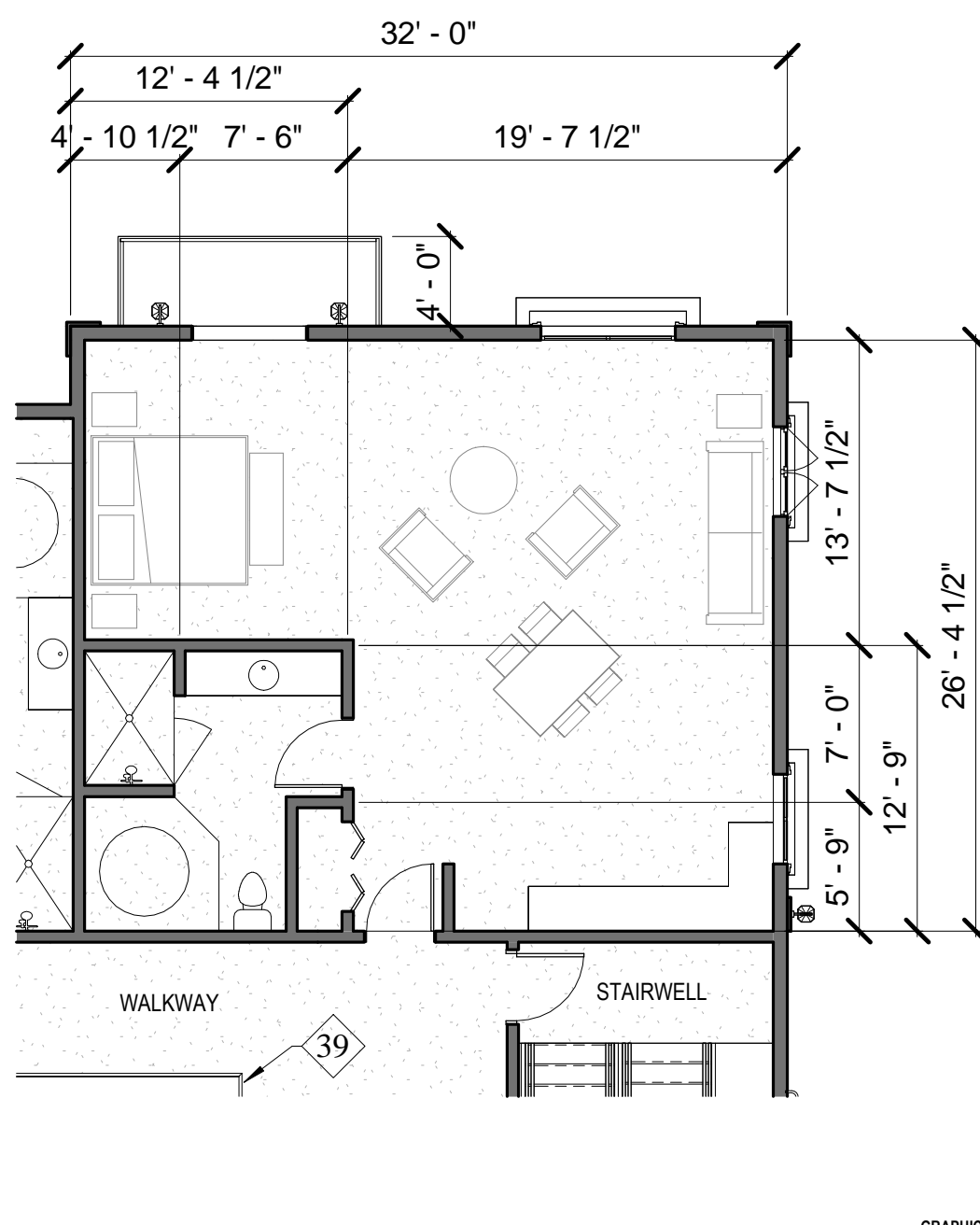
1 Level 4
1" = 10'-0"



2 Typical Double King Suite Layout
1/8" = 1'-0"



3 Typical Double Queen Suite Layout
1/8" = 1'-0"

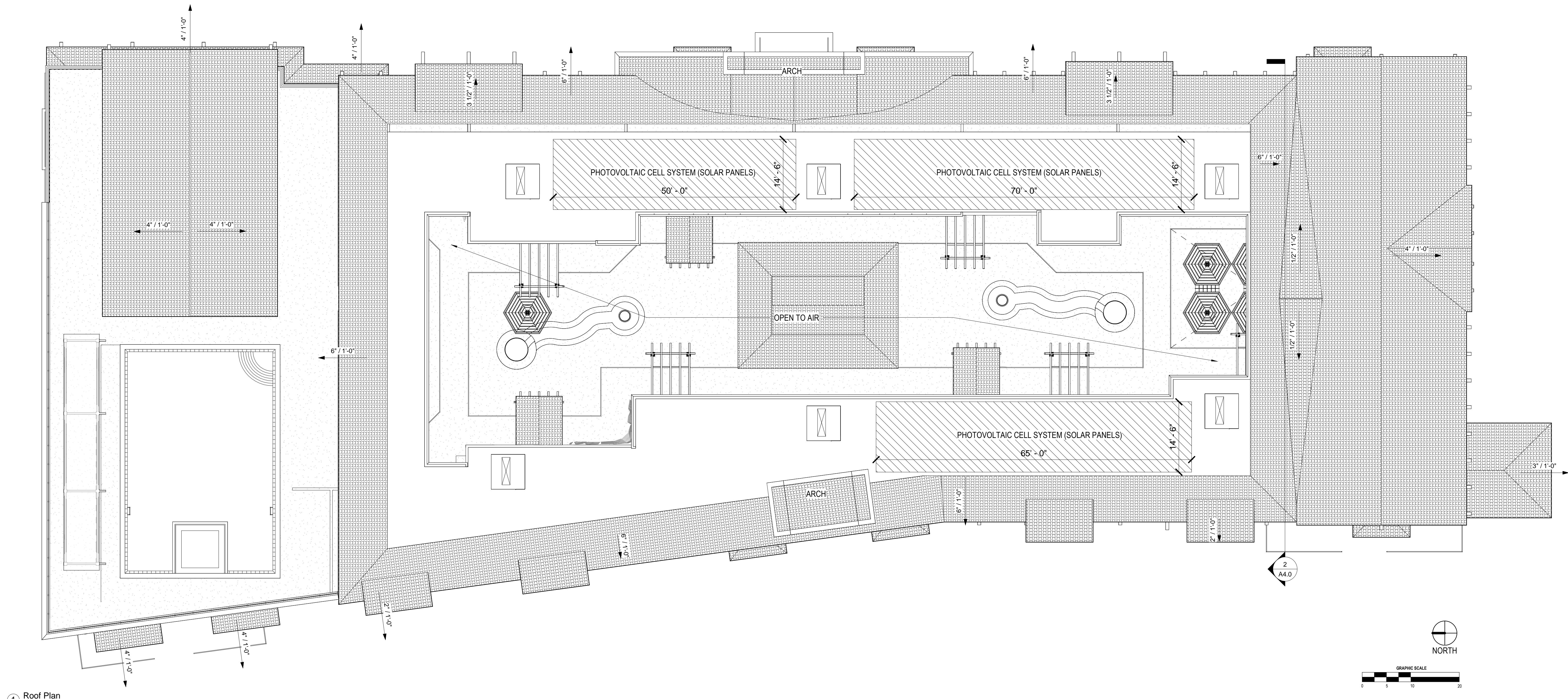


4 Typical Single King Suite Layout
1/8" = 1'-0"

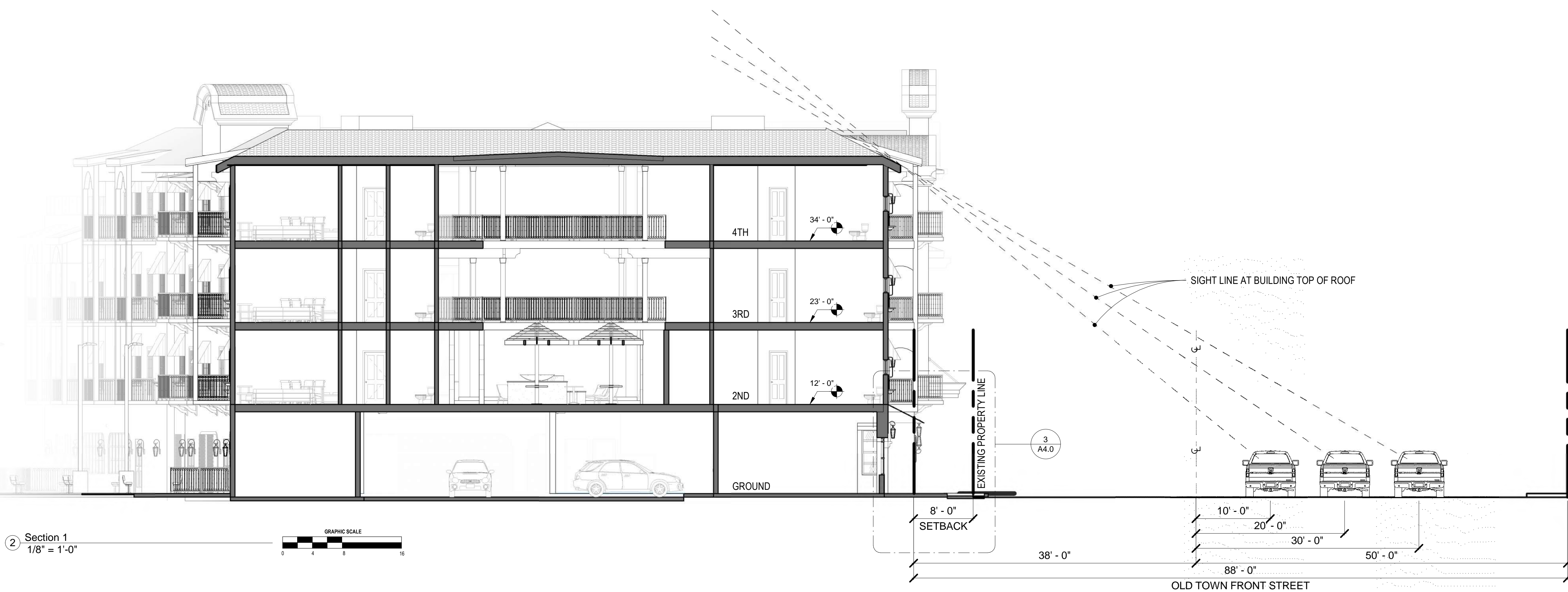
KEYNOTES	FLOOR PLAN WALL LEGEND	FLOOR PLAN GENERAL NOTES
21 INTERIOR METAL STUD FRAMING WALL TYP. 23 CONCRETE SHEAR WALL 25 ELEVATORS 26 INTERIOR STAIRS 27 INTERIOR DOOR TYP. 43 ALUMINUM CLAD WINDOW SYSTEM, SEE EXTERIOR COLOR SCHEDULE 44 CONCRETE TILT-UP PANEL SEE EXTERIOR COLOR SCHEDULE 53 PROPOSED INTERNAL DOWNSPOUT LOCATION 58 42" GUARD RAIL 58 WOOD ACCENTED BALCONY	 WOOD OR STEEL CONSTRUCTION FIRST FLOOR WOOD SHEAR WALL AT SECOND TO FOURTH FLOOR INTERIOR METAL STUD PARTITION TYP. ALUMINUM CLAD WINDOW SYSTEM EXTERIOR WINDOW (SEE ELEVATIONS) ILLUMINATED EMERGENCY EXIT SIGN PER CBC AND FIRE DEPT. E.E. DRAWINGS FOR LOCATION. SIGN SHALL BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN. IN CASE OF PRIMARY POWER LOSS.	1. FINISH FLOOR SLAB IS FLAT. REFER TO CIVIL DRAWINGS FOR ELEVATIONS AND ADDITIONAL INFORMATION. 2. PROVIDE STEGO WRAP 15 ML BARRIER BELOW SLAB PER MANUFACTURERS INSTRUCTIONS AND PER SOILS REPORT IN LOCATIONS FOR PROPOSED OFFICE AREAS. SEE FLOOR PLAN LEGEND FOR HATCHED AREAS. 3. REFER TO STRUCTURAL DRAWINGS FOR DESIGN OF FOUNDATION. 4. POUR STRIP TO BE SLOPED TO EXTERIOR DOORS 1/2" 5. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT AND CBC/CFR 6. PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS. DOORS EXITING FROM TENANT SPACES, DOORS INTO EXIT ENCLOSURES, AND ANY ADDITIONAL LOCATIONS NOTED ON PLANS. SEE "E" DRAWINGS FOR ADDITIONAL REQUIREMENTS. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS. 7. ALL FIRE RATED PARTITIONS TO EXTEND TO DECK ABOVE, AND PENETRATIONS TO BE SEALED. 8. DO NOT USE CURING COMPOUND OR RELEASE AGENTS TO CURE SLAB. 9. CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT PROHIBITED ON SLAB. 10. FLY-ASH PROHIBITED IN CONCRETE SLAB MIX. 11. STOREFRONT FRAMING TO BE RECESSED IN SLAB 1/2". SEE DETAIL SHEETS. 12. FLOOR SLAB TO BE CLASS V PER ACI 302-IR-89 13. SEE "S" DWGS FOR ADDITIONAL INFO. 14. FLOOR COMPACTION TO BE 95% MIN. 15. TRENCH COMPACTION TO BE 90% MIN. 16. SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH. 17. DIMENSIONS ARE TO FACE OF CONCRETE PANEL, FINISH FACE OF DRYWALL, FINISH OPENING, TYPICAL UNLESS NOTED OTHERWISE. 18. PROVIDE EXIT SIGNS INCLUDING TACTILE SIGN - DETAILS "Y" & "P" A02. REQUIRED BY SECTION 1011 OF 2013 CBC. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS. 19. ALL MAN DOORS, OVERHEAD DOORS, AND ROLL-UP DOORS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION. 20. ALL STOREFRONT SYSTEMS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION. STORE FRONT SYSTEMS TO BE DESIGN BUILD REFER TO CIVIL DRAWINGS FOR ALL POINT OF CONNECTIONS FOR UTILITIES. CONTRACTOR TO VERIFY LOCATIONS. 21. PROVIDE STEEL BOLLARDS FILLED WITH CONCRETE AND PAINTED PER FINISH SCHEDULE AT FIRE RISERS, PIVS, TRANSFORMERS, AND OTHER LOCATIONS AS REQUIRED. SEE 10A0.1. 22.

PA22-0920, PA22-0930, PA22-0931
SUBMITTAL #5

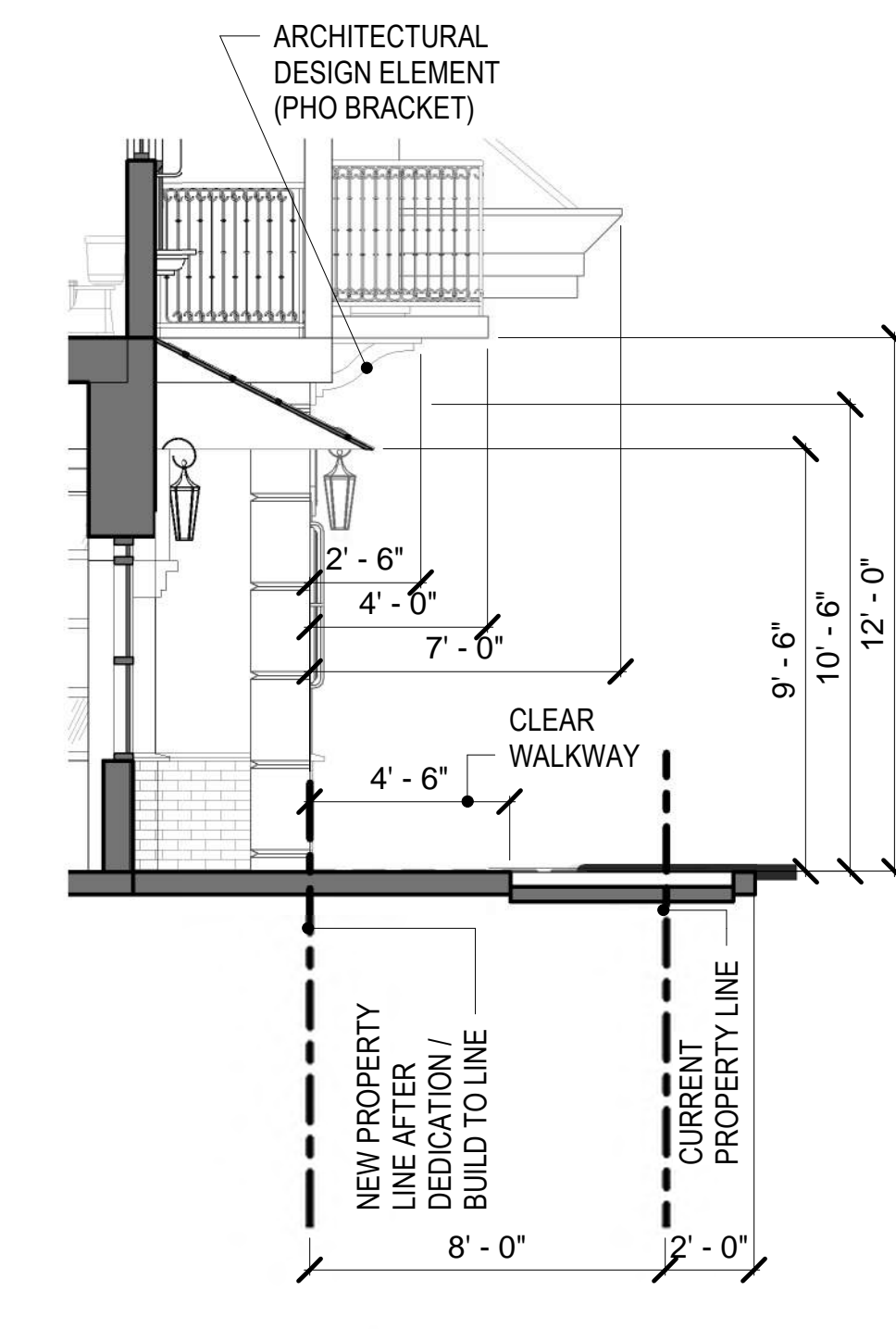




1 Roof Plan
1" = 10'-0"



2 Section 1
1/8" = 1'-0"



3 Section 1 - Callout 1
1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY POSITIVE ROOF DRAINAGE. ROOFING CONTRACTOR TO VERIFY PRIOR TO INSTALLING RIGID INSULATION OR ROOFING. SEE "S" DRAWINGS FOR CRICKETS, ETC.
- BUILT UP ROOFING TO BE CLASS 1 UL LISTED ROOFING ASSEMBLY DESIGNED TO RESIST 90MPH OR AS REQUIRED.
- SEE STRUCTURAL DRAWINGS FOR ROOF ELEVATIONS, TYP.
- REFER TO DETAIL 1/AD.1 FOR TYPICAL ROOF SECTION.
- PROVIDE CRICKETS ON (HIGH SIDE) OF ALL MECHANICAL UNITS AND ROOF EQUIPMENT AT SKYLIGHTS & SMOKE HATCHES. PROVIDE POSITIVE DRAINAGE AROUND UNITS AT 1/2" PER SLOPE MINIMUM.
- CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS. SEE ROOF DETAIL SHEET FOR PENETRATIONS.
- ALL SKYLIGHTS AND SMOKESTACKS TO BE DESIGNED TO MEET WINDLOAD AS DETERMINED BY THE BUILDING CODE AND LOCAL JURISDICTION.
- ALL MECHANICAL CONDENSATE DRAINS TO BE BELOW ROOF.
- G.C. TO CONFIRM REQUIREMENT FOR ROOF WALK PADS WITH OWNER.
- ROOFING GAP SHEET TO HAVE MINIMUM AGED SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.83, AND AN SRI EQUAL TO OR GREATER THAN 72 PER 2014 COUNTY OF LOS ANGELES GREEN BUILDING STANDARDS CODE.
- ROOF ELEVATIONS TO BE VERIFIED WITH TABLE AS 106.11.2.2 STRUCTURAL DRAWINGS.
- FOR ALL PIPE AND DUCT PENETRATIONS THRU ROOF, SEE DETAILS ON AD SHEETS
- ALL CONDENSATE LINES FROM HVAC UNITS MUST BE INSTALLED BELOW ROOF
- ALL MECHANICAL EQUIPMENT WEIGHTS ARE OPERATING WEIGHTS.
- PROVIDE A FULL TIME OSB MOISTURE INSPECTION AND GAP DISTANCE, BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE OSB MANUFACTURER. INSPECTION FIRM TO BE ON SITE PRIOR TO THE START OF ANY BUILT UP ROOFING WORK.
- ALL WOOD CURBS TO BE P.T.D.F.
- ROOF EXHAUST FANS SHALL BE CENTERED DIRECTLY ABOVE A SPRINKLER HEAD. VERIFY WITH FIRE PROTECTION PLANS PRIOR TO INSTALLATION.
- ALL SUB-PURLIN HANGERS SHALL BE "Z-MAX" TRIPLE ZINC COATED AS MANUF. BY SIMPSON OR APPROVED EQUAL.
- AUTOMATIC SPRINKLER SYSTEMS SERVING MORE THAN 100 SPRINKLER HEADS SHALL BE SUPERVISED BY AN APPROVED CENTRAL PROPRIETARY OR REMOTE STATION SERVICE, OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT CONSTANTLY ATTENDED LOCATION.

PA22-0929, PA22-0930,
PA22-0931

SUBMITTAL #5



Consultant:
Walter R. Allen
Architect + Associates

License Number:
C24288
APN: 922-100-048

BLOCK NUMBER: M.B. 151708 LOT #2 BLOCK 32

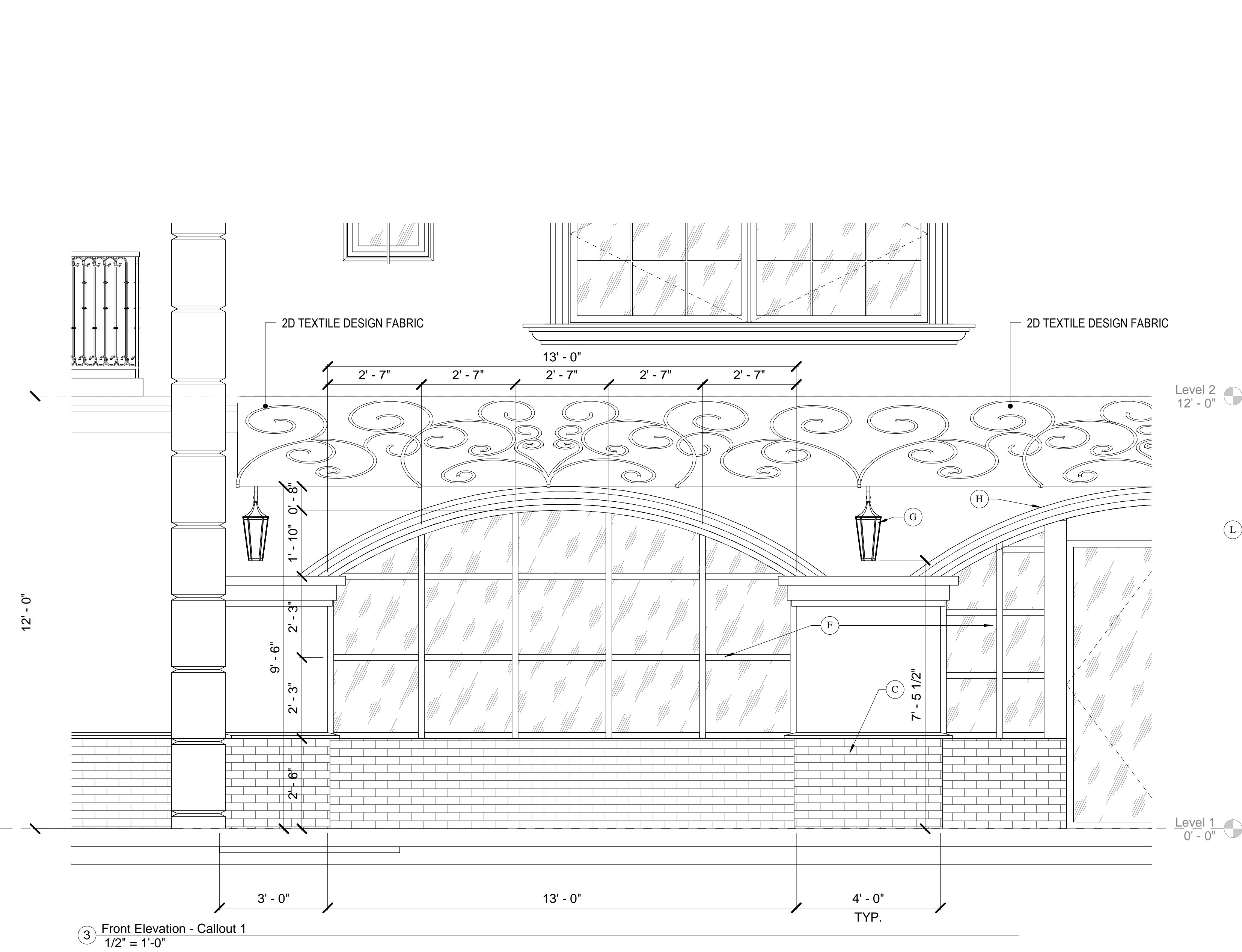
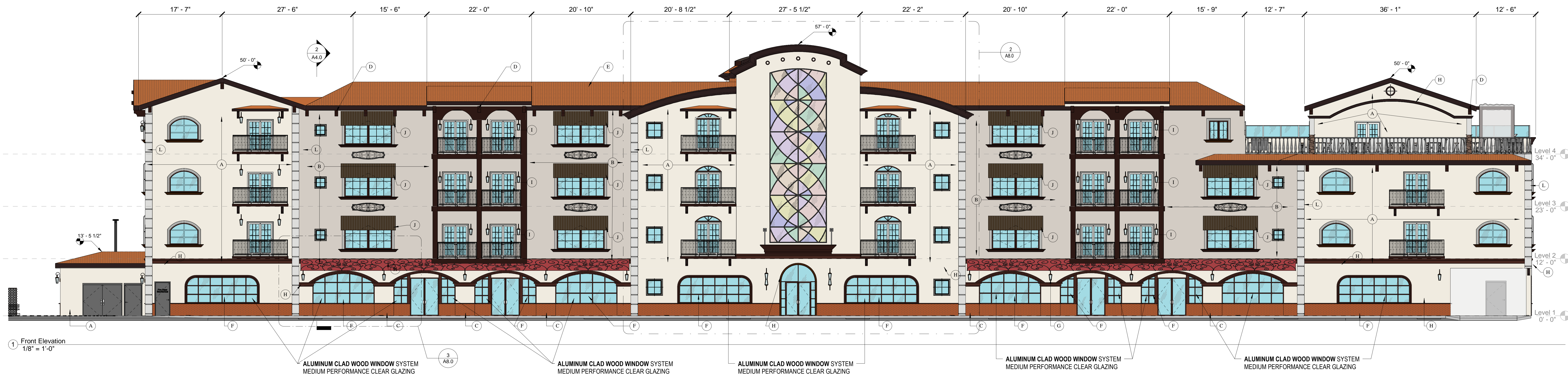
ROOF PLAN

Date: 9/17/2023

Scale: As Indicated

SHEET NUMBER

A4.0



LEGEND	
	GLAZING
EXTERIOR COLOR SCHEDULE	
(A)	SMOOTH STUCCO PAINT COLOR: SHERWIN WILLIAMS - SHELL WHITE
(B)	SMOOTH STUCCO PAINTED COLOR: SHERWIN WILLIAMS - PEDIMENT
(C)	BRICK VENEER MANUF: CORONADO STONE COLOR: ADOBE BRICK, SALTILLO
(D)	PAINTED FAUX BEAM MANUF: TBD COLOR: ESPRESSO
(E)	U SHAPE CLAY ROOF TILE MANUF: BORAL AMERICA STYLE: SPANISH CLAYTILE COLOR: JAVA BLEND
(F)	ALUMINUM CLAD WOOD WINDOW SYSTEM MEDIUM PERFORMANCE CLEAR GLAZING
(G)	DECORATIVE WALL SCONCE MANUF: KICHLER LIGHTING STYLE: ROCHEVALE COLLECTION COLOR: OLDE BRONZE
(H)	PRECAST MOULDING COLOR: ESPRESSO
(I)	BLACK WROUGHT IRON DECORATIVE RAILING / SCREEN
(J)	BRONZE / METAL AWNING
(L)	QUOIN

PA22-0929, PA22-0930, PA22-0931
SUBMITTAL #5

OM DEVELOPMENT
AND CONSTRUCTION

Created by:
Walter R. Allen
Architect + Associates

License Number:
C24288

APN: 922 100 048
BLOCK NUMBER: M.B. 151708 LOT #2 BLOCK 32

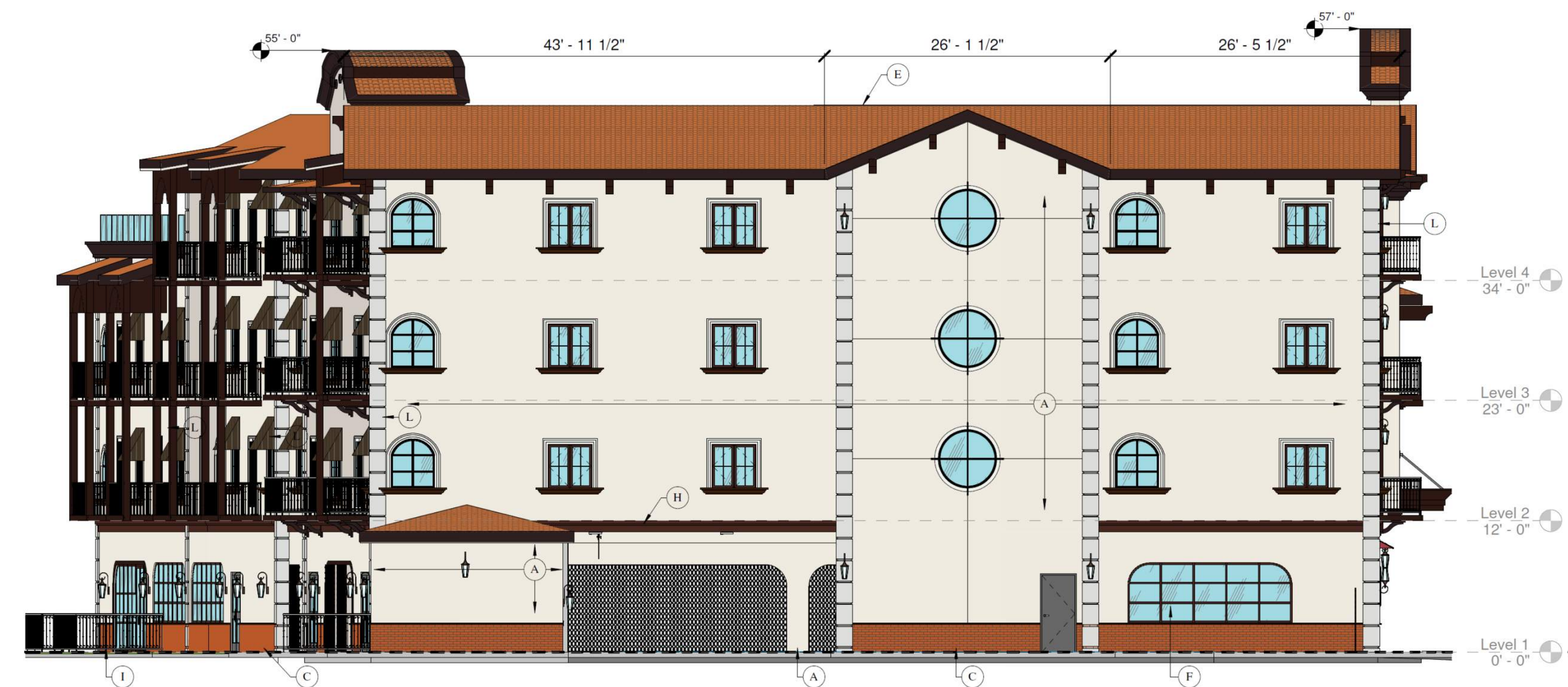
BUILDING
ELEVATIONS

Date: 9/17/2025
Scale: As Indicated
SHEET NUMBER

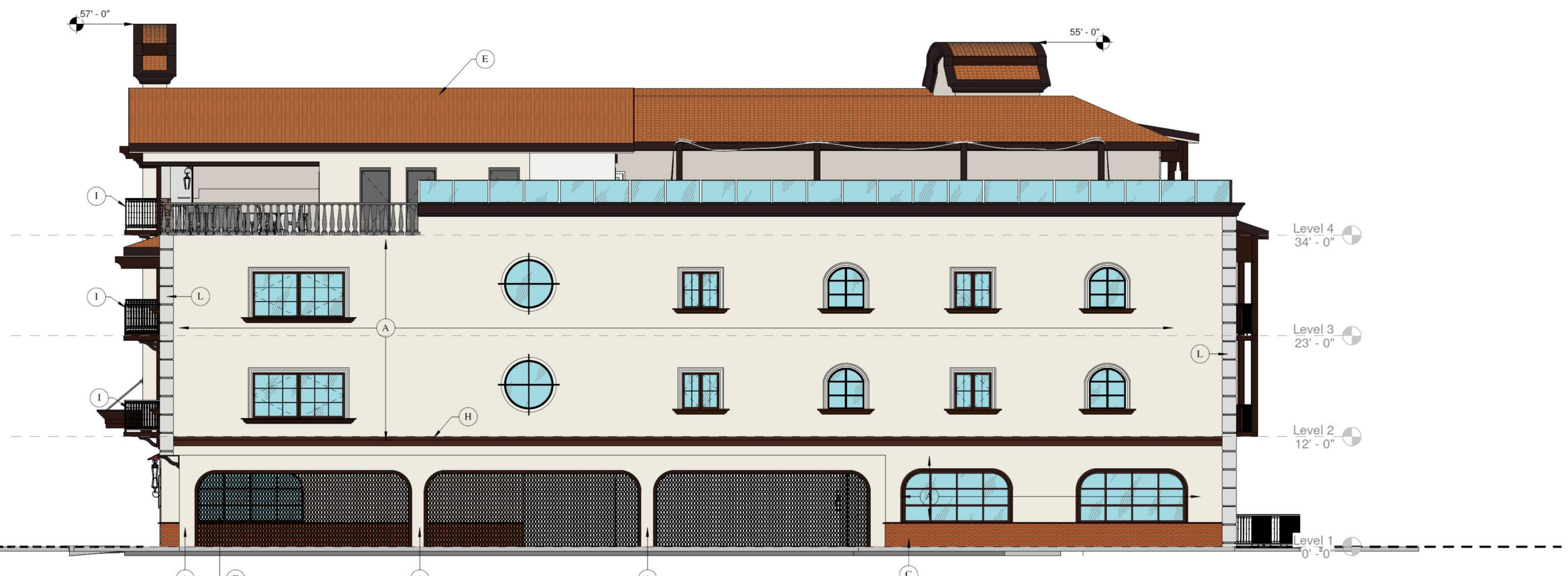
A8.0



① Back
1/8" = 1'-0"



② Left Elevation
1/8" = 1'-0"



③ Right Elevation
1/8" = 1'-0"

LEGEND	
	GLAZING
EXTERIOR COLOR SCHEDULE	
(A)	SMOOTH STUCCO PAINT COLOR: SHERWIN WILLIAMS - SHELL WHITE
(B)	SMOOTH STUCCO PAINTED COLOR: SHERWIN WILLIAMS - PEDIMENT
(C)	BRICK VENEER MANUF: CORONADO STONE COLOR: ADOBE BRICK, SALTILLO
(D)	PAINTED FAUX BEAM MANUF: T&D COLOR: ESPRESSO
(E)	U SHAPE CLAY ROOF TILE MANUF: BORAL AMERICA STYLE: SPANISH CLAYTILE COLOR: JAVA BLEND
(F)	ALUMINUM CLAD WOOD WINDOW SYSTEM MEDIUM PERFORMANCE CLEAR GLAZING
(G)	DECORATIVE WALL SCONCE MANUF: KICHLER LIGHTING STYLE: ROCDALE COLLECTION COLOR: OLDE BRONZE
(H)	PRECAST MOULDING COLOR: ESPRESSO
(I)	BLACK WROUGHT IRON DECORATIVE RAILING / SCREEN
(J)	BRONZE AWNING
(K)	PLANING LATTICE / ARCHITECTURAL SCREEN
(L)	QUOIN

PA22-0929, PA22-0930,
PA22-0931
SUBMITTAL #5

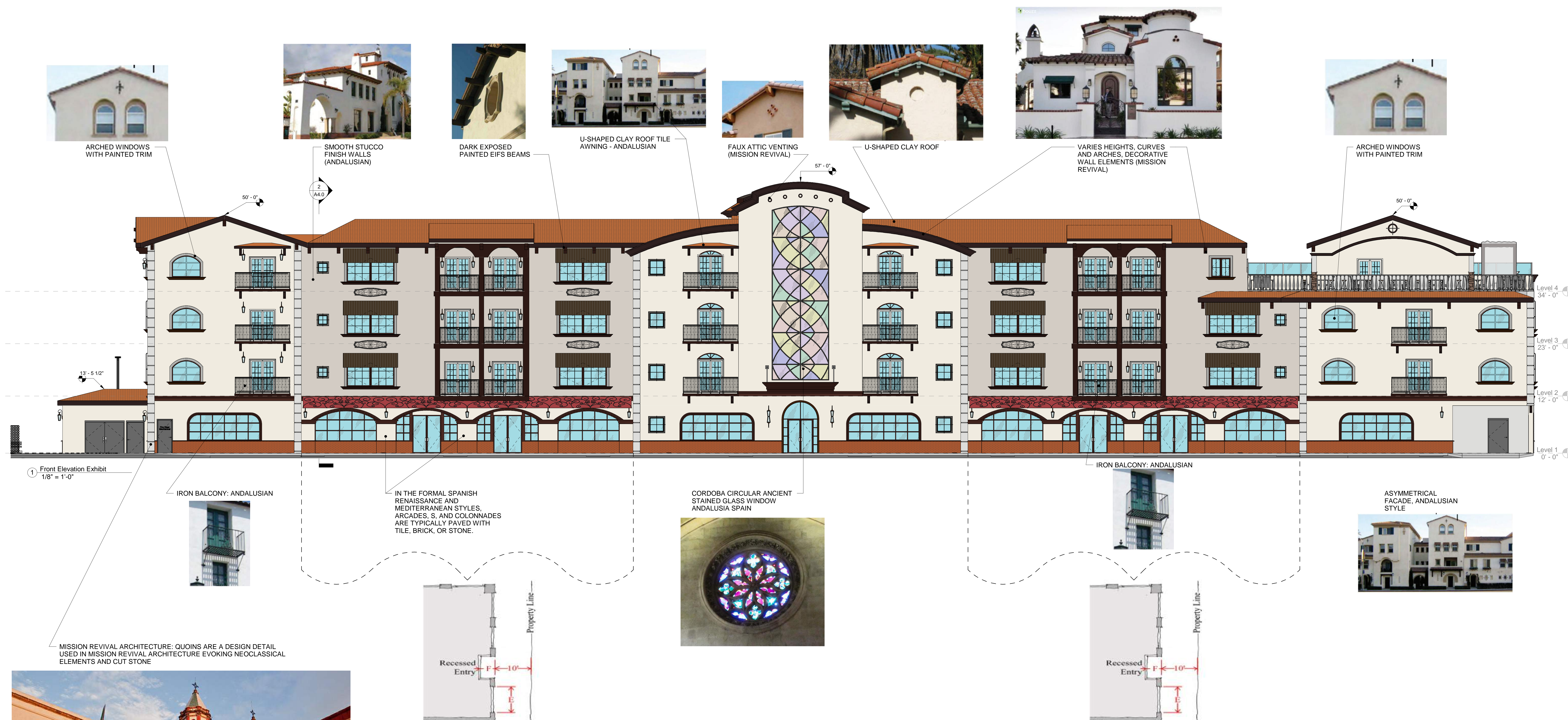
OM DEVELOPMENT
AND CONSTRUCTION
Consultant:
Walter R. Allen
Architect + Associates
License Number:
C24288
APN: 822 100-048
BLOCK NUMBER: M8: 10729 LOT #2 BLOCK 32

BUILDING
ELEVATIONS

Draw: 5/17/2023
Scale: As indicated
SHEET NUMBER

A8.1

NOTE:
VARIED / ASYMMETRIC ROOF AND BUILDING DESIGN IS HEAVILY COMMON IN BOTH ANDALUSIAN STYLE AND MISSION REVIVAL



DESIGN ELEMENTS	
V-21	SHOPFRONT FRONTAGES MAY BE USED FOR GROUND FLOOR COMMERCIAL USES AND MAY INCLUDE ENTRANCES TO RESIDENTIAL UNITS ON UPPER FLOORS. THE BUILDING FACADE IS ALIGNED WITH THE BUILD-TO LINE, WHICH IS 10 FEET BACK FROM THE PROPERTY LINE. RECESSED ENTRANCES ARE PERMITTED. BUILDING ENTRANCES ARE AT SIDEWALK GRADE. SHOPFRONT ELEMENTS INCLUDE DISPLAY WINDOWS, ENTRANCES, AWNINGS, CANOPIES, SIGNAGE, LIGHTING, CORNICES, AND OTHER ARCHITECTURAL ELEMENTS. A SOLID BASE OR BULKHEAD MUST BE PROVIDED BELOW THE DISPLAY WINDOWS. A CORNICE OR HORIZONTAL BAND MUST BE PROVIDED ABOVE THE DISPLAY WINDOWS TO DIFFERENTIATE THE SHOPFRONT FROM THE UPPER LEVELS OF THE BUILDING
V-32	SPANISH INFLUENCE INCLUDES MISSION REVIVAL, SPANISH RENAISSANCE, AND ANDALUSIAN. THEY SHARE ELEMENTS SUCH AS TILE ROOFS, SMOOTH STUCCO EXTERIOR WALLS AND IRON BALCONIES. THEY REPRESENT DIFFERENT SPANISH ARCHITECTURAL TRADITIONS. IN PRACTICE, ELEMENTS OF THESE THREE STYLES ARE OFTEN BLENDED TOGETHER. ANDALUSIAN IS THE PRIMARY STYLE OF THE HOTEL. THE GROUND LEVEL IS A MIX OF GALLERY AND SHOPFRONT DESIGN.
V-33	FACADES ARE ASYMMETRICAL, AND BUILDING MASSING MAY CONSIST OF A MIX OF HEIGHTS.
V-35	A SUMMARY OF THE GENERAL SPANISH INFLUENCED STYLE ELEMENTS COMMON TO ALL THREE SUB-STYLES INCLUDED: <ul style="list-style-type: none">SOLID, MASSIVE WALLS WITH SMOOTH STUCCO FINISHES;LARGER OPENINGS ON THE GROUND FLOOR, SMALLER WINDOWS ABOVE;DOOR AND WINDOW OPENING RECESSED FROM THE FACADE;ARCADES OR GALLERIES WITH ROUND ARCHES, FLAT ARCHES, FLAT ARCHES OR RECTANGULAR OPENINGS, SET ON COLUMNS OF WOOD OR STUCCO;WHITE OR SOFT PASTEL EARTH TONE COLORS;CERAMIC TILE ACCENTS

OM DEVELOPMENT
AND CONSTRUCTION

Owner:
Walter R. Allen
Architect + Associates

License Number:
C24288

APN: 922 100 048
BLOCK NUMBER: M.B. 15708 LOT #2 BLOCK 32

DOWNTOWN
ARCHITECTURAL
STYLE

Date: 5/17/2023
Scale: 1/8" = 1'-0"
SHEET NUMBER

A8.2



① 3D View 1



② 3D View 2

PA22-0829, PA22-0830, PA22-0831
SUBMITTAL #5



OM DEVELOPMENT
AND CONSTRUCTION

Consultant:
Walter R. Allen
Architect + Associates
License Number:
C24288

APN: 822-100-048
BLOCK NUMBER: N.E. 19728 LOT #2 BLOCK 32

3D VIEWS

Date: 9/17/2023

Scale:

SHEET NUMBER

A9.0



① ISO VIEW 1

PA22-0929, PA22-0930, PA22-0931
SUBMITTAL #5



OM DEVELOPMENT
AND CONSTRUCTION

Created by:
WARREN R. ALLEN
ARCHITECT + ASSOCIATES
License Number:
C24288

APN: 922-100-046
BLOCK NUMBER: N.B. 15708 LOT #2 BLOCK 32

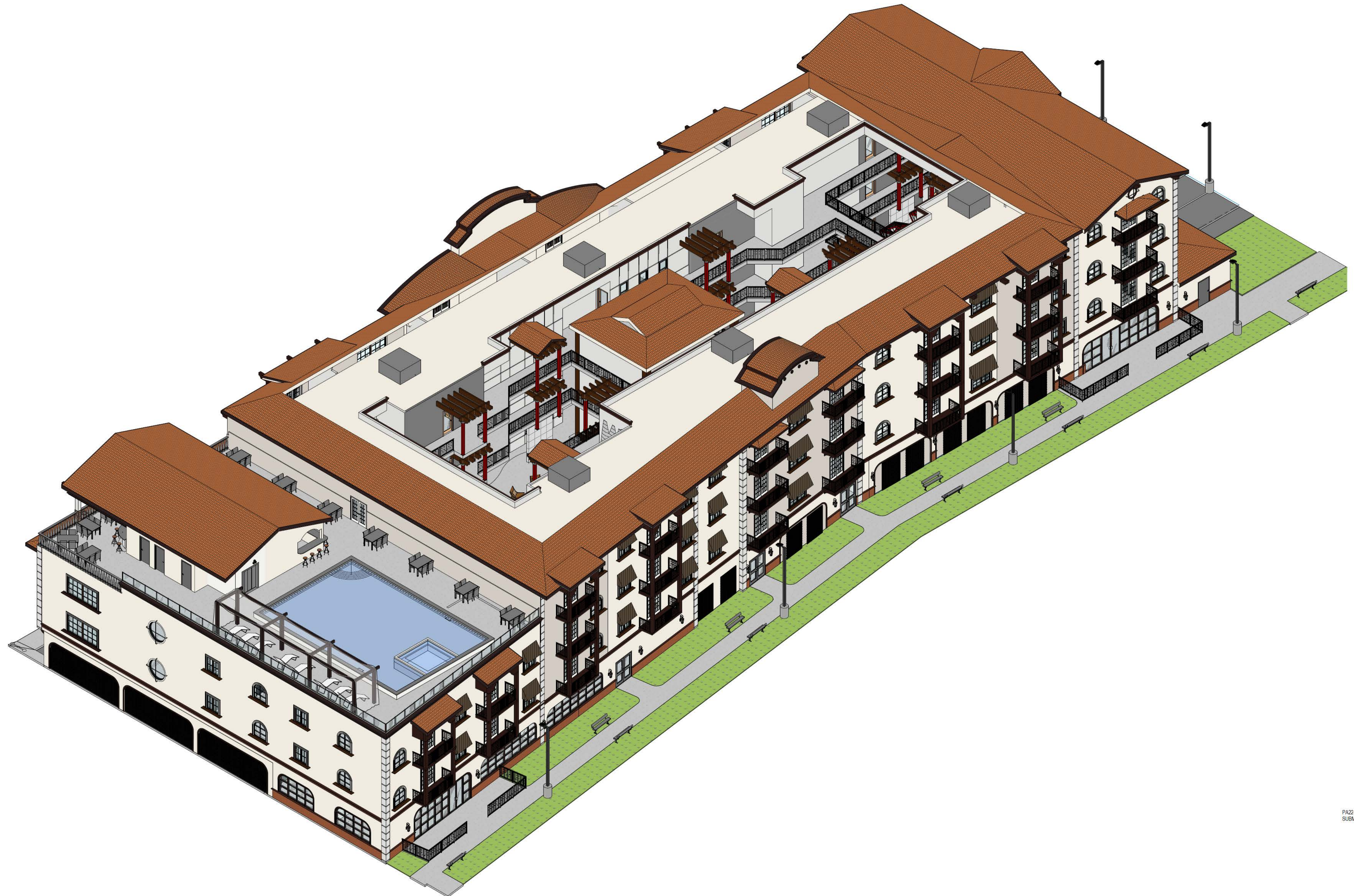
ISOMETRIC VIEW
#1

Date: 9/17/2023

Scale:

SHEET NUMBER

A9.1



① ISO VIEW 2

PA22-0829, PA22-0830, PA22-0831
SUBMITTAL #5



OM DEVELOPMENT
AND CONSTRUCTION

Consultant:
WALTER R. ABEN
ARCHITECT + ASSOCIATES
License Number:
C24288
APN: 802-100-048

BLOCK NUMBER: 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

ISOMETRIC VIEW
#2

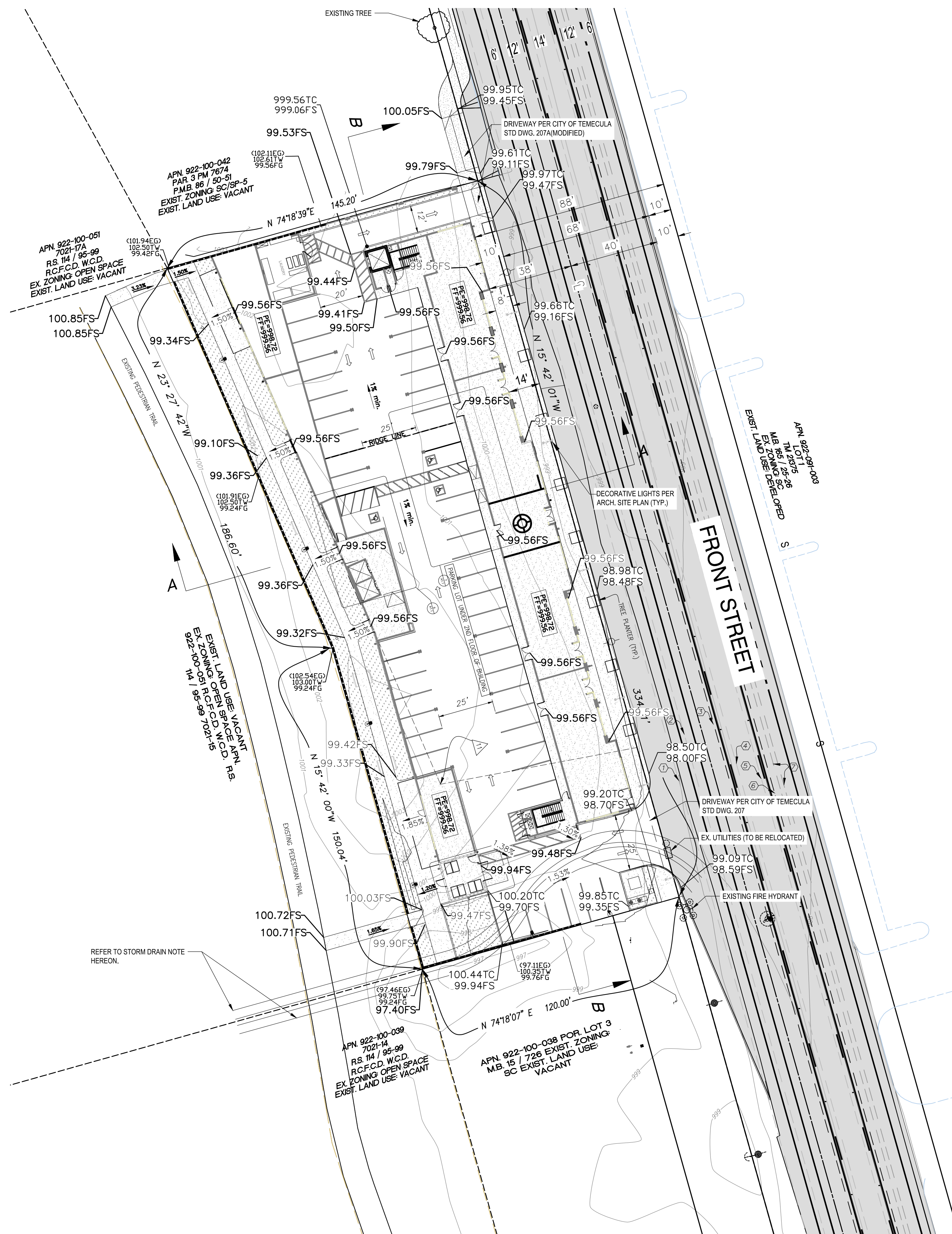
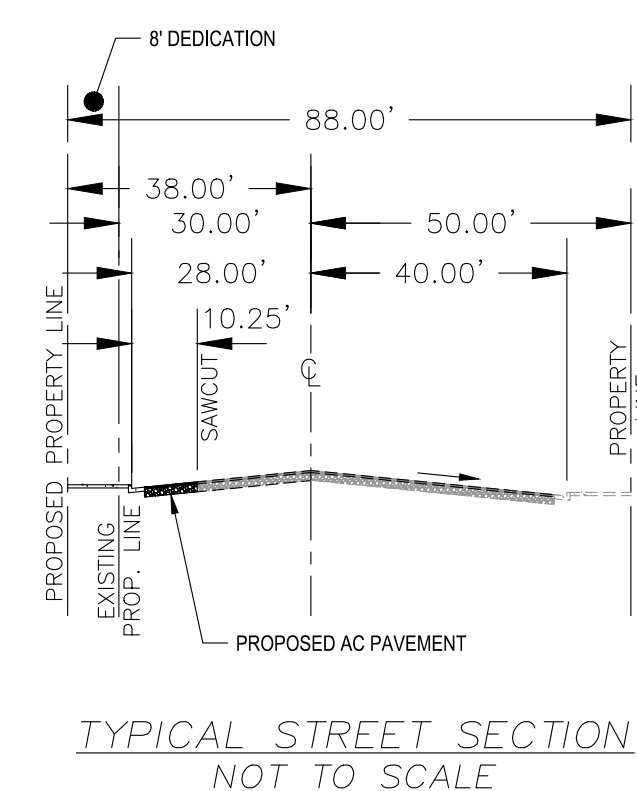
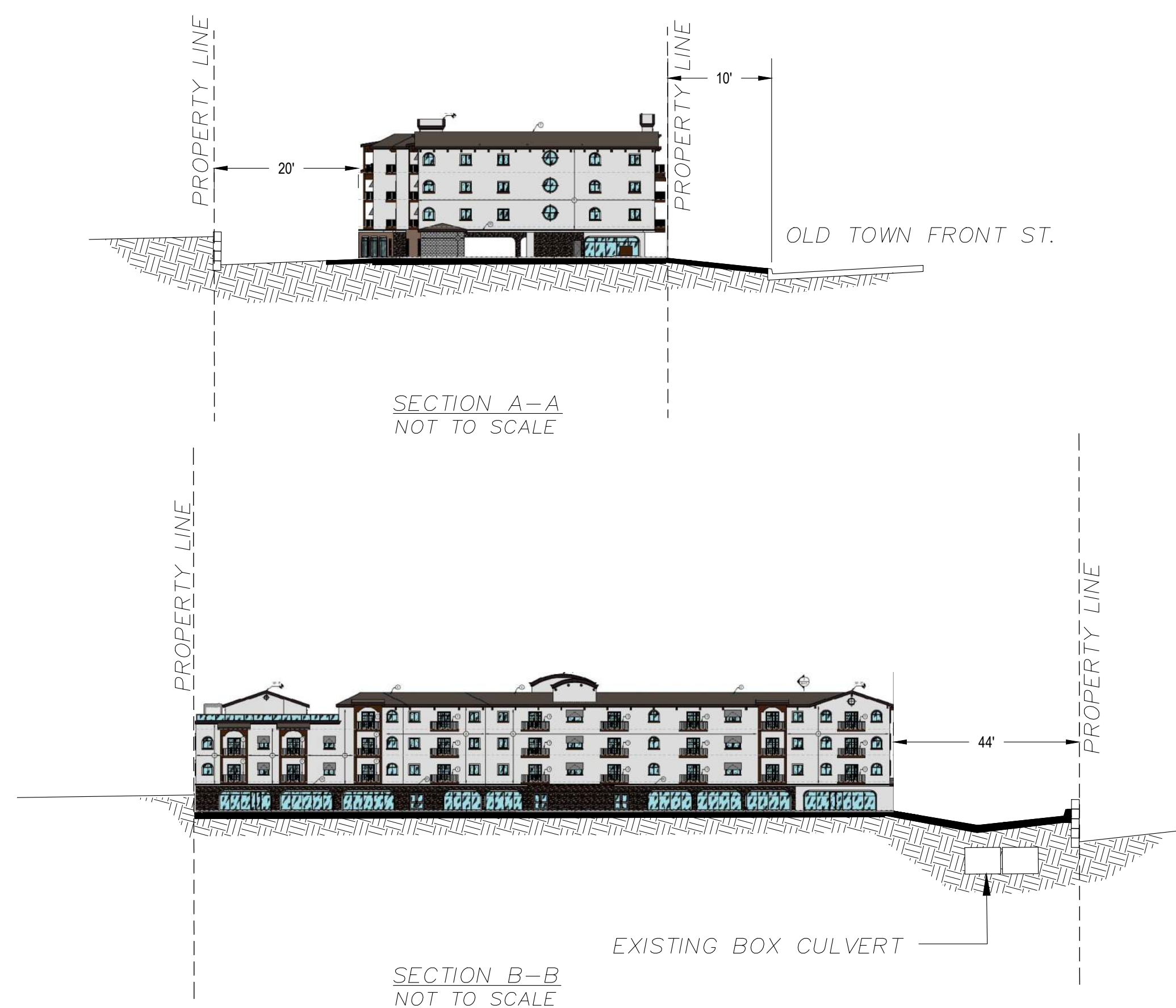
Date: 9/17/2023

Scale:

SHEET NUMBER

A9.2

The map illustrates the location of the Project Site relative to major roads. The Project Site is situated on Old Town Front Street, between Second Street and Third Street. The map also shows the intersection of First Street, Second Street, and Third Street with Old Town Front Street. The map also shows the intersection with Santiago Road and Interstate 15.



C-1

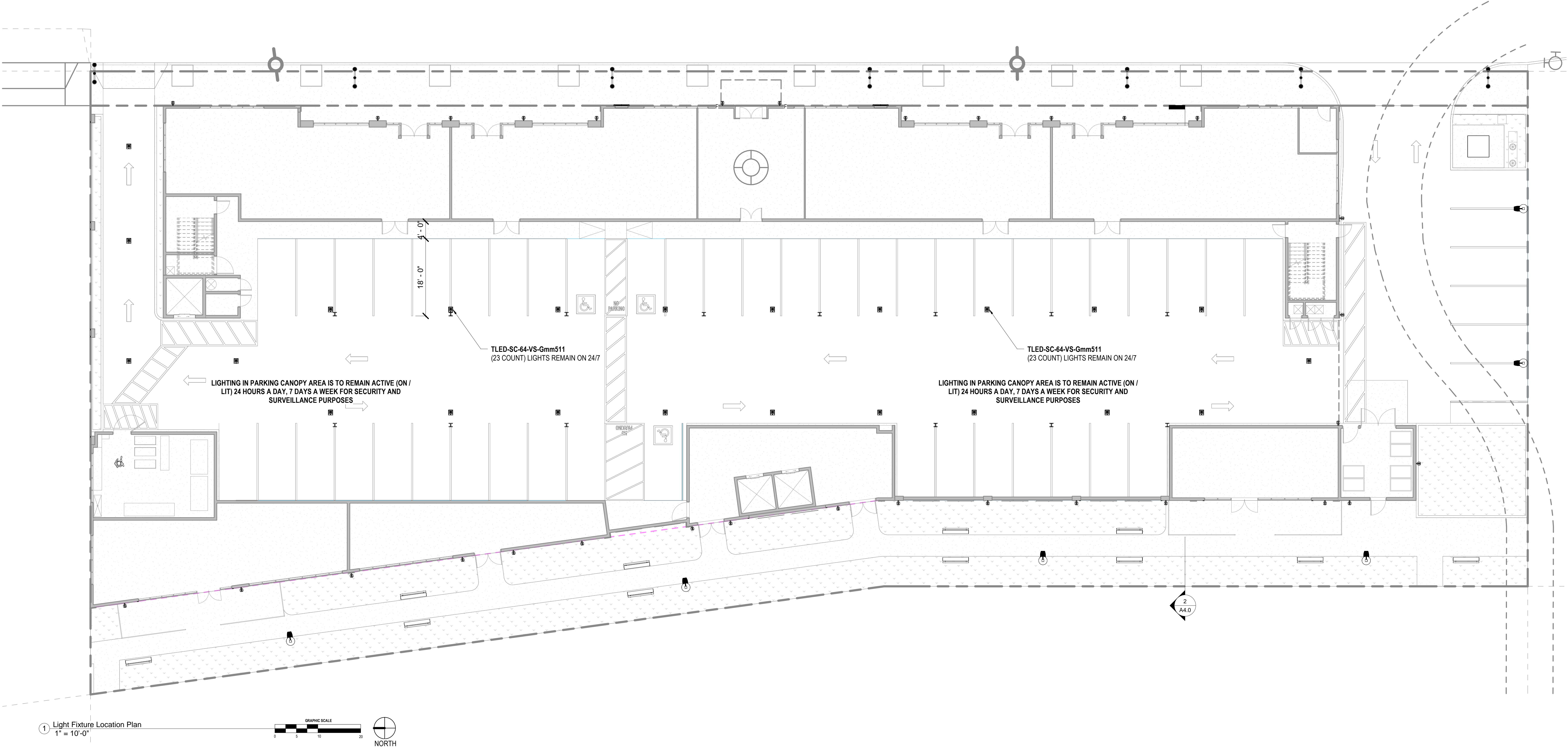
ANY DESIGN INFORMATION SHOWN ON THIS
PLAN IS CONCEPTUAL IN NATURE AND SHALL
NOT BE RELIED ON FOR CONSTRUCTION
PURPOSES.

ENGINEER:

**4M ENGINEERING AND
DEVELOPMENT, INC.**

41635 Enterprise Circle, Suite B
Tremonte, California 92509
TEL: (951) 296-3466 INFO@4MED.NET


C-1



NOTE: TLED-SC-64-VS-Gmm511
WILL PROVIDE 24/7 LIGHTING
FOR ADDED SECURITY AND
SAFETY OF THE GARAGE
CANOPY SPACE

LIGHTNING SCHEDULE									
SYMBOL	LABEL	QTY.	CATALOG NUMBER	DESCRIPTION	LAMP	NUMBER LAMPS	LUMENS PER LAMP	LLF	WATTAGE
	A	6 POLE 1 LAMP PER.	RZR-PLED- IV-40LED-350mA-40K-HS, 42.7W, 5055 lumens	4 CIRCUIT BOARDS EACH WITH 40 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.		80	265	0.9	266.7
	B	32	KICHLER 495130Z	WALL MOUNTED 24.75" HIGH LED FIXTURE 2700K.	(2) 4.5W LED CANDELABRA BASE	2	600	0.9	10
	C	23	TLED-SC-64-VS-Gmm511	12"SQ. X 2-1/2"H. LED GARAGE CANOPY WITH INTEGRATED OCCUPANCY AND DAYLIGHT SENSOR LEDS WITH DINTED OPTICS		1	7724	0.9	75
	D	13	PER CITY OF TEMECULA: OLD TOWN SPECIFIC PLAN SPECIFICATIONS						
	F	2	KICHLER 495140Z	WALL MOUNTED 24.75" HIGH LED FIXTURE 2700K.	(6) 4.5W LED CANDELABRA BASE	6	1800	0.9	60

PA22-0929, PA22-0930, PA22-0931
SUBMITTAL #5



OM DEVELOPMENT
AND CONSTRUCTION

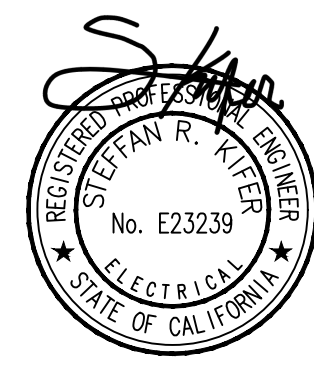
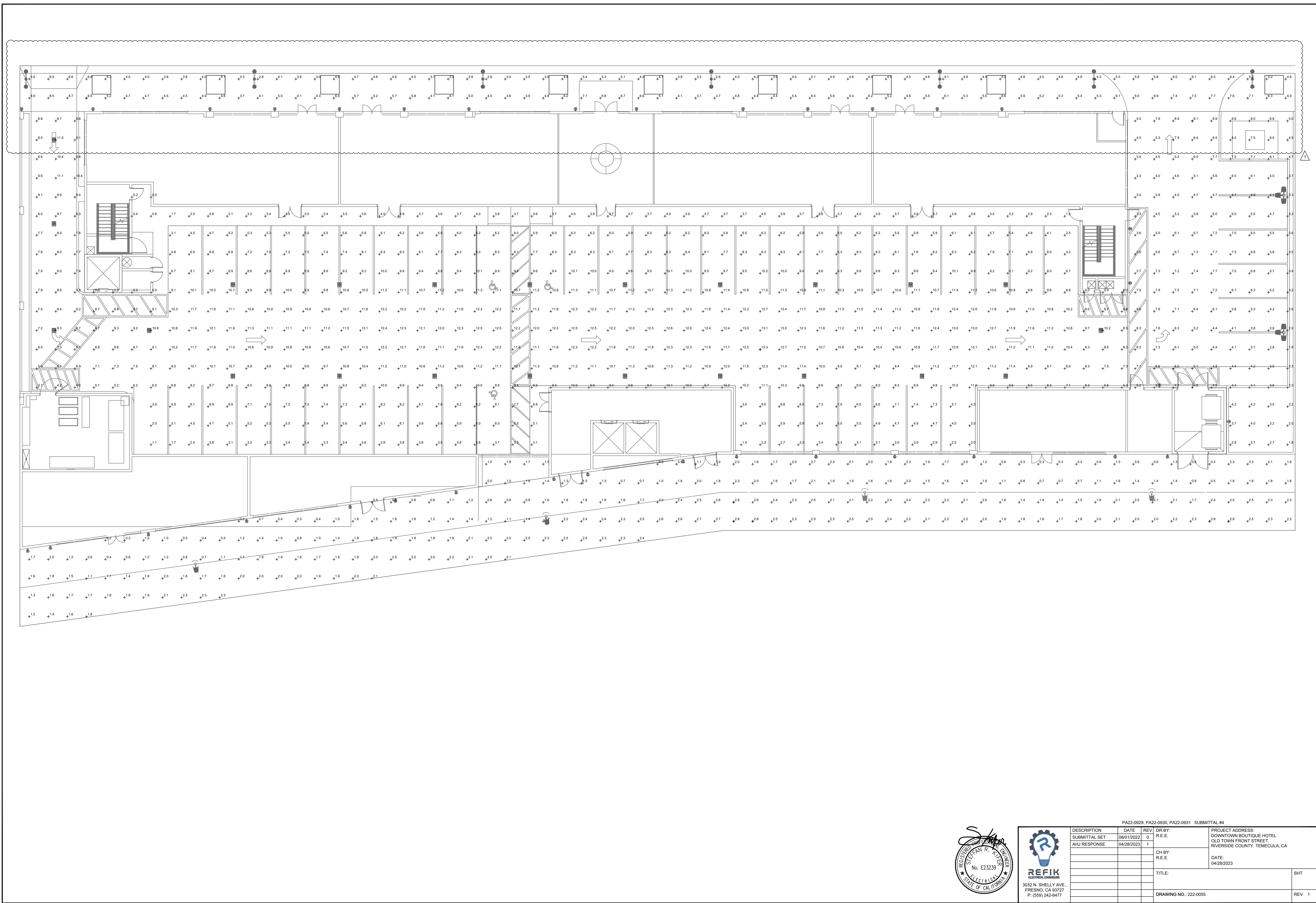
Owner:
Walter R. Allen
Architect + Associates

License Number:
C24288

APN: 922-100-048
BLOCK NUMBER: M.B. 15/08 LOT #2 BLOCK 32

LIGHT FIXTURE
LOCATION

Date: 9/17/2025
Scale: As Indicated
SHEET NUMBER



DESCRIPTION			DATE	REV	DR BY:	PROJECT ADDRESS:		SHT
SUBMITTAL SET			08/01/2022	0	R.E.E.	DOWNTOWN BOUTIQUE HOTEL OLD TOWN FRONT STREET, RIVERSIDE COUNTY, TEMECULA, CA		
AJH RESPONSE			04/28/2023	1	CH BY: R.E.E.		DATE: 04/28/2023	
					TITLE:			
					DRAWING NO.: 222-0055			REV 1



TLED-SC

Surface Mount LED Garage/Canopy Lighting
with Integrated Occupancy and Daylight Sensor

DESCRIPTION
The TLED-SC sensor canopy utilizes TRACE-LITE's successful LED surface mount canopy design and brings it to a new level of performance and efficiency by the addition of the factory installed Watstopper FSP-211 Digital High/Low passive infrared sensor. The sensor allows for fully adjustable high and low dimmed light levels based on motion, adjustable time delay, cut off delay and is controlled via the 0-10V dimming driver in the future. It also includes an integrated photocell to measure ambient light levels. This sensor is provided with an FSP-L2 lens that was selected for its proven design and ability to provide maximum coverage at an 8ft mounting height. Other lenses are available for multiple mounting heights. Contact factory for details. The TLED-SC series conforms to the Title 24 requirements in regards to dimming and control of light fixtures.

The TLED-SC extends the low profile form factor of the complete line by integrating the Watstopper Occupancy and Daylight sensor on one side of the fixture, ensuring the ease of installation our LED canopy is known for. Our next generation high performance LED light engines feature our superior thermal management that make the entire family an attractive, energy saving choice. Constructed of die formed and welded aluminum, the TLED canopy series family has been engineered to deliver optimum optical performance and long longevity. The attractive and durable housings have a UV resistant, powder coated finish to protect against the elements and are ETL Listed for Wet Locations. Our TLED series canopies incorporate contractor friendly features that allow for ease of installation in a variety of applications and can be installed by a single person. The TLED-SC series canopies provide an energy saving solution to a wide spectrum of applications including, but not limited to security lighting in schools, office corridors, light commercial development, apartments, parking garages, entryways, and stairwells. The TLED series canopies are DesignLights Consortium™ (DLC) qualified and meet or exceed the efficacy requirements for various relate programs across the country (consult DLC CPL website for listed models).

AVAILABLE WHILE SUPPLIES LAST



Specs at a Glance			
	18 LED	36 LED	48 LED
Wattage (Nominal)	21W	41W	55W
Input Protection	UL Listed for Wet Locations	UL Listed for Wet Locations	UL Listed for Wet Locations
Lumens (lm)	1907	4119	5712
Efficacy (LPW)	92	101	104
CCT	4700K		
Input Voltage	120-277 Voltage Sensing		
Optics	Performance Optic: Type V-Very Short		
CRI	≥72		
Warranty	5 Years		
Ambient Temp	-40°F to 104°F (-40°C to 40°C)		

Construction:
Precision die formed aluminum housings feature clean architectural lines with ample, integral mounting space for future accessories. The TLED canopy series family's most important construction feature is their integral thermal management. The housing is constructed using 16" aluminum plate, which not only provides strength and durability but also acts as a substantial heat sink and allows for optimum performance and durability of the LED light engine without sacrificing design aesthetics or increasing the outside dimensions of the housing. LEDUEdge heat sinking technology moves heat away from the LEDs by taking advantage of thermal convection dynamic properties and maintains system performance that delivers up to a 100,000 hour life with 70% lumen maintenance. The TLED canopy series family is ETL Listed for Wet Locations, and incorporates a UV resistant, long lasting, polyester powder coat finish.

Optics:
The TLED canopy series family of luminaires deliver exceptional light quality and efficiency with a garage optic design that provides excellent Type V5 distribution. Our garage optic provides more than 90° to 80° zone, which satisfies the DLC requirements for parking garage luminaires. The stabilized optical PMMA lenses are specifically designed to distribute light where it is needed in the most efficient way possible making it the ideal luminaire for high efficiency applications.

Electrical:
The available LED light engine wattages are powered by 0-10V dimmable, constant current control drivers and provide up to a 100,000 hour rated life with 70% lumen maintenance, at 4700K CCT, and a CRI ≥ 72. All drivers are Class 2 power supplies with input voltage range of 120VAC to 277VAC, providing a Class A EMI rating and a high power factor of ≥ 0.95. The TLED series canopies are suitable for operation in -40°F to 104°F (-40°C to 40°C) ambient conditions.

Thermal Management:
LEDUEdge heat sinking technology moves heat away from the LEDs by taking advantage of thermal convection dynamic properties and maximizing system performance that delivers up to a 100,000 hour life with 70% lumen maintenance.

Environmentally Friendly Design:
TLED-SC canopy series luminaires consume very little energy and provide long life in comparison to traditional lamp technologies. The TLED-SC is RoHS (Restriction of Hazardous Substances) compliant and provides a significant reduction in kWh load and carbon emissions.

Installation:
The TLED series canopies can be installed and wired by a single person. The base plate easily attaches to a 3" or 4" J-box, and the fixture housing is attached to the base plate by four (4) captive fasteners. The TLED-SC can be surface mounted to a recessed J-box or pendant mounted using a standard 3/4" downrod & hardware (supplied by others).

Transient Protection System (Option: TP):
The LEDUEdge optical transient protection device is designed to be used in conjunction with our LED drivers. The "TP" option utilizes a 3-shaded device that protects Line-Ground, Line-Neutral, and Neutral-Ground in accordance with IEEE/ANSI C62.41-2 guidelines. The surge current rating of the "TP" option is 10,000 amperes.

Testing & Compliance:
The reliability and performance of the TLED canopy series luminaires are evaluated in accordance with the parameters outlined and reported by LM-79 and LM-80 documents. Photometric data is tested to IESNA LM-79-08 standard by an independent testing laboratory. Lumen maintenance, or L70, a measure of long term reliability, is determined for the light source, which consists of the LED and PSB sub-assembly as installed in the luminaire, using LM-80 in-vitro thermal and reliability data as provided by the LED manufacturer in accordance with DOE/EPA standards. DesignLights Consortium® (DLC) qualified luminaire (check CPL for specific models).

Listing:
The TLED-SC is ETL certified under UL1598 specifications and listed for wet locations.

Warranty:
Any component that fails due to manufacturer's defect is guaranteed for 5 years. The warranty does not cover physical damage, abuse or acts of God. Manufacturer reserves the right to charge for such repairs if deemed necessary.

Rochdale™ 4 Light Wall Light Olde Bronze®

495140Z
© 2021 Kichler Lighting, LLC. All Rights Reserved

SPECIFICATIONS
Certifications/Qualifications www.kichler.com/warranty

Dimensions	
Base Backplate	5.50 X 22.00
Extension	12.75"
Weight	13.78 LBS
Height from center of Wall opening (Spec Sheet)	16.75 TO 25"
Height	39.75"
Width	11.00"
Light Source	
Bulb Product ID	4064CLR
Lamp Included	Not Included
Lamp Type	B
Light Source	Incandescent
Max or Nominal Watt	60W
# of Bulb/LED Modules	4
Socket Type	CAND
Socket Wire	105"

Mounting/Installation	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Weight	15.00 LBS
Reinforced Outlet Box Required	Yes

FIXTURE ATTRIBUTES

Housing	
Diffuser Description	Vertical Rain
Primary Material	Aluminum

Product/Ordering Information

SKU	495140Z
Finish	Olde Bronze
Traditional	783927421935
UPC	

Finish Options

● Olde Bronze

ALSO IN THIS FAMILY



Kichler.com

KICHLER

1

AREA & ROADWAY LIGHTING

RAZAR SERIES - LED LOW PROFILE AREA LUMINAIRE

Optical Housing

Heavy cast, low copper aluminum assembly (A356 alloy, <2% copper) minimum wall thickness .188". LED Module mounting area is machined to within a .002" surface finish variance for maximum surface contact and thermal conductivity from the LED modules to the radiating fins. Passive conduction above the LED Optics provide superior thermal management and long LED life. The optical and electrical compartments are integrated with the support arm to create one assembly. Cast and hinged driver compartment cover allows access to the drivers and wiring.

Electrical Housing w/ Integrated Arm

Heavy cast low copper aluminum (A356 alloy, <0.2% copper) assembly with integral cooling fins surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED® Optics

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED reflector. LED optics completely seal each individual emitter to meet an IP66 rating. In asymmetric distributions, a micro-reflector inside the reflector re-directs the house side emitter output towards the street side and functions as a house side shielding element. Reflectors are injection molded H12 acrylic. Each LED reflector is sealed to the PCB over an emitter and all reflectors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same size and shape. LED reflectors produce standard step/area distributions. Panels are field replaceable and field adjustable in 90° increments.

LED Driver(s)

Constant current electronic with a power factor of > 90 and a minimum operating temperature of -40°F/-40°C. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer. Held down by universal clamps to facilitate easy removal. In-line terminal blocks provide wiring between the driver and optical array. Drivers accept an input of 120-277V 50/60Hz or 347V-480V, 50/60Hz, 0-10V dimmable driver is standard. Driver has a minimum of 30V internal surge protection. Luminaires supplied with 20kV surge protector for field accessible installation.)

LED Emitters

TriA (True Amber) LED's utilize material that emits light in the amber spectral bandwidth only without the use of phosphors.

Amber LED's

TriA (True Amber) LED's utilize material that emits light in the amber spectral bandwidth only without the use of phosphors.

Finish

Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

Most Arm Filter/Electrical Housing

Replaces standard Electrical Housing. Fits standard 2 3/8" O.D. horizontal tenon. Two (2) stops with two (2) bolts each enclose the lower half of the tenon. Upper half of the tenon rests on self-centering steps that position the angle of the luminaires at 0°, +1.5°, +1.5° or +3° down from the horizontal. All hardware is stainless steel.

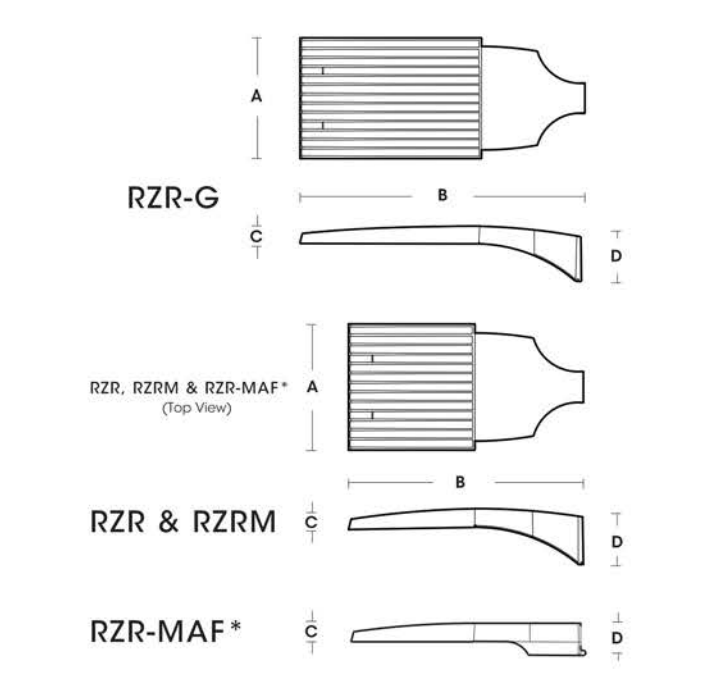
PROJECT NAME:

PROJECT TYPE:



RZR
(MODELS: R2RM, R2R, R2R-G & R2R-MAF*)

PATENT PENDING



FIXTURE	A	B	C	D
R2R-G	15"	36.5"	3"	7"
R2R	14.75"	28.25"	2.75"	6.5"
R2RM	11.5"	22"	2.5"	5.25"
R2R-MAF	15"	28.25"	2.5"	4"

UL Listed for Wet Locations

2022158

U.S. Pole Company Inc.
An Employee Owned Company

660 West Avenue G, Pompano, CA 95051
Phone (800) 333-2000 www.uspole.com

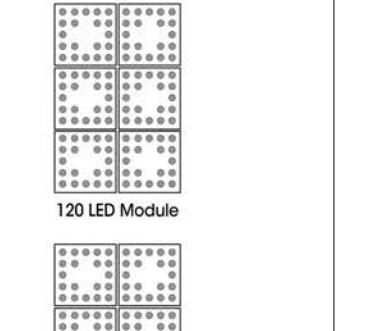
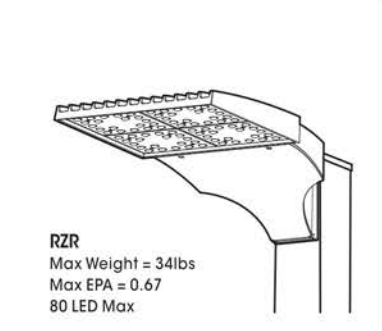
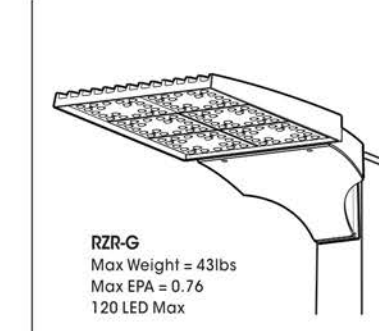
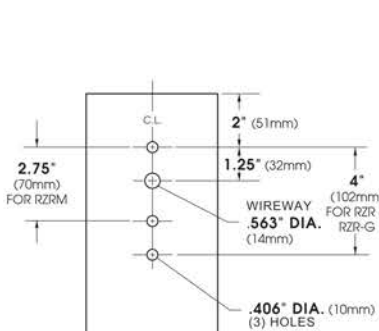
MADE IN THE USA

U.S. ARCHITECTURAL LIGHTING

RZR SERIES - LED

SPECIFICATIONS

POLE DRILLING TEMPLATE



ORDERING INFORMATION

Luminaire	Optics	LED Mode	Spec/Order Example: R2R/PLED-IV/BOLED-700mA/CW/277/RAI-401-5
Luminaire	Optics	LED	Options
<input type="checkbox"/> R2R-G	<input type="checkbox"/> PLED-IV Default Type	<input type="checkbox"/> 120LED 1000mA	<input type="checkbox"/> 120 1
<input type="checkbox"/> R2R	<input type="checkbox"/> PLED-III Type II Front Bow	<input type="checkbox"/> 80LED 700mA	<input type="checkbox"/> 208 2
<input type="checkbox"/> R2R-MAF	<input type="checkbox"/> PLED-III Type II Medium Bumper	<input type="checkbox"/> 240 700mA	<input type="checkbox"/> 240 2
<input type="checkbox"/> R2RM	<input type="checkbox"/> PLED-III Type II Wide	<input type="checkbox"/> 240 700mA	<input type="checkbox"/> 240 2

U.S. Pole Company Inc.
An Employee Owned Company

660 West Avenue G, Pompano, CA 95051
Phone (800) 333-2000 www.uspole.com

MADE IN THE USA

U.S. ARCHITECTURAL LIGHTING

Product Information

Customer Review

Product Q&A

Accessories

Recessed Vertical 1250 Series, 6 Door Mailbox, Anodized Aluminum

Florence vertical mailboxes have long been the ideal solution for small apartment homes. Constructed of corrosion resistant anodized aluminum, these recessed mounted mailboxes are the product of choice for facilities with limited wall cavity space. The top-loading units are protected from the weather. Feature 5-pin cylinder tenant cam locks with two keys (1,000 key changes) and resident name and number ID card holders. Verticals are USPS STD-4B+ approved for replacement uses. Warranty of 5 years.

Recessed Vertical 1250 Series, 6 Door Mailbox, Anodized Aluminum

Item #: 1976914168

★★★★★

Enter zip code for delivery date estimate



FOR FURTHER INFORMATION

URL: <https://www.globalindustrial.com/p/recessed-vertical-1250-series-6-door-mailbox-anodized-aluminum?ref=42>

Weights & Dimensions

Depth	6-3/8 in
Width	35-5/8 in
Mailbox Dimensions (W x D x H)	5-1/2" x 6" x 16"
Height	19-1/8 in
Weight	35 lbs

Product Details

Mounting Location	Recessed Wall Mounted
Assembly Required	Assembled
Number of Mailboxes	6
Type	Top Loading Master Access
Brand	Florence
Package Quantity	1
Series	1250
Material	Aluminum
Style	Recessed
Manufacturers Part Number	1250-6HA
Color Family	Silver

Warranty

Warranty	5 yr
----------	------

Compliance & Certifications

Certifications	USPS STD-4B+ for Replacement
----------------	------------------------------



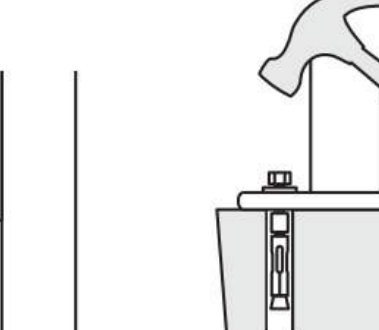
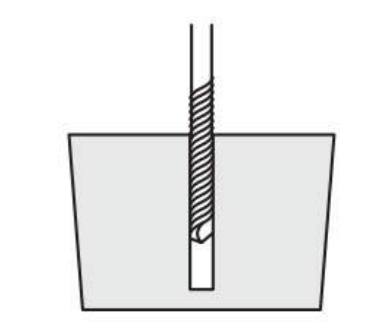
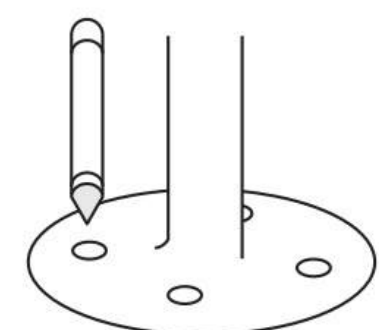
Model # CBBR-9UR-SS

Instructions Sheet

9 BIKE WAVE BIKE RACK, STAINLESS STEEL, SURFACE MOUNT

Common Tools Needed

Tape Measure
Marker, Pencil, or Chalk
Masonry drill Bits 3/8" & 3/16"
Hammer Drill or Regular Drill
Wrench 9/16"



Step 1

Choose your desired location for the bike rack. The rack site is recommended to be within 50 feet, not exceeding 120 feet, or a 30 second walk from the entrance of your building. Make sure it is highly visible.

Then use a marker, chalk, or pencil to outline the holes of the flange onto the base material.

Step 2

Create starter pilot holes, it will help prevent the hammer drill from drifting. If using a hammer drill, set the depth setting to 3-5/8". Then drill hole that has a 3/8" diameter (and depth of 3-5/8")

Step 3

Secure the rack. Use a hammer to set anchors in place. Carefully set the bike rack over the newly drilled holes and place washers over the flanges and secure bolts. Use a 3/4" wrench to tighten bolts.

If installing numerous racks, make sure the aisles are measured from tip to tip of the bike tires across the space between the racks. The APBP defines the minimum space between aisles should be 48 inches (4 feet), and in high traffic areas a minimum 72 inches (6 feet) is needed.

www.belson.com

PA22-0929, PA22-0930, PA22-0931
SUBMITTAL #5



OM DEVELOPMENT AND CONSTRUCTION

Consultant

Walter R. Allen
Architect + Associates

License Number: C24288

APN: 922-100-048

BLOCK NUMBER: M.B. 15/78 LOT #2 BLOCK 32

SPECIFICATION SHEET

Date: 9/1/2023

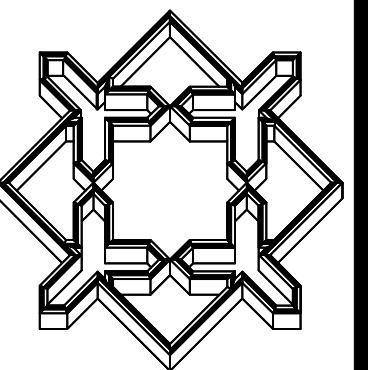
Scale:

SHEET NUMBER

E1.2

REVISÉD

ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
California license #2017
CREATION FACILITIES PLANNING
41635 Enterprise Circle North, Suite C
Culver City, CA 92590 (951) 296-6802 FAX 296-6801



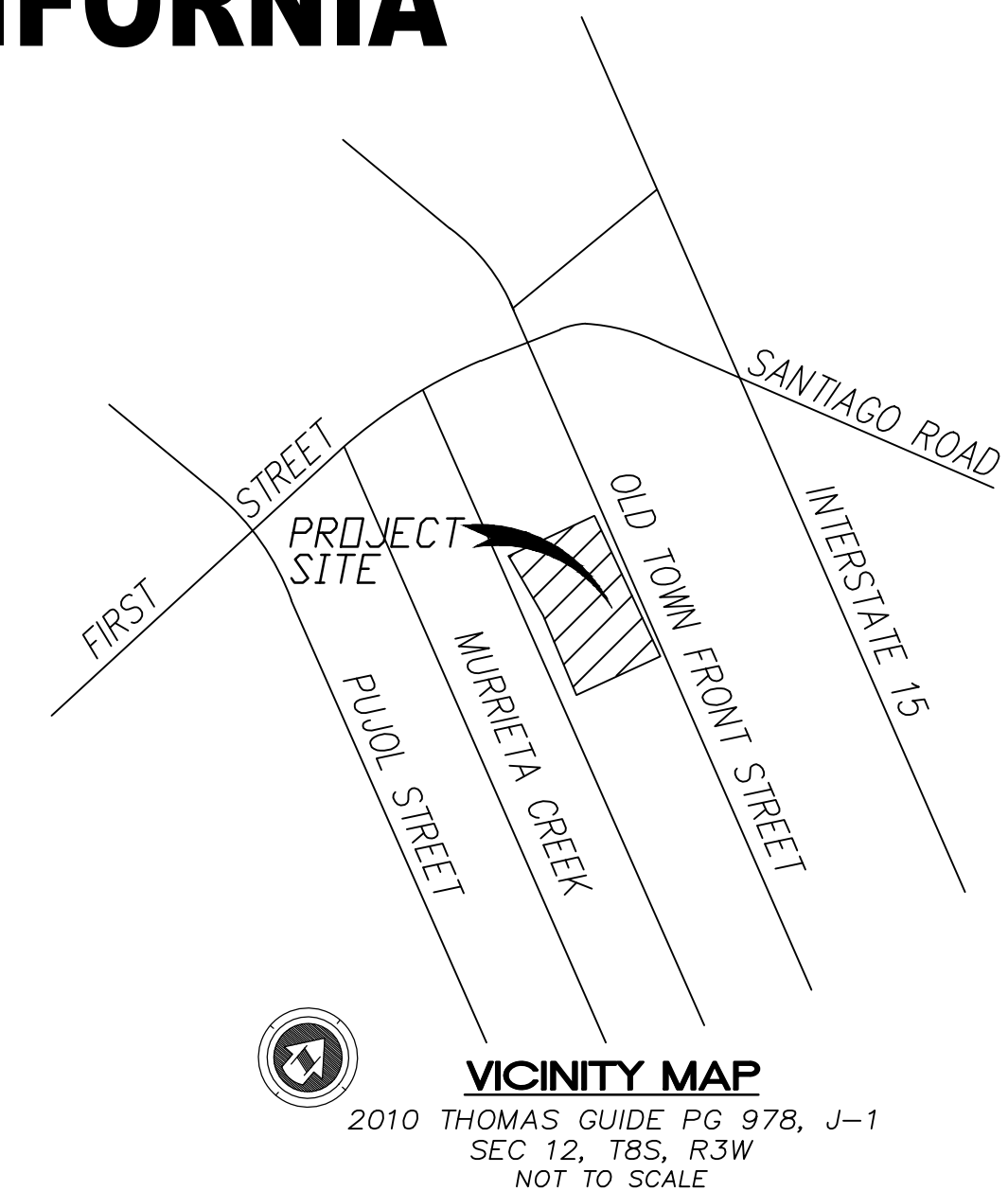
OLD TOWN FRONT STREET HOTEL
OM RESIDENTIAL REAL ESTATE, LLC
11606 HARRINGTON STREET, BAKERSFIELD, CA. 93311-9273

PROJECT:

OWNER:

drawn: V.D.
checked: V.D.
date: 5-22-23
SHEET **L-1**
of 1 sheets
JOB NO.
22-116

PRINT DATE 05-22-23 DEVELOPMENT PLAN SUBMITTAL #3



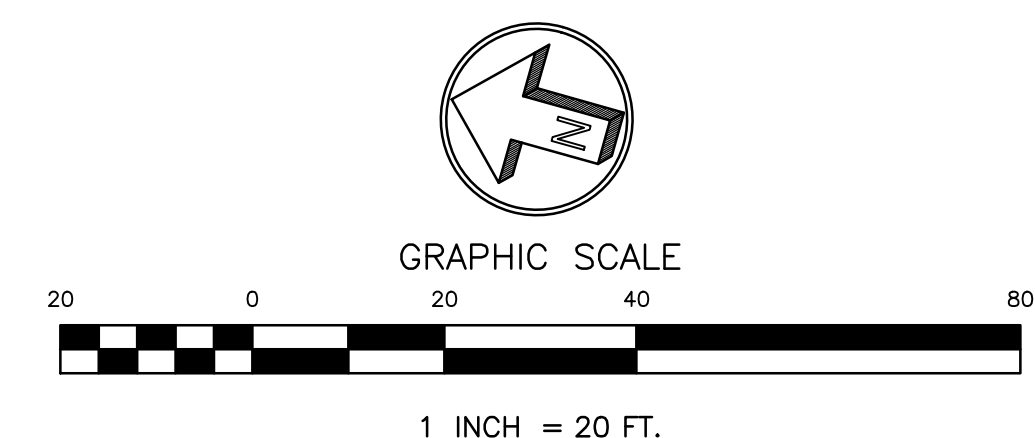
PROJECT DATA:

- 1.) ASSESSOR'S PARCEL NO.: 922-100-048
- 2.) PROJECT NAME: OLD TOWN FRONT STREET HOTEL
- 3.) LEGAL DESCRIPTION: LOT 2 IN BLOCK 32 OF THE TOWN OF TEMECULA, AS SHOWN BY MAP ON FILE IN BOOK 15 PAGE 726, OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA;

EXCEPTING THEREFROM THAT PORTION CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY A FINAL ORDER OF CONDEMNATION RECORDED APRIL 3, 2009 AS INSTRUMENT NO. 09-163110 AND JULY 29, 2010 AS INSTRUMENT NO. 10-355371, BOTH OF OFFICIAL RECORDS.
- 4.) ZONING DESIGNATION: (DOWNTOWN CORE DISTRICT)
GENERAL PLAN: SC (SERVICE COMMERCIAL)
SPECIFIC PLAN AREA: SP-5
EXISTING LAND USE/PROPOSED LAND USE: VACANT / HOTEL
- 5.) SOURCE OF TOPOGRAPHY: SPIRO LAND SURVEYING DATED OCTOBER 09, 2018.
- 6.) THIS PROPERTY IS WITHIN FEMA MAP 06065C3285G, AND IS NOT WITHIN A FEMA FLOODPLAIN OR FLOODWAY.
- 7.) TOTAL GROSS AREA: 42,519 S.F. 0.97 ACRES
TOTAL NET AREA: 42,519 S.F. 0.97 ACRES
TOTAL BUILDING AREA: 4.21
- 8.) PARKING: 47 STANDARD SPACES
3 ADA SPACES
- 9.) LANDSCAPING IS PROPOSED IN THE CITY RIGHT-OF-WAY, CITY RIGHT-OF-WAY LANDSCAPING WILL BE MAINTAINED BY THE PROPERTY OWNER.
- 10.) GROSS AND DISTURBED ACREAGE: 6.09 AC

NOTES:

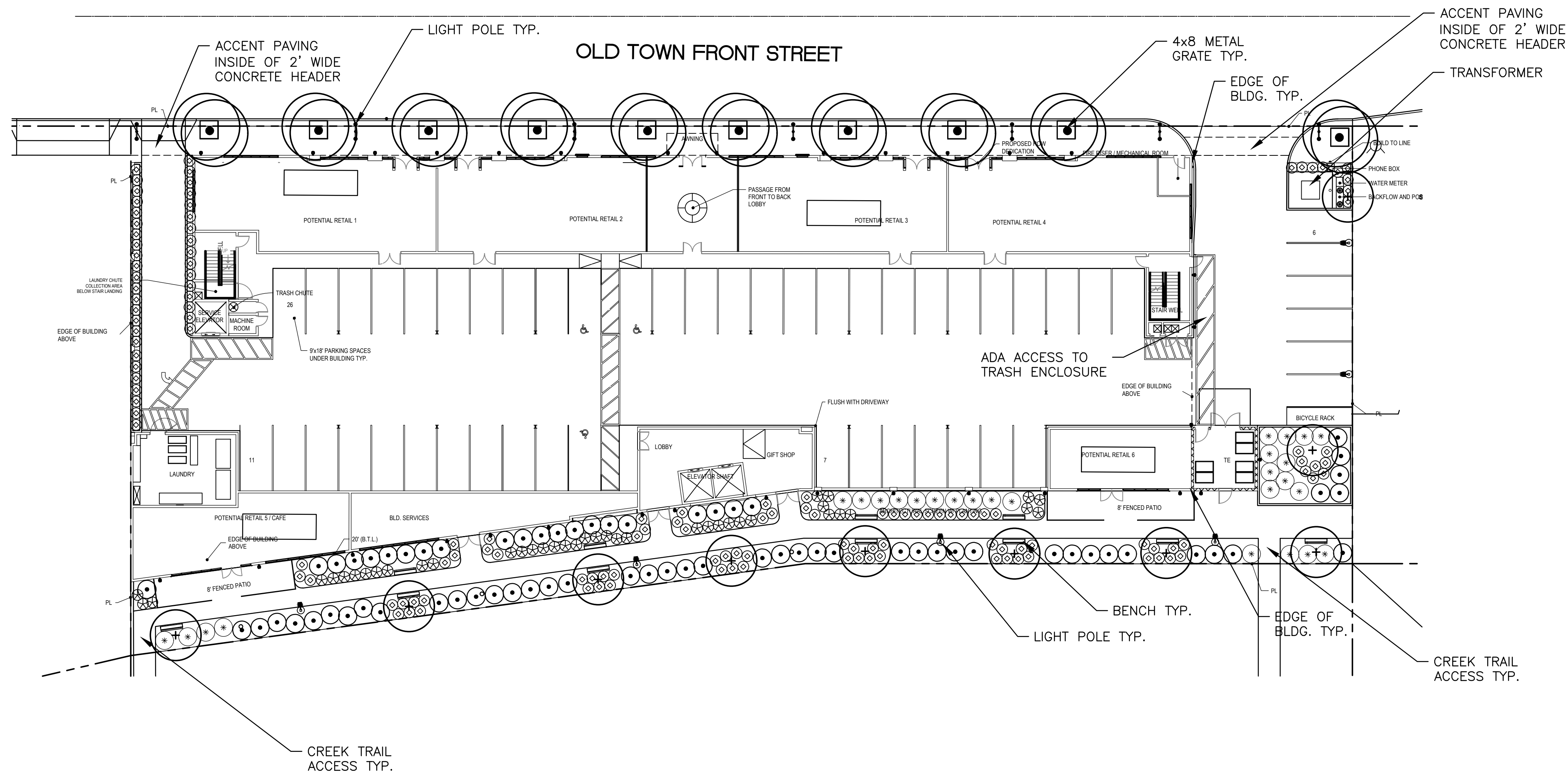
1. ALL PLANTING AND IRRIGATION SHALL CONFORM TO THE CITY OF TEMECULA WATER EFFICIENCY ORDINANCE 17.32.
2. A DRIP IRRIGATION SYSTEM SHALL BE UTILIZED FOR THIS PROJECT PER THE CITY OF TEMECULA'S WATER CONSERVATION ORDINANCE. NO SPRAY IRRIGATION SHALL BE USED.
3. ALL MATURE PLANTING SHALL NOT INTERFERE WITH UTILITY LINES OR TRAFFIC SITE LINES.
4. ALL UTILITIES SHALL BE SCREENED W/ PLANTING TYP.
5. CITY OF TEMECULA PLANNING DEPT. SHALL BE CALLED PRIOR TO ANY INSTALLATION IN ORDER TO SCHEDULE REQUIRED LANDSCAPE INSPECTIONS.
6. TREES & SHRUBS SHALL BE PLACED A MINIMUM OF 5' AWAY FROM WATER METER, GAS METER, OR SEWER LATERALS; A MINIMUM OF 10' AWAY FROM UTILITY POLES; & A MINIMUM OF 8' AWAY FROM FIRE HYDRANTS & FIRE DEPARTMENT SPRINKLER & STANDPIPE CONNECTIONS.



PA22-0929, PA22-0930, PA22-0931 SUBMITTAL #3

PRELIMINARY PLANTING PLAN







APN # 922-100-048 PA22-0929/0930/0931



SITE CALCULATIONS

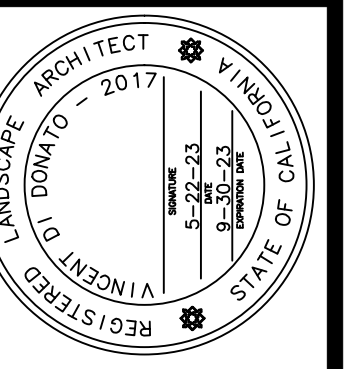
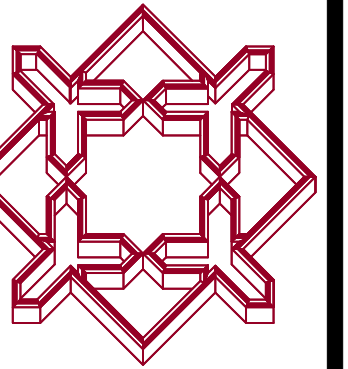
SITE AREA	42,519 SQ. FT.	0.976 NET ACRES
TOTAL LANDSCAPE AREA	4,684 SQ. FT.	11% OF TOTAL SITE
LANDSCAPE AREA IN R.O.W.	320 SQ. FT.	

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WUCOL IV
	TREES					
	CHITALPA TASHKENTENSIS	PINK FLOWERING CHITALPA	24" BOX	10	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX	10	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	M
	SHRUBS					
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	MORNING LIGHT WESTRINGIA	5 GAL	134	FULL & BUSHY @ 3' O.C.	L
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN CLOUD TEXAS SAGE	1 GAL	67	FULL & BUSHY @ 5' O.C.	L
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	40	FULL & BUSHY @ 3' O.C.	L
	WESTRINGIA FRUTICOSA 'MUNDI'	PROSTRATE WESTRINGIA	1 GAL	28	FULL & SPREADING @ 5' O.C.	L
	MULCH:					
NOT SHOWN	FOREST BLEND WOOD MULCH	SHREDDED WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP-TO ALL PLANTING AREAS TYP.	

REVISÉD

ACTIVITIES
LANDSCAPE ARCHITECTURE
California license #2017
RECREATION FACILITIES PLANNING
41635 Enterprise Circle North, Suite C
San Jose, CA 95150 (951) 296-6802 FAX 296-6802

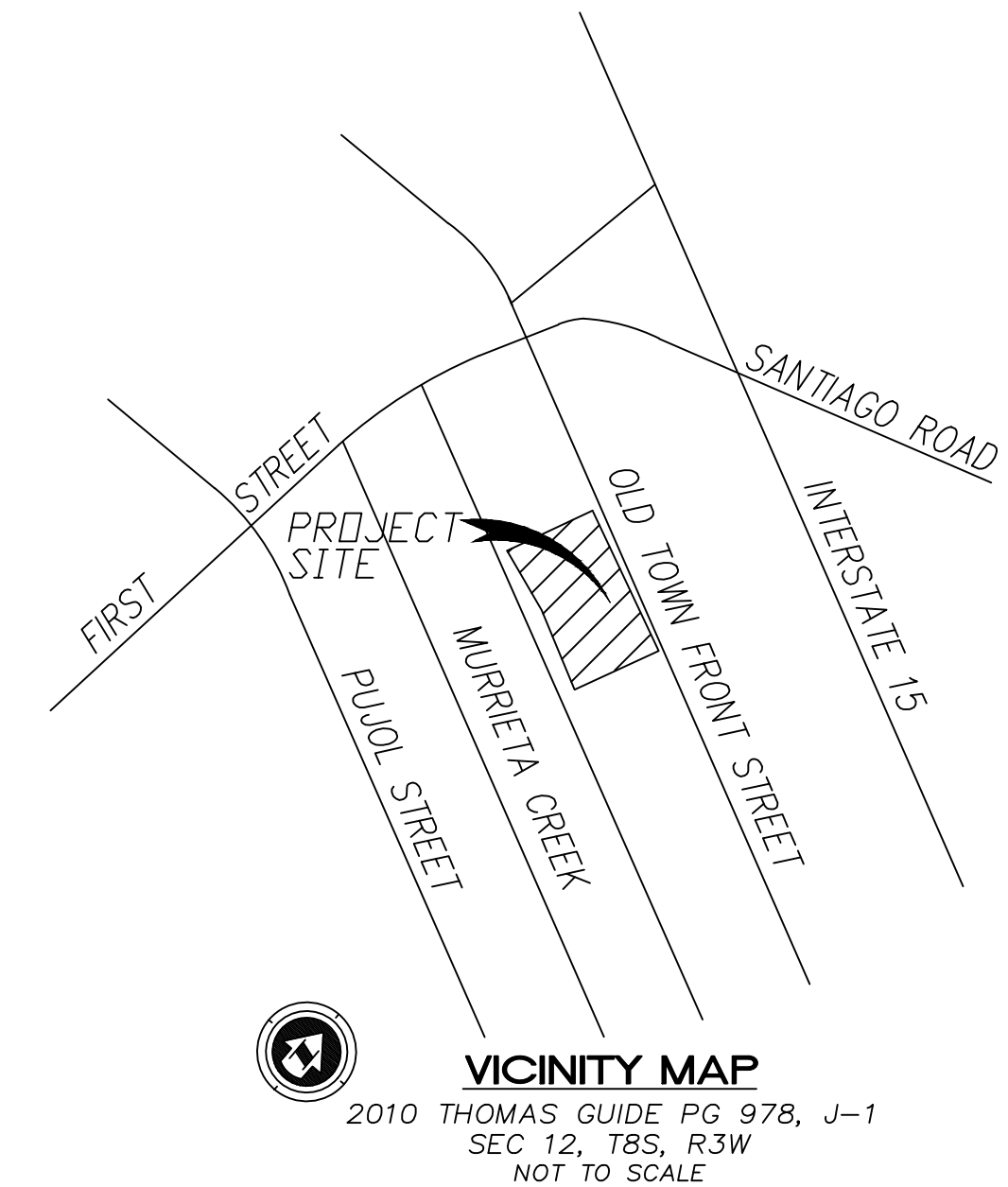
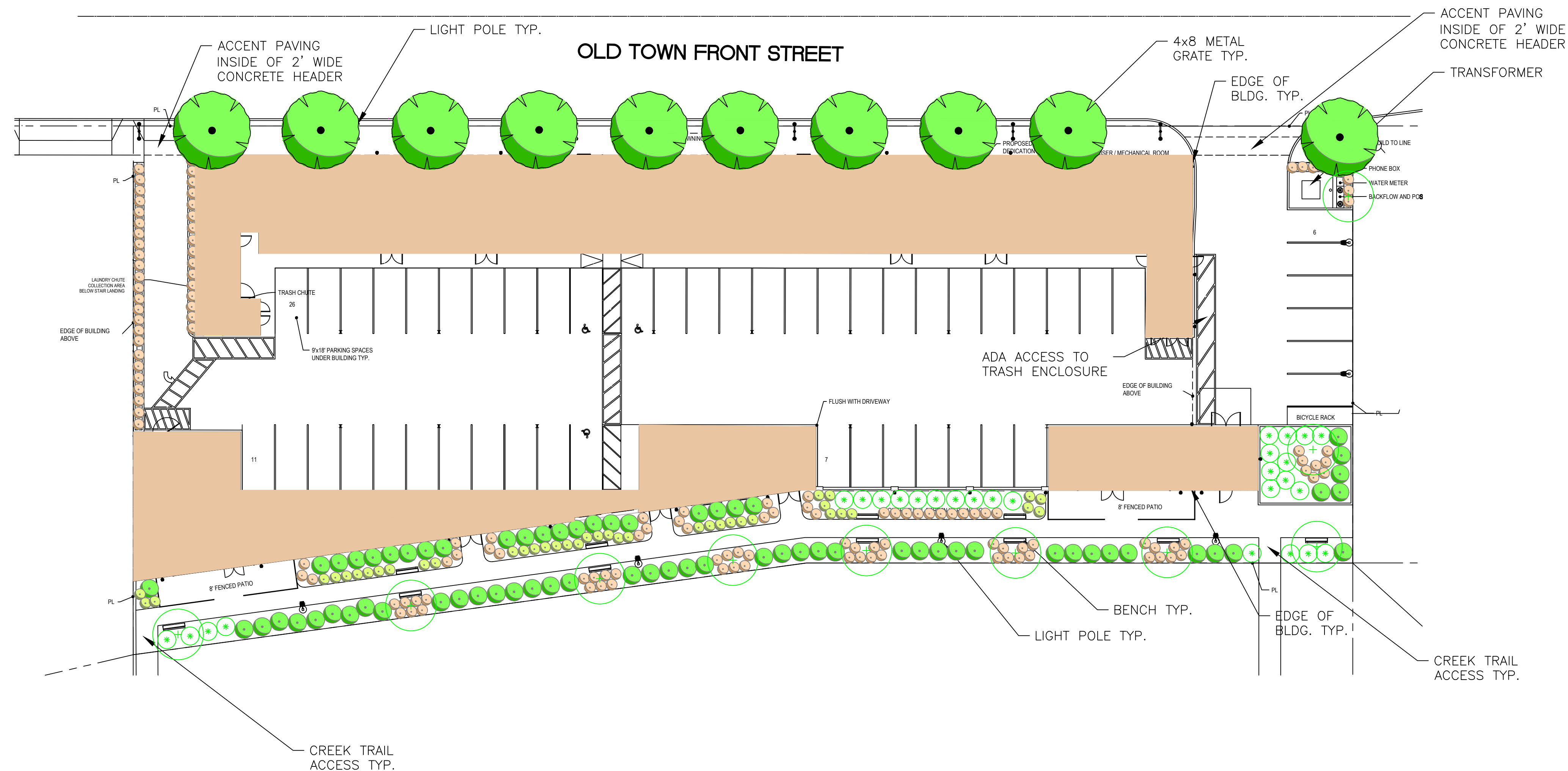


OLD TOWN FRONT STREET HOTEL
 OM RESIDENTIAL REAL ESTATE, LLC
 11606 HARRINGTON STREET, BAKERSFIELD, CA. 93311-9273

OWNER:

awn: V.D.
 ecked: V.D.
 te: 5-22-23
 SHEET
L-1
 1 sheets
 OB NO.
 22-116







PRINT DATE 05-22-23 DEVELOPMENT PLAN SUBMITTAL #3



SITE CALCULATIONS

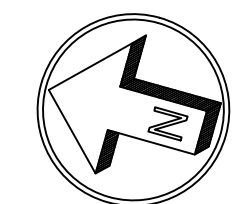
SITE AREA	42,519 SQ. FT.	0.976 NET ACRES
TOTAL LANDSCAPE AREA	4,684 SQ. FT.	11% OF TOTAL SITE
LANDSCAPE AREA IN R.O.W.	320 SQ. FT.	

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WUCOL IV
	TREES					
	CHITALPA TASHKENTENSIS	PINK FLOWERING CHITALPA	24" BOX	10	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX	10	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	M
	SHRUBS					
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	MORNING LIGHT WESTRINGIA	5 GAL	134	FULL & BUSHY @ 3' O.C.	L
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN CLOUD TEXAS SAGE	1 GAL	67	FULL & BUSHY @ 5' O.C.	L
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	40	FULL & BUSHY @ 3' O.C.	L
	WESTRINGIA FRUTICOSA 'MUNDI'	PROSTRATE WESTRINGIA	1 GAL	28	FULL & SPREADING @ 5' O.C.	L
	MULCH:					
NOT SHOWN	FOREST BLEND WOOD MULCH	SHREDDED WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP-TO ALL PLANTING AREAS TYP.	

NOTES:

1. ALL PLANTING AND IRRIGATION SHALL CONFORM TO THE CITY OF TEMECULA WATER EFFICIENCY ORDINANCE 17.32.
2. A DRIP IRRIGATION SYSTEM SHALL BE UTILIZED FOR THIS PROJECT PER THE CITY OF TEMECULA'S WATER CONSERVATION ORDINANCE. NO SPRAY IRRIGATION SHALL BE USED.
3. ALL MATURE PLANTING SHALL NOT INTERFERE WITH UTILITY LINES OR TRAFFIC SITE LINES.
4. ALL UTILITIES SHALL BE SCREENED W/ PLANTING TYP.
5. CITY OF TEMECULA PLANNING DEPT. SHALL BE CALLED PRIOR TO ANY INSTALLATION IN ORDER TO SCHEDULE REQUIRED LANDSCAPE INSPECTIONS.
6. TREES & SHRUBS SHALL BE PLACED A MINIMUM OF 5' AWAY FROM WATER METER, GAS METER, OR SEWER LATERALS; A MINIMUM OF 10' AWAY FROM UTILITY POLES; & A MINIMUM OF 8' AWAY FROM FIRE HYDRANTS & FIRE DEPARTMENT SPRINKLER & STANDPIPE CONNECTIONS.



GRAPHIC SCALE

20 0 20 40 80

1 INCH = 20 FT.

PA22-0929, PA22-0930, PA22-0931 SUBMITTAL #4

COLOR CONCEPT PLAN

APN # 922-100-048 PA22-0929/0930/0931

ALL IDEAS, DESIGNS, & ARRANGEMENTS REPRESENTED HEREON ARE THE PROPERTY OF ALHAMBRA GROUP LANDSCAPE ARCHITECTS & SHALL BE USED FOR THIS PROJECT ONLY EXCEPT WITH THE WRITTEN PERMISSION OF SAID ARCHITECTS. ANY CHANGE MADE BY PARTIES OTHER THAN SAID ARCHITECTS SHALL RELIEVE ARCHITECTS OF RESPONSIBILITY FOR THE FACILITY OR AFFECTED PORTION THEREOF. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK & SHALL REPORT ANY DISCREPANCY TO THE ARCHITECT.