

CONSULTANT

PROFESSIONAL SEALS

PROJECT NAME

MS MOUNTAIN VIEW PARK

42673

AVENIDA ALVARADO
CITY OF TEMECULA,
CALIFORNIA

OWNER

MS-MOUNTAIN VIEW LLC
C/O SILAGI DEVELOPMENT &
MANAGEMENT, INC.101 HODENCAMP ROAD, SUITE 200
THOUSAND OAKS, CA 91360
PHONE: 805-494-7704

i2	1/18/2022	PLANNING SUBMITTAL 02
v1	5/20/2022	PLANNING SUBMITTAL 01
MARK	DATE	DESCRIPTION

RGD PROJECT NO.	19073.00
OWNER PROJECT NO.	-
DRAWN BY:	C.P.
CHECKD BY:	M.G.

COPYRIGHT
RGA, OFFICE OF ARCHITECTURAL DESIGN

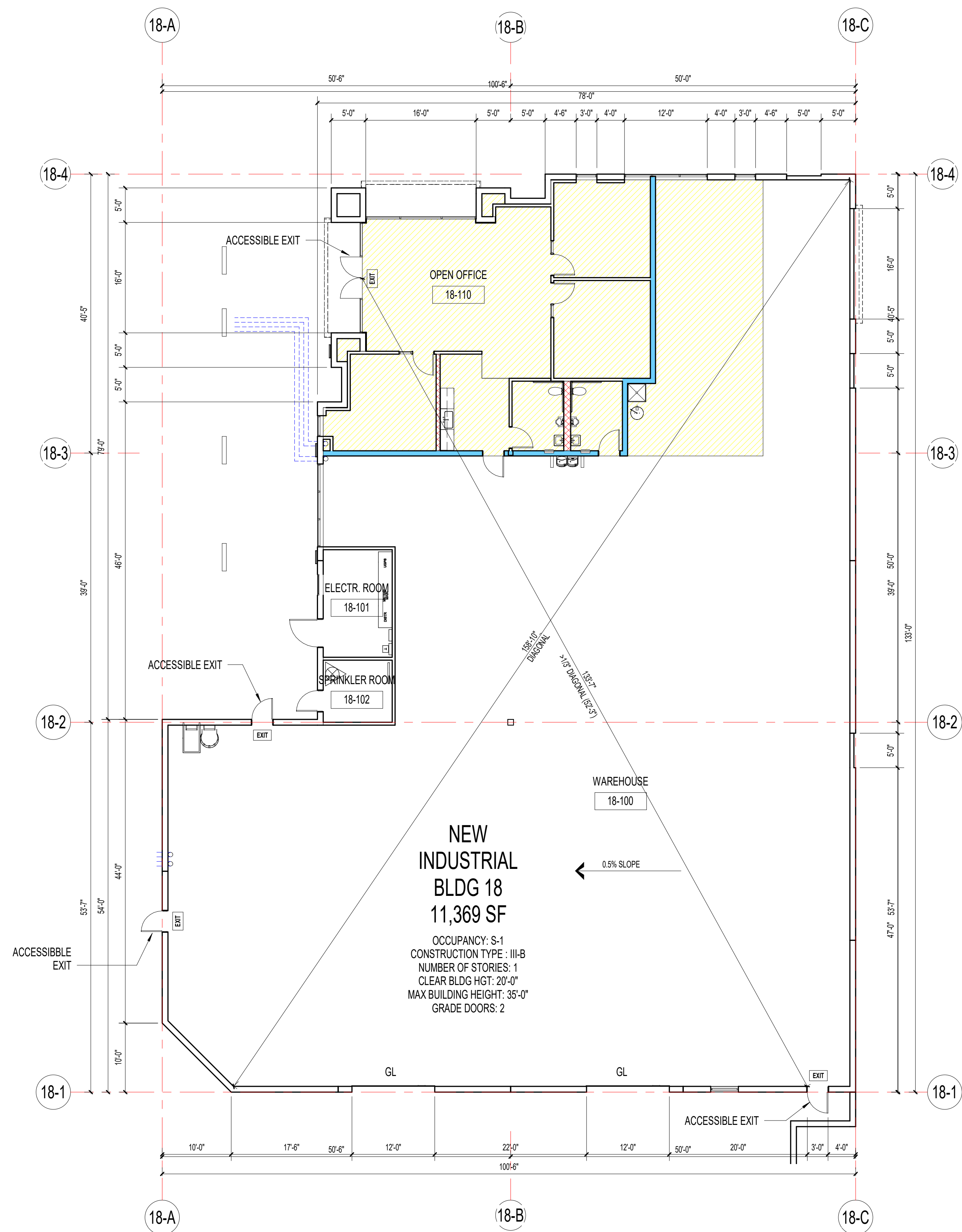
SHEET TITLE:

FLOOR PLAN AND ROOF PLAN

APN# 909-290-014
PA22-0594

SHEET:

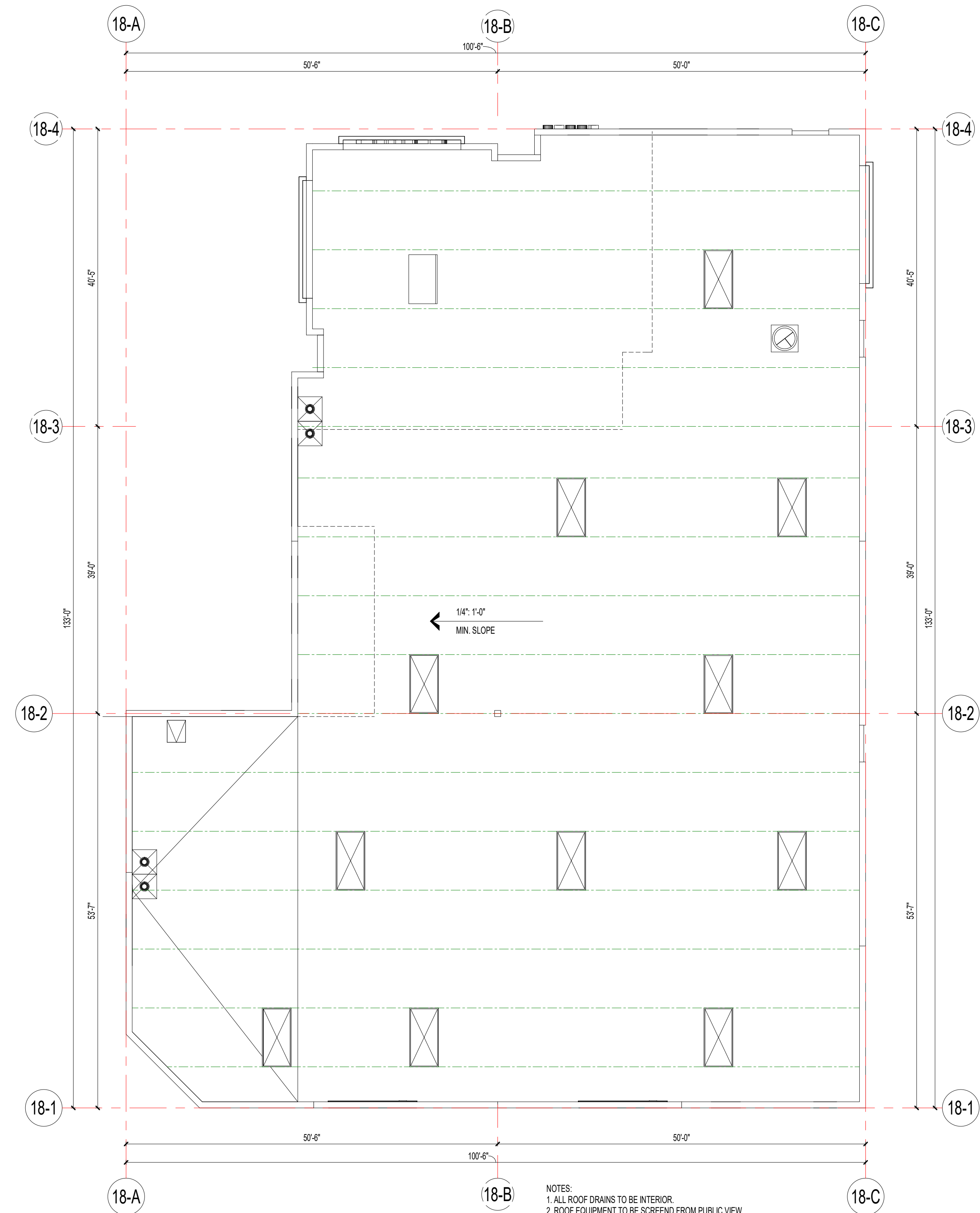
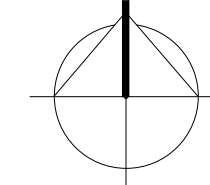
18-A2-1P

1 FLOOR PLAN
1" = 10'-0"

1"=10'

0 5' 10' 20'

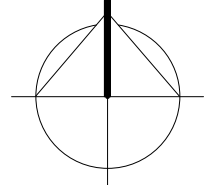
50'

2 ROOF PLAN
1" = 10'-0"

1"=10'

0 5' 10' 20'

50'

NOTES:
1. ALL ROOF DRAINS TO BE INTERIOR.
2. ROOF EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.

MS MOUNTAIN VIEW PARK

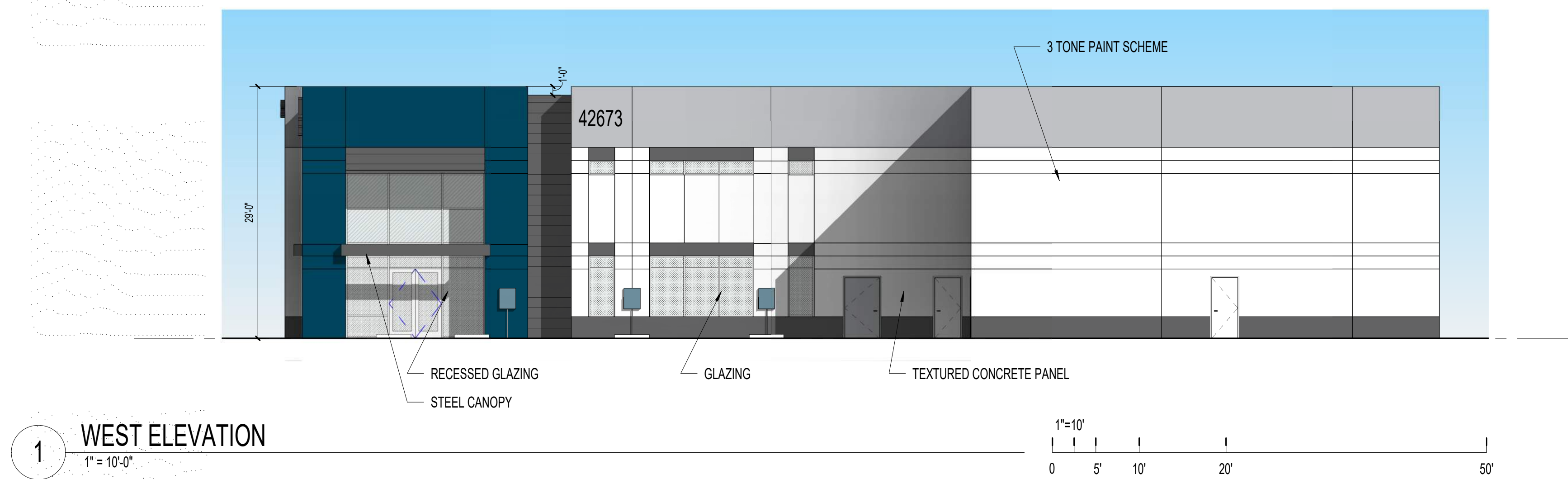
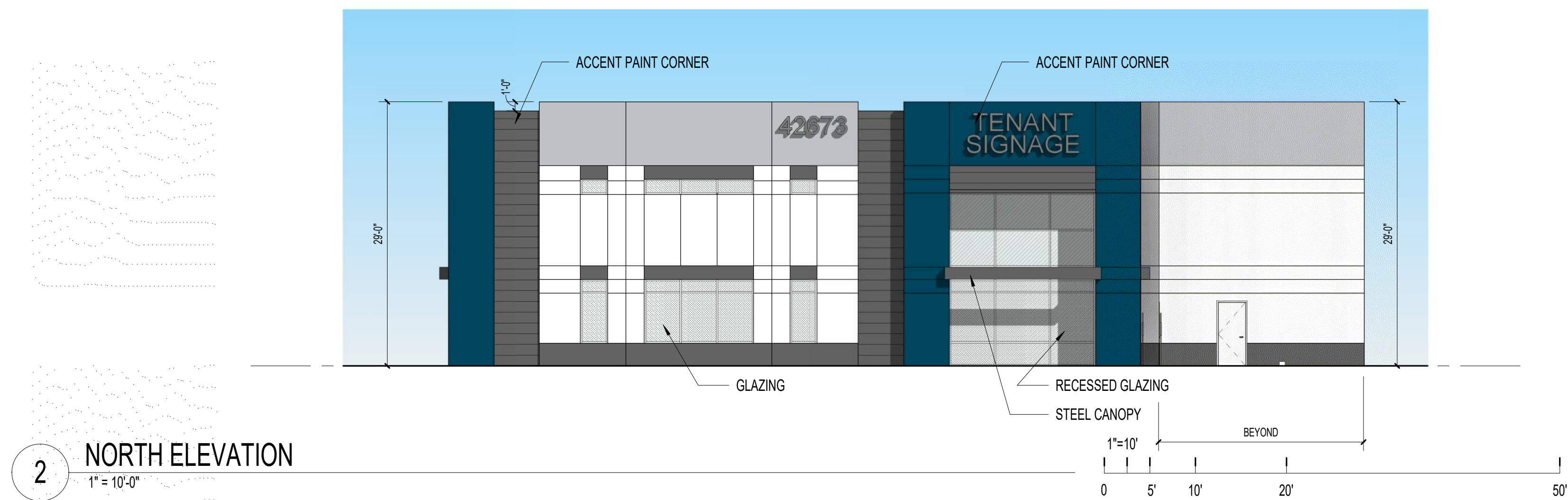
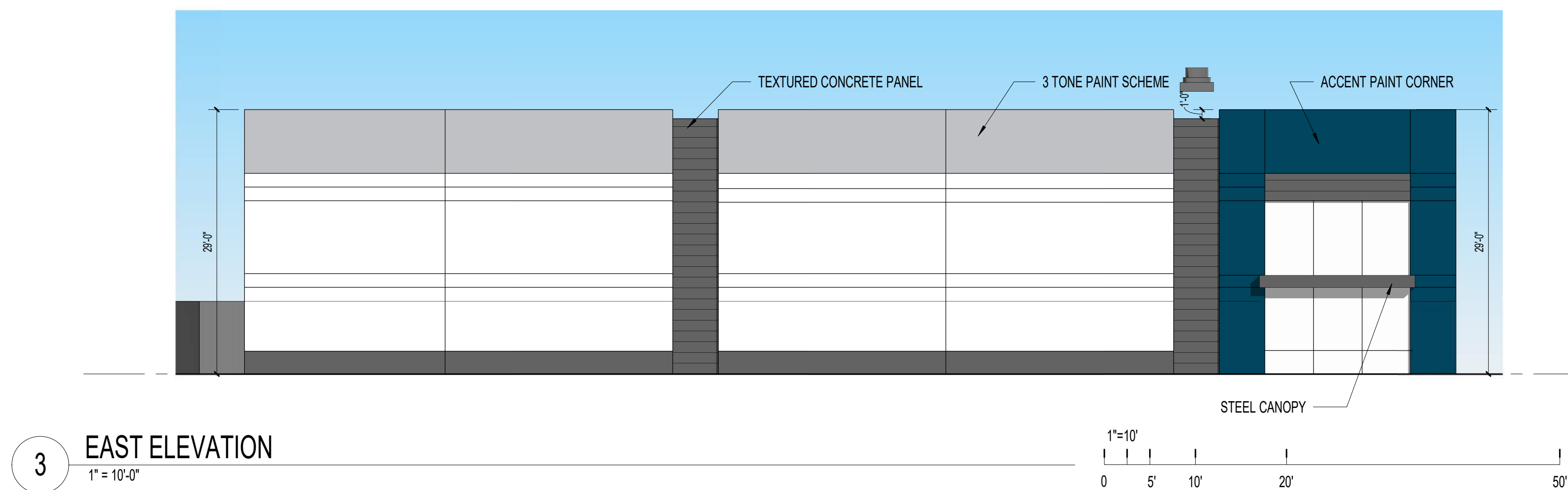
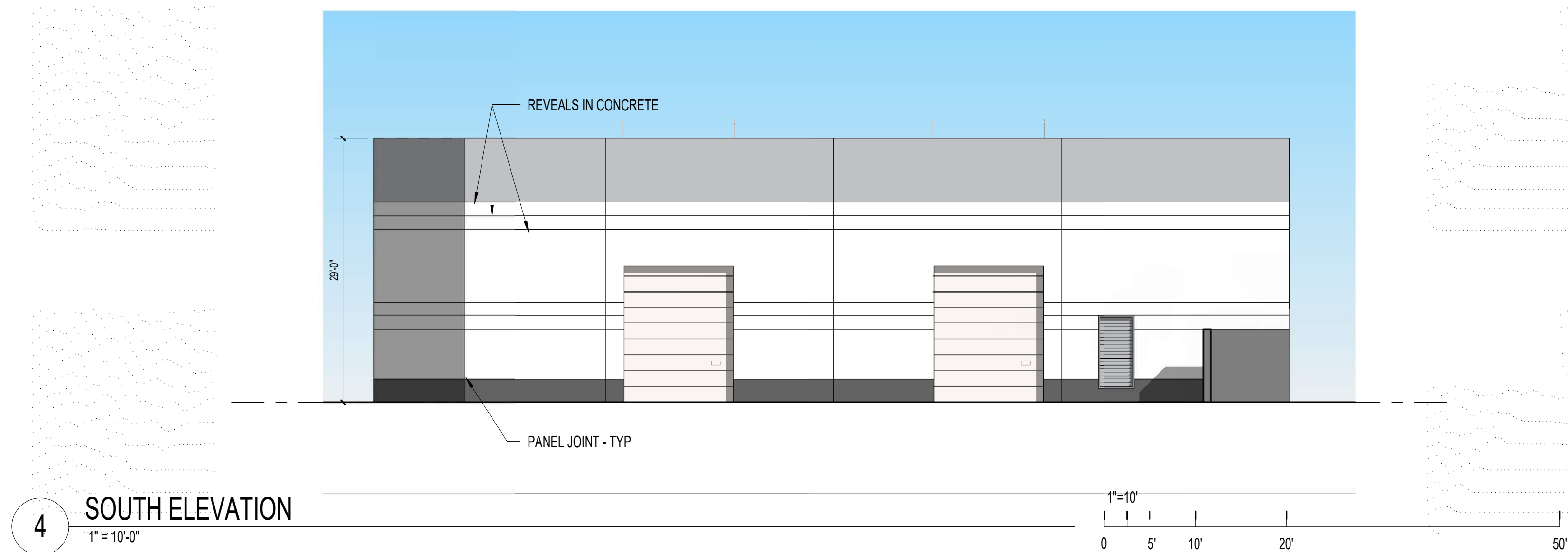
42673
AVENIDA ALVARADO
CITY OF TEMECULA,
CALIFORNIAMS-MOUNTAIN VIEW LLC
C/O SILAGI DEVELOPMENT &
MANAGEMENT, INC.101 HODENCAMP ROAD, SUITE 200
THOUSAND OAKS, CA 91360
PHONE: 805-494-7704

i2	1/18/2022	PLANNING SUBMITTAL 02
v1	5/20/2022	PLANNING SUBMITTAL 01
MARK	DATE	DESCRIPTION

RGA PROJECT NO.: 19073.00
OWNER PROJECT NO.:
DRAWN BY: C.P.
CHECK BY: M.G.COPYRIGHT
RGA, OFFICE OF ARCHITECTURAL DESIGN

SHEET TITLE:

ELEVATIONS

1 WEST ELEVATION
1" = 10'-0"2 NORTH ELEVATION
1" = 10'-0"3 EAST ELEVATION
1" = 10'-0"4 SOUTH ELEVATION
1" = 10'-0"

GENERAL NOTES

- ALL ROOFTOP MECHANICAL UNITS WILL BE SCREENED FROM VIEW BY THE PARAPET WALLS.
- REFER TO LANDSCAPE DWGS FOR EXACT SPECIES AND PLANT LOCATION.
- MAIN DOORS TO MATCH ADJACENT WALL PAINT SCHEME.

FINISH SCHEDULE

1. FIELD COLOR	SW7083 NEBULOUSE WHITE
2. ACCENT COLOR	SW7086 GRAY MATTERS
3A. ACCENT CORNER COLOR	SW6230 RAIN STORM
3B. ACCENT CORNER COLOR	SW6442 ROBBINSWAY
3C. ACCENT CORNER COLOR	SW6223 CORDBURN
4. BASE ACCENT COLOR	SW2840 WESTCHESTER GRAY
5. GLAZING	PPG VISTACOOL PACIFICA

CONSULTANT

PROFESSIONAL SEALS

PROJECT NAME

MS MOUNTAIN VIEW PARK
42673
AVENIDA ALVARADO
CITY OF TEMECULA,
CALIFORNIA



OWNER

MS-MOUNTAIN VIEW LLC
C/O SILAGI DEVELOPMENT &
MANAGEMENT, INC.

101 HODENCAMP ROAD, SUITE 200
THOUSAND OAKS, CA 91360
PHONE: 805-494-7704

i2	11/8/2022	PLANNING SUBMITTAL 02
v1	5/20/2022	PLANNING SUBMITTAL 01
MARK	DATE	DESCRIPTION

RGD PROJECT NO:	19073.00
OWNER PROJECT NO:	-
DRAWN BY:	C.P.
CHECK'D BY:	M.G.

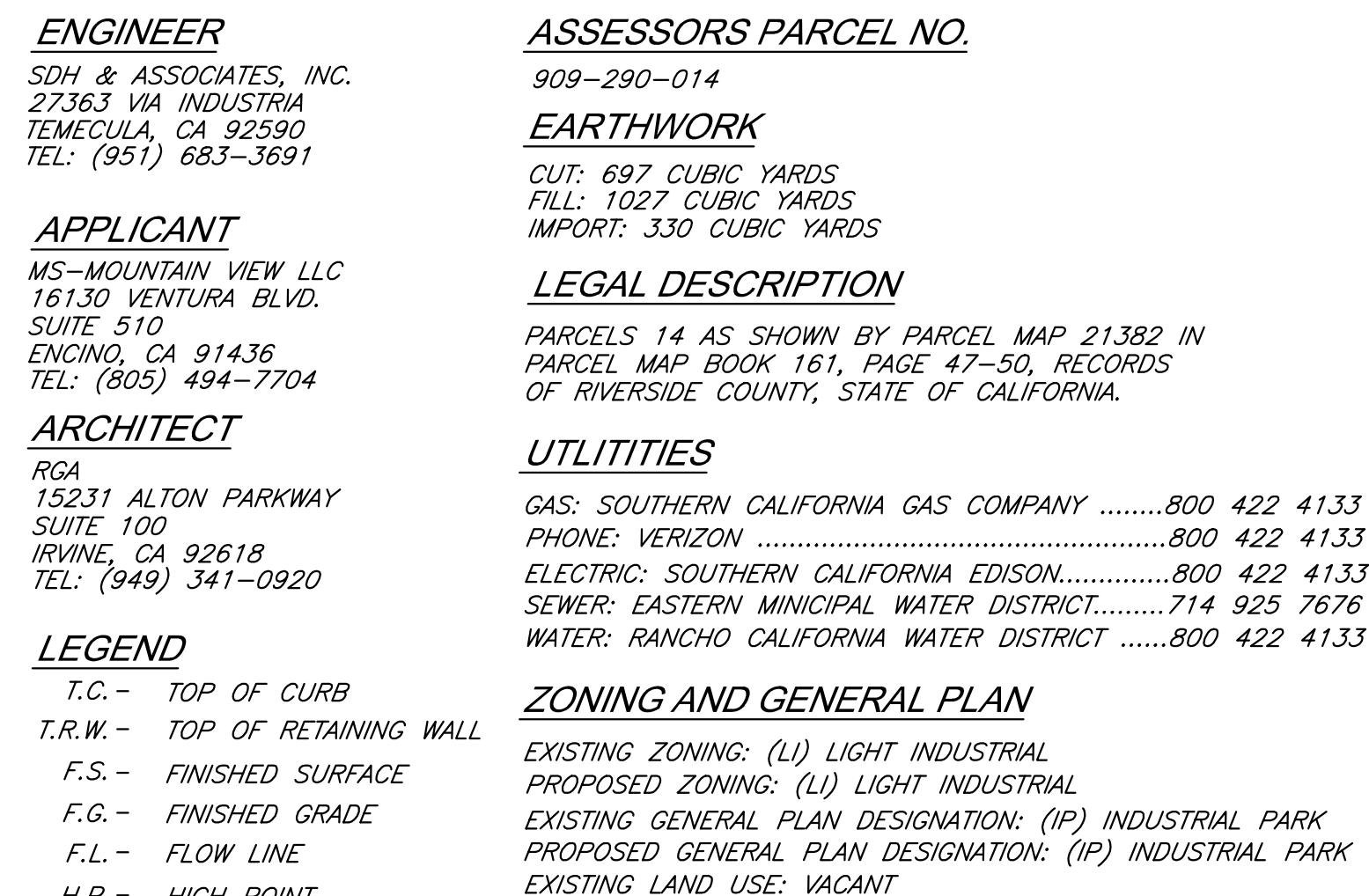
COPYRIGHT
RGA, OFFICE OF ARCHITECTURAL DESIGN

SHEET TITLE:

PERSPECTIVE VIEW



1 PERSPECTIVE VIEW

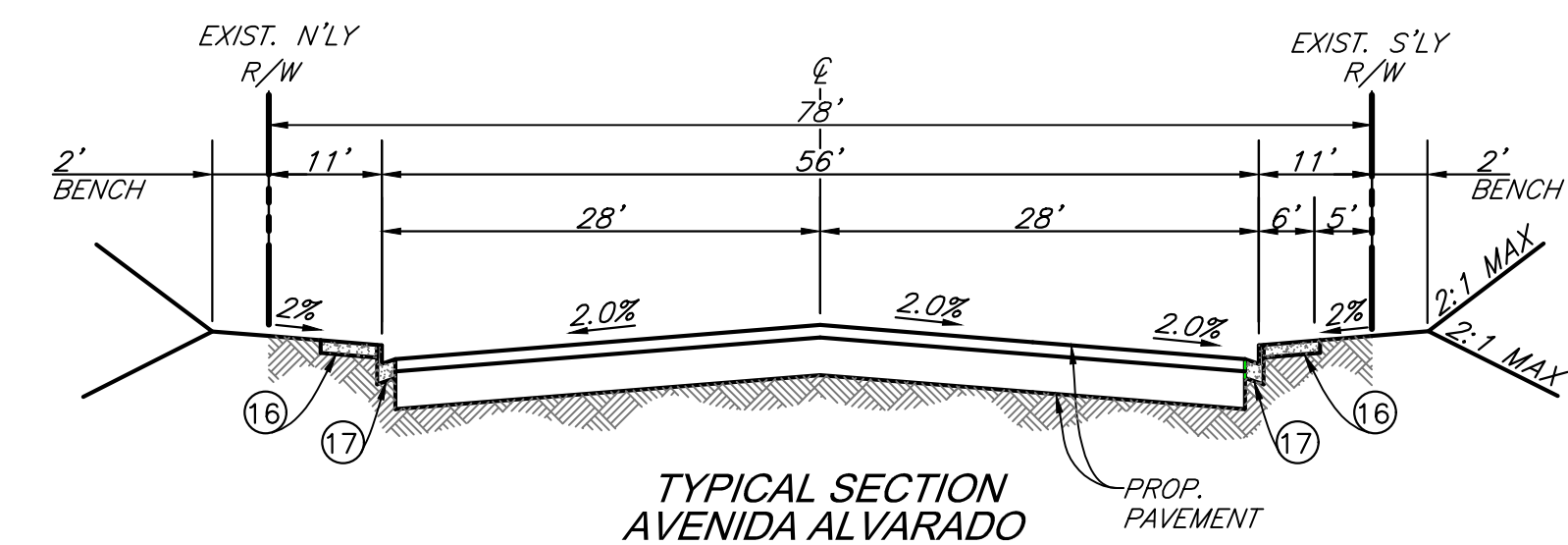


- ① CONSTRUCT 3' A.C. OVER 8" A.B. PAVING
- ② CONSTRUCT 7" THICK CONCRETE OVER NATIVE
- ③ CONSTRUCT 4" PCC CONC. PER ARCH. PLANS
- ④ CONSTRUCT COMMERCIAL DWY APPROACH PER CITY STD. 207A
- ⑤ CONSTRUCT 6" CURB ONLY PER CITY STD. 204A
- ⑥ CONSTRUCT 6" CURB AND GUTTER PER CITY STD. 200
- ⑦ CONSTRUCT HANDICAP ACCESS RAMP PER ARCH PLANS
- ⑧ CONSTRUCT HDPE STORM DRAIN
- ⑨ CONSTRUCT 24"x24" CATCH BASIN W/ TRAFFIC GRATE
(INLET TO INCLUDE STENCILING "ONLY RAIN DOWN THE
STORM DRAIN")
- ⑩ CONSTRUCT LANDSCAPE DRAIN W/ ATRIUM GRATE
- ⑪ CONSTRUCT DECORATIVE PAVING PER ARCH PLANS
- ⑫ CONSTRUCT STORM DRAIN CLEANOUT
- ⑬ CONSTRUCT 3' WIDE RIBBON GUTTER
- ⑭ CONSTRUCT BACKFLOW/FDC PER SEPARATE PERMIT
- ⑮ CONSTRUCT RETAINING WALL PER SEPARATE PERMIT (MAX HEIGHT = 10.16')
- ⑯ CONSTRUCT PUBLIC SIDEWALK PER STREET IMP. PLANS
AND CITY STD. 401
- ⑰ CONSTRUCT PUBLIC CURB & GUTTER PER STREET IMP. PLANS
AND CITY STD. 201
- ⑱ CONSTRUCT FIRE WATER PER SEPARATE PERMIT
- ⑲ CONSTRUCT TRENCH DRAIN WITH TRAFFIC RATED GRATE
- ⑳ CONSTRUCT 3' CONCRETE V DITCH

WATER QUALITY & HYDROMODIFICATION
MANAGEMENT PLAN NOTES

- 1) THE WATER QUALITY AND HYDROMODIFICATION BASINS IS CONSTRUCTED TO THE LATEST REQUIREMENTS OF THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD, SANTA MARGARITA WATERSHED, AS ADMINISTERED BY THE CITY OF TEMECULA.
- 2) WATER QUALITY AND HYDROMODIFICATION MANAGEMENT BASIN LOTS SHALL BE RETAINED BY THE HOA.
- 3) WATER QUALITY AND HYDROMODIFICATION BASIN IS AS FOLLOWS:

<i>BASIN ID</i>	<i>BENEFITING</i>
<i>BASIN 2 LOT 10</i>	<i>PARCELS 11-14, 49-52 OF PARCEL MAP 21382</i>

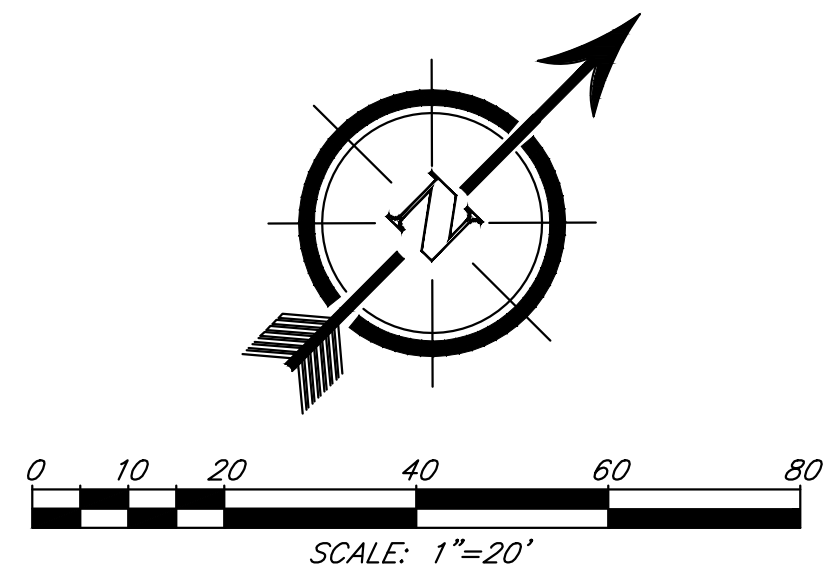


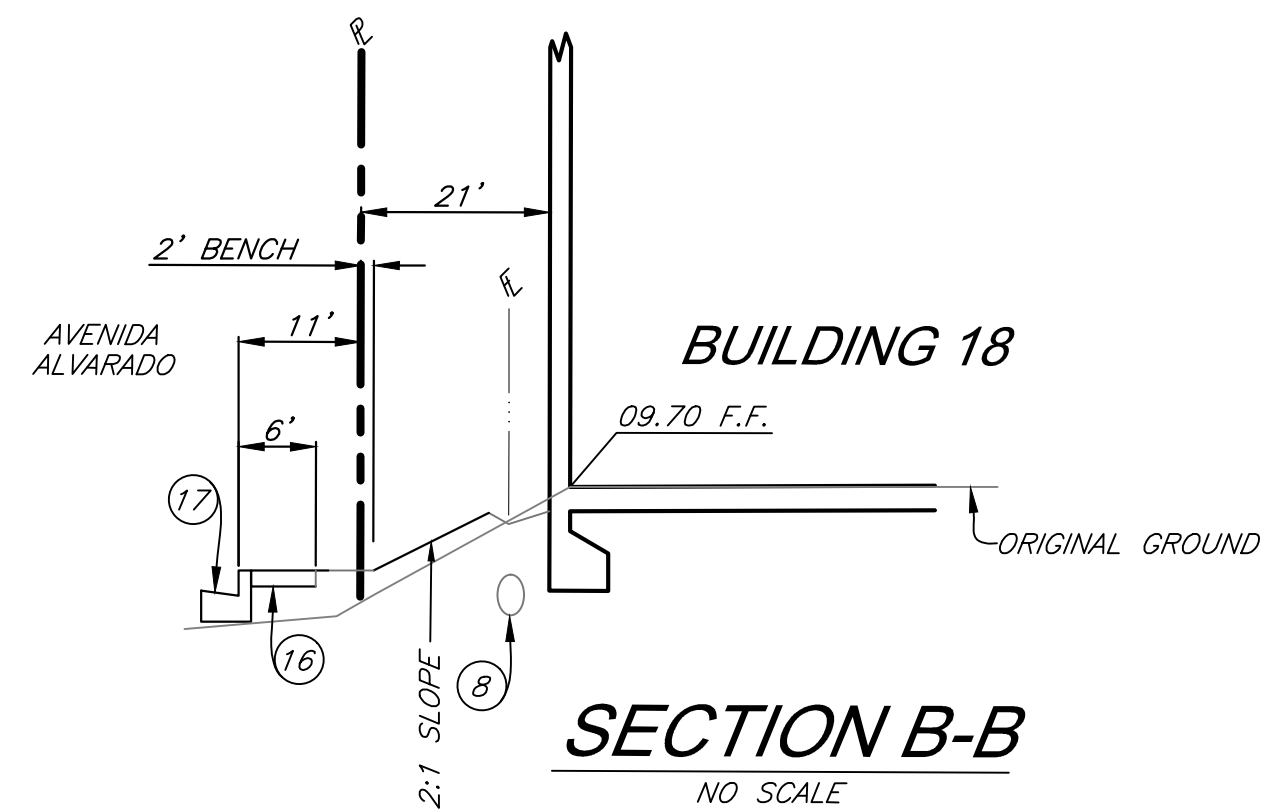
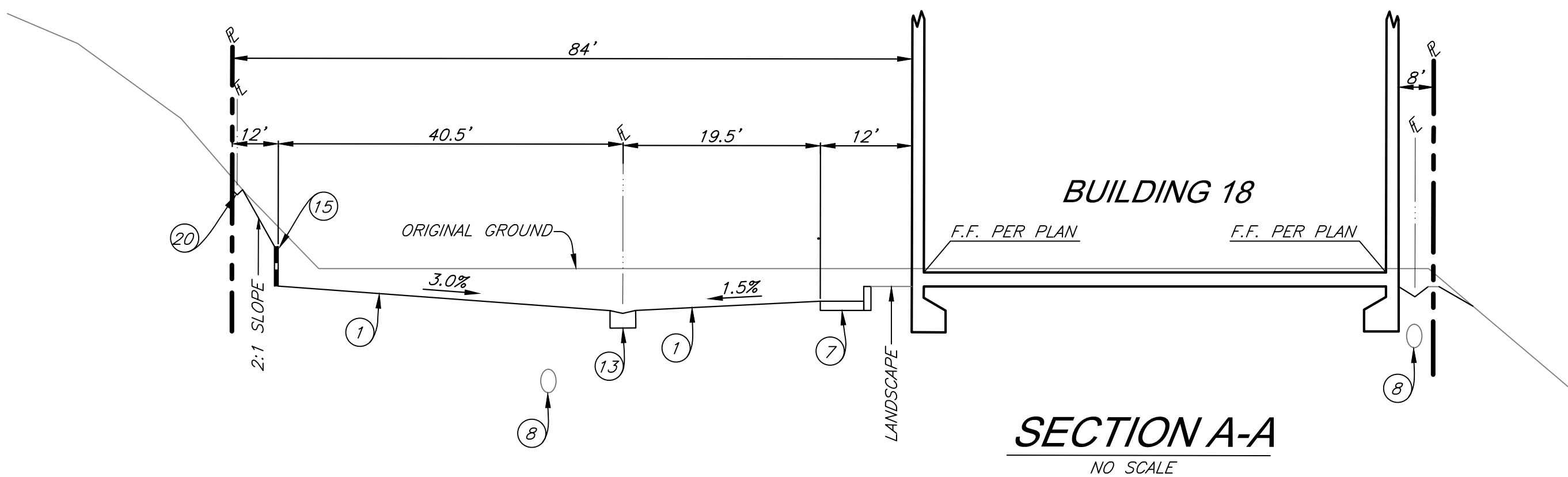
**BLDG 18
PARCEL 14**

The site plan for BLDG 18, PARCEL 14, shows a building footprint with various rooms and a parking area. The building is situated on a lot with a 2% MAX CROSS SLOPE IN X-GUTTER. The plan includes numerous elevation points, slopes, and drainage features. Key features include:

- Building Footprint:** Labeled "BLDG 18" and "PARCEL 14".
- Parking Area:** Located to the left of the building, with a 10' DRAINAGE ESMT PER PM 23182.
- Drainage Features:** 10' DRAINAGE ESMT PER PM 23182, 3' WIDE V. DITCH PER PM 23182, and 15' DRAINAGE ESMT PER PM 23182.
- Infrastructure:** AVENIDA ALVARADO, 10' DRAINAGE ESMT PER PM 23182, and 15' DRAINAGE ESMT PER PM 23182.
- Elevations and Slopes:** Various elevation points (e.g., 10.00, 10.20, 10.40, 10.60, 10.80, 11.00, 11.20, 11.40, 11.60, 11.80, 12.00, 12.20, 12.40, 12.60, 12.80, 13.00, 13.20, 13.40, 13.60, 13.80, 14.00, 14.20, 14.40, 14.60, 14.80, 15.00, 15.20, 15.40, 15.60, 15.80, 16.00, 16.20, 16.40, 16.60, 16.80, 17.00, 17.20, 17.40, 17.60, 17.80, 18.00, 18.20, 18.40, 18.60, 18.80, 19.00, 19.20, 19.40, 19.60, 19.80, 20.00, 20.20, 20.40, 20.60, 20.80, 21.00, 21.20, 21.40, 21.60, 21.80, 22.00, 22.20, 22.40, 22.60, 22.80, 23.00, 23.20, 23.40, 23.60, 23.80, 24.00, 24.20, 24.40, 24.60, 24.80, 25.00, 25.20, 25.40, 25.60, 25.80, 26.00, 26.20, 26.40, 26.60, 26.80, 27.00, 27.20, 27.40, 27.60, 27.80, 28.00, 28.20, 28.40, 28.60, 28.80, 29.00, 29.20, 29.40, 29.60, 29.80, 30.00, 30.20, 30.40, 30.60, 30.80, 31.00, 31.20, 31.40, 31.60, 31.80, 32.00, 32.20, 32.40, 32.60, 32.80, 33.00, 33.20, 33.40, 33.60, 33.80, 34.00, 34.20, 34.40, 34.60, 34.80, 35.00, 35.20, 35.40, 35.60, 35.80, 36.00, 36.20, 36.40, 36.60, 36.80, 37.00, 37.20, 37.40, 37.60, 37.80, 38.00, 38.20, 38.40, 38.60, 38.80, 39.00, 39.20, 39.40, 39.60, 39.80, 40.00, 40.20, 40.40, 40.60, 40.80, 41.00, 41.20, 41.40, 41.60, 41.80, 42.00, 42.20, 42.40, 42.60, 42.80, 43.00, 43.20, 43.40, 43.60, 43.80, 44.00, 44.20, 44.40, 44.60, 44.80, 45.00, 45.20, 45.40, 45.60, 45.80, 46.00, 46.20, 46.40, 46.60, 46.80, 47.00, 47.20, 47.40, 47.60, 47.80, 48.00, 48.20, 48.40, 48.60, 48.80, 49.00, 49.20, 49.40, 49.60, 49.80, 50.00, 50.20, 50.40, 50.60, 50.80, 51.00, 51.20, 51.40, 51.60, 51.80, 52.00, 52.20, 52.40, 52.60, 52.80, 53.00, 53.20, 53.40, 53.60, 53.80, 54.00, 54.20, 54.40, 54.60, 54.80, 55.00, 55.20, 55.40, 55.60, 55.80, 56.00, 56.20, 56.40, 56.60, 56.80, 57.00, 57.20, 57.40, 57.60, 57.80, 58.00, 58.20, 58.40, 58.60, 58.80, 59.00, 59.20, 59.40, 59.60, 59.80, 60.00, 60.20, 60.40, 60.60, 60.80, 61.00, 61.20, 61.40, 61.60, 61.80, 62.00, 62.20, 62.40, 62.60, 62.80, 63.00, 63.20, 63.40, 63.60, 63.80, 64.00, 64.20, 64.40, 64.60, 64.80, 65.00, 65.20, 65.40, 65.60, 65.80, 66.00, 66.20, 66.40, 66.60, 66.80, 67.00, 67.20, 67.40, 67.60, 67.80, 68.00, 68.20, 68.40, 68.60, 68.80, 69.00, 69.20, 69.40, 69.60, 69.80, 70.00, 70.20, 70.40, 70.60, 70.80, 71.00, 71.20, 71.40, 71.60, 71.80, 72.00, 72.20, 72.40, 72.60, 72.80, 73.00, 73.20, 73.40, 73.60, 73.80, 74.00, 74.20, 74.40, 74.60, 74.80, 75.00, 75.20, 75.40, 75.60, 75.80, 76.00, 76.20, 76.40, 76.60, 76.80, 77.00, 77.20, 77.40, 77.60, 77.80, 78.00, 78.20, 78.40, 78.60, 78.80, 79.00, 79.20, 79.40, 79.60, 79.80, 80.00, 80.20, 80.40, 80.60, 80.80, 81.00, 81.20, 81.40, 81.60, 81.80, 82.00, 82.20, 82.40, 82.60, 82.80, 83.00, 83.20, 83.40, 83.60, 83.80, 84.00, 84.20, 84.40, 84.60, 84.80, 85.00, 85.20, 85.40, 85.60, 85.80, 86.00, 86.20, 86.40, 86.60, 86.80, 87.00, 87.20, 87.40, 87.60, 87.80, 88.00, 88.20, 88.40, 88.60, 88.80, 89.00, 89.20, 89.40, 89.60, 89.80, 90.00, 90.20, 90.40, 90.60, 90.80, 91.00, 91.20, 91.40, 91.60, 91.80, 92.00, 92.20, 92.40, 92.60, 92.80, 93.00, 93.20, 93.40, 93.60, 93.80, 94.00, 94.20, 94.40, 94.60, 94.80, 95.00, 95.20, 95.40, 95.60, 95.80, 96.00, 96.20, 96.40, 96.60, 96.80, 97.00, 97.20, 97.40, 97.60, 97.80, 98.00, 98.20, 98.40, 98.60, 98.80, 99.00, 99.20, 99.40, 99.60, 99.80, 100.00, 100.20, 100.40, 100.60, 100.80, 101.00, 101.20, 101.40, 101.60, 101.80, 102.00, 102.20, 102.40, 102.60, 102.80, 103.00, 103.20, 103.40, 103.60, 103.80, 104.00, 104.20, 104.40, 104.60, 104.80, 105.00, 105.20, 105.40, 105.60, 105.80, 106.00, 106.20, 106.40, 106.60, 106.80, 107.00, 107.20, 107.40, 107.60, 107.80, 108.00, 108.20, 108.40, 108.60, 108.80, 109.00, 109.20, 109.40, 109.60, 109.80, 110.00, 110.20, 110.40, 110.60, 110.80, 111.00, 111.20, 111.40, 111.60, 111.80, 112.00, 112.20, 112.40, 112.60, 112.80, 113.00, 113.20, 113.40, 113.60, 113.80, 114.00, 114.20, 114.40, 114.60, 114.80, 1

APN 909-290-013
PARCEL 13

[illegible]

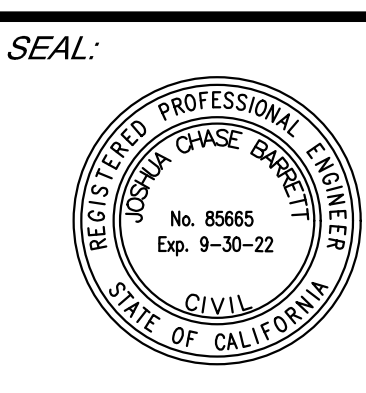


CONSTRUCTION NOTES

- ① CONSTRUCT 3" A.C. OVER 6" A.B. PAVING
- ⑦ CONSTRUCT HANDICAP ACCESS RAMP PER ARCH PLANS
- ⑧ CONSTRUCT HDPE STORM DRAIN
- ⑬ CONSTRUCT 3' WIDE RIBBON GUTTER
- ⑮ CONSTRUCT RETAINING WALL PER SEPARATE PERMIT
- ⑯ CONSTRUCT PUBLIC SIDEWALK PER STREET IMP. PLANS AND CITY STD. 401
- ⑰ CONSTRUCT PUBLIC CURB & GUTTER PER STREET IMP. PLANS AND CITY STD. 201
- ⑳ CONSTRUCT 3' CONC. V-DITCH

REVISIONS				
MARK	DESCRIPTION	BY	APPR	DATE
DESIGNED BY:	S.S.	DRAWN BY:	X.O.F.	
CHECKED BY:	J.C.B.	PROJECT MANAGER:	J.C.B.	

PLANNING DIVISION:	DATE:
PREPARED BY:	DATE:
JOSHUA C. BARRETT	
R.C.E. NO.: 85665	EXP. 9-30-22



PREPARED BY:	SDH ASSOCIATES INC.
	27363 VIA INDUSTRIA
	TEMECULA, CA 92590
	TEL: (951) 685-3691 FAX (951) 788-2314
SCALE: NONE	INCORPORATED
DATE: JULY 2022	BENCHMARK: RIVERSIDE COUNTY DESIGNATION 1-83-81
	3" ALUMINUM DISK IN CONC. CYLINDER
	FROM THE INT. OF FRONT ST. AND RANCH CALIF. RD. 1.2
	MILES W ON RANCH CALIF. RD. 23' N OF THE CL RANCHO
	CALIF. RD., IN THE BEGINNING OF CUT FOR RANCHO
	CALIF RD; SET FIBERGLASS POST 1' N OF MONUMENT

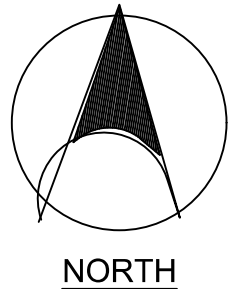
CITY OF TEMECULA
BUILDING 18
PARCEL MAP NO.21382 PARCEL 14
MS MOUNTAIN VIEW
SECTIONS



SPLA
SCOTT PETERSON LANDSCAPE ARCHITECT, INC.
2883 VIA RANCHEROS WAY
FALLBROOK, CA 92028
PH: 760-842-9993

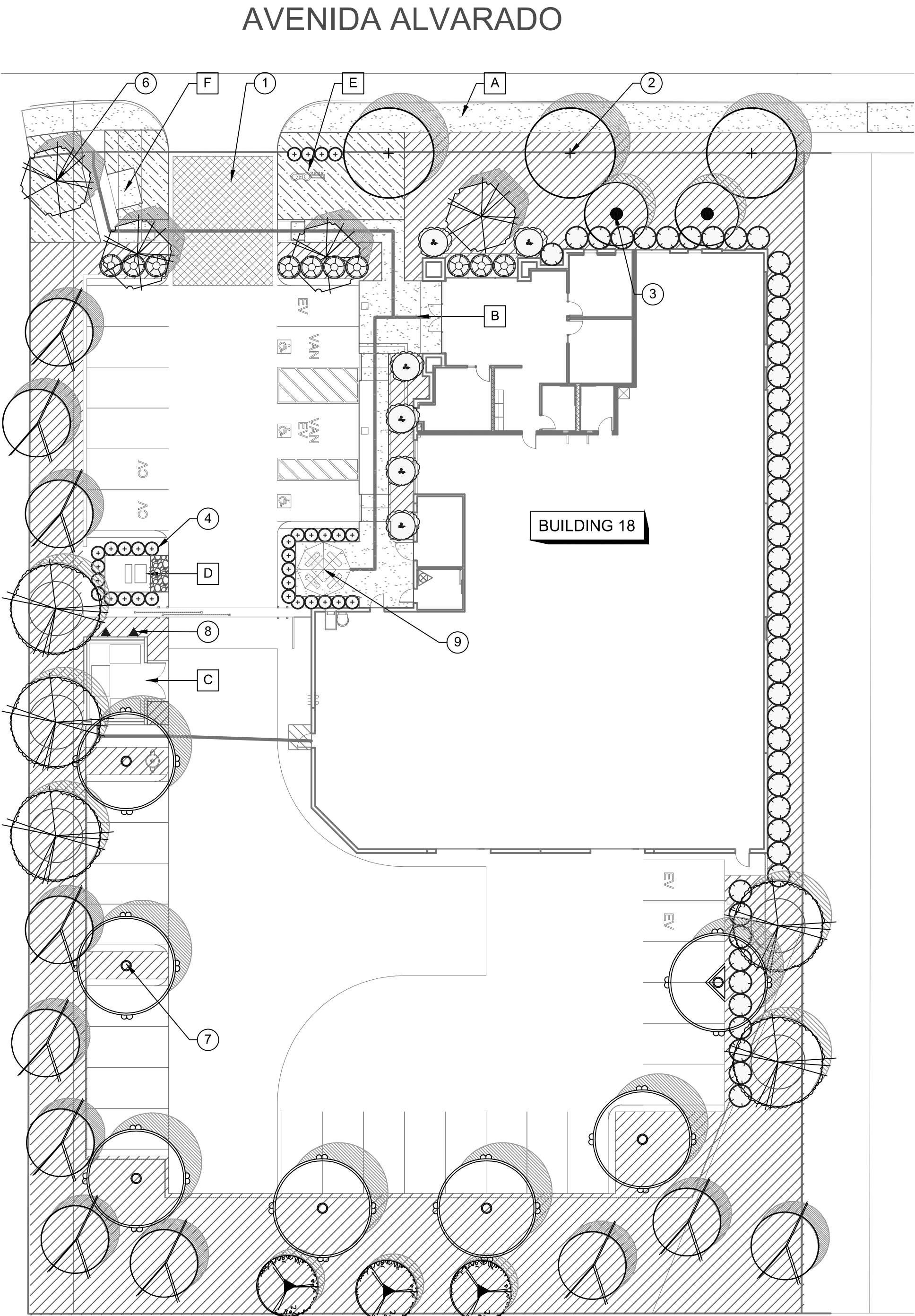
CONCEPTUAL LANDSCAPE PLAN MS MOUNTAIN VIEW PARK BUILDING 18 - PHASE V

TEMECULA, CA



0 20' 40' 60'
SCALE: 1" = 20'-0"

BLDG. 18: APN# 909-290-014, PA22-0594



DESIGN KEY NOTES:

1. ENHANCED VEHICULAR ENTRY PAVING. COLORED GRID PATTERN CONC.
2. ALL TREES LOCATED 3' OR LESS TO CURB, WALKWAY OR WALL SHALL BE INSTALLED WITH DEEP ROOT BARRIER PANELS. 18" MIN. DEPTH X 10' WIDE PANEL.
3. VERTICAL TREE AGAINST BUILDING PER LEGEND.
4. SCREEN SHRUBS SURROUNDING ELECTRIC TRANSFORMER.
5. TREE ALONG PROPERTY LINE PER LEGEND.
6. FLOWERING ACCENT TREE PER LEGEND.
7. PARKING LOT SHADE TREE PER LEGEND.
8. TYP. VINES AT TRASH ENCLOSURE.
9. BREAK PATIO WITH TABLES

REFERENCE KEY NOTES:

- A. PUBLIC SIDEWALK PER CIVIL PLANS.
B. CONCRETE ENTRY PAVING AT BUILDING ENTRY PER ARCHITECTURAL PLANS.
C. TRASH ENCLOSURE PER ARCHITECTURE PLANS.
D. ELECTRICAL TRANSFORMER PER CIVIL PLANS.
E. FIFDDC UNIT PER CIVIL PLANS.
F. BIKE RACK PER ARCH. PLANS.

PARKING LOT TREE REQUIREMENTS

*TOTAL NUMBER OF PARKING STALLS = 31
*PARKING LOT TREES REQUIRED AT 1 TREE PER 4 SPACES = 8
*NUMBER OF PARKING LOT TREES PROVIDED = 13

LANDSCAPE DATA

LANDSCAPE SQUARE FOOTAGE:
• ROW AREA = 626 SQ. FT (STREET FRONTAGE)
• ON-SITE AREA = 13,635 SQ. FT

TOTAL LANDSCAPE = 14,261 SQ. FT

TOTAL NUMBER OF TREES PROVIDED = 38

GENERAL NOTES:

- SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND, AND MULCH MATERIAL WITH 'BINDER' MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
- ROCK RIP-RAP MATERIAL SHALL BE INSTALLED WHERE DRAIN LINES CONNECT TO INFILTRATION AREAS.
- ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS, FIRE CHECK VALVE, AND AIR CONDITIONING UNITS WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.
- TREES AND SHRUBS SHALL BE PLACED A MINIMUM OF 5' AWAY FROM WATER METER, GAS METER, OR SEWER LATERALS; A MINIMUM OF 10' AWAY FROM UTILITY POLES; AND A MINIMUM OF 8' AWAY FROM FIRE HYDRANTS AND FIRE DEPARTMENT SPRINKLERS AND STANDPIPE CONNECTIONS.

CONCEPTUAL PLAN NOTE:

THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

IRRIGATION NOTE:

THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/ OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AB-1881 WATER ORDINANCE.

WUCOLS PLANT FACTOR

THIS PROJECT IS LOCATED IN 'WUCOLS' REGION '4-SOUTH INLAND'.

H = HIGH WATER NEEDS
M = MODERATE WATER NEEDS
L = LOW WATER NEEDS
VL= VERY LOW WATER NEEDS

NOTE:

ALL SLOPES INDICATED ON THE EXHIBIT (BLDG. 18) WILL RECEIVE NEW DROUGHT TOLERANT PLANTING WITH DRIP IRRIGATION.

PLANTING LEGEND

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	PODOCARPUS GRACILIOR FERN PINE 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE.	2	M
	PINUS ELДАРICA, MONDELL PINE 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE	11	L
	PLATANUS RACEMOSA, CALIFORNIA SYCAMORE 15 GAL. SIZE. STANDARD TRUNK. DOUBLE STAKE.	5	M
	CUPRESSUS SEMPERVIRENS, MEDITERRANEAN CYPRESS 15 GAL. SIZE. DOUBLE STAKE	6	L
	RHUS LANCEA, AFRICAN SUMAC 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE	7	L
	QUERCUS ILEX, HOLY OAK 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE	3	L
	CERCIDIUM 'DESERT MUSEUM', PALO VERDE 36" BOX SIZE. MULTI-TRUNK. DOUBLE STAKE	4	L
	PLATANUS X. ACERIFOLIA 'BLOODGOOD', LONDON PLANE TREE 24" BOX SIZE. DOUBLE STAKE. STREET TREE ALONG AVENIDA ALVARADO PLANT WITH DEEP ROOT BARRIER PANELS.	7	M
TOTAL NO. TREES =		38	

SHRUBS - PROPOSED SHRUBS WILL BE SELECTED FROM THE FOLLOWING:

SYMBOL	SHRUB NAME	WUCOLS
	LEUCOPHYLLUM FRUTESCENS, TEXAS RANGER 5 GAL. SIZE	L
	JUSTICIA SPICIGERA, MEXICAN HONEYSUCKLE 5 GAL. SIZE	L
	TAGETES LEMMONII, MOUNTAIN MARIGOLD 5 GAL. SIZE	L
	LIGUSTRUM JAPONICUM 'TEXANUM', WAXLEAF PRIVET 5 GAL. SIZE	M
	DODONAEA VISCOSA, HOPSEED BUSH 5 GAL. SIZE	M
	RHAMPHIOLEPIS I. 'CLARA', INDIAN HAWTHORN 5 GAL. SIZE	L

GROUND COVER AND SHRUB MASSES - GROUND COVER AND SHRUB MASSES SHALL BE CHOSEN FROM THE FOLLOWING:

SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	TYPICAL NEW SLOPE PLANTING FOR EROSION CONTROL ALL GRADED SLOPES	L
	TYPICAL ACCENT PLANTING AT ENTRY DRIVES ASSORTED LAYERED PLANTINGS.	L
	NATIVE EXISTING SLOPE SHALL BE CLEANED, REMOVING ALL UNSIGHTLY VEGETATION & PLANTED WITH NEW DROUGHT TOLERANT GROUND COVER FOR EROSION CONTROL. *ABOVE GRADE ROTOR HEADS ON SLOPE FOR PLANT ESTABLISHMENT.	

*APPLY A 3" LAYER OF SHREDDED WOOD MULCH THROUGHOUT ALL PLANTING AREAS EXCEPT ROCK MULCH AREAS. MULCH SHALL BE FOREST FINES MULCH BY AGRISERVICE OR APPROVED EQUAL.

VINE

SYMBOL	VINE NAME	QTY.	WUCOLS
	FICUS REPENS, CREEPING FIG 5 GAL. SIZE. TRAIN ON WALL OF TRASH ENCLOSURE.	2	M

	APPLY A 3" LAYER OF CRUSHED GRAVEL IN FRONT OF ELECTRICAL BOX ACCESS DOORS. INSTALL WEED FILTER FABRIC 'MOJAVE GOLD' AVAILABLE THROUGH KRC ROCK OR APPROVED EQUAL. PROVIDE SAMPLES FOR REVIEW.
--	--

