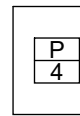
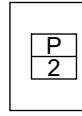
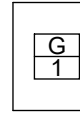
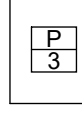
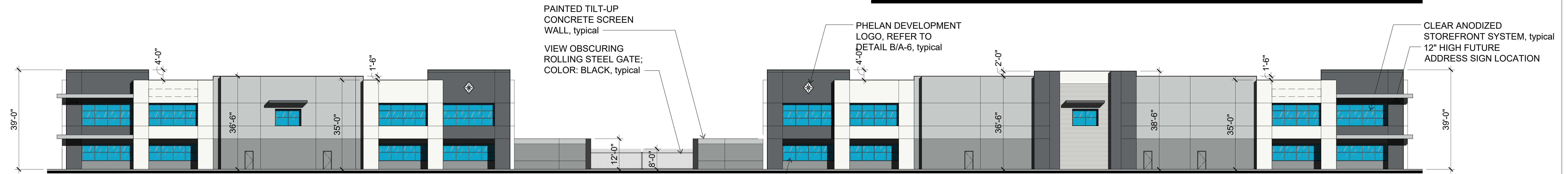
 TILT-UP CONCRETE WALL PANEL FIELD COLOR SHERWIN WILLIAMS / HIGH REFLECTIVE WHITE / SW 7757		 TILT-UP CONCRETE SCREEN WALL PANEL ACCENT COLOR SHERWIN WILLIAMS / WEB GRAY / SW 7075
	 TILT-UP CONCRETE WALL PANEL ACCENT COLOR SHERWIN WILLIAMS / GRAY SCREEN / SW 7071		 1" INSULATED DUAL PANE MEDIUM PERFORMANCE PPG VITRO PACIFICA GLASS CLEAR ANODIZED ALUMINUM MULLIONS
	 TILT-UP CONCRETE WALL PANEL ACCENT COLOR SHERWIN WILLIAMS / AFRICAN GRAY / SW 9162		

LEGEND

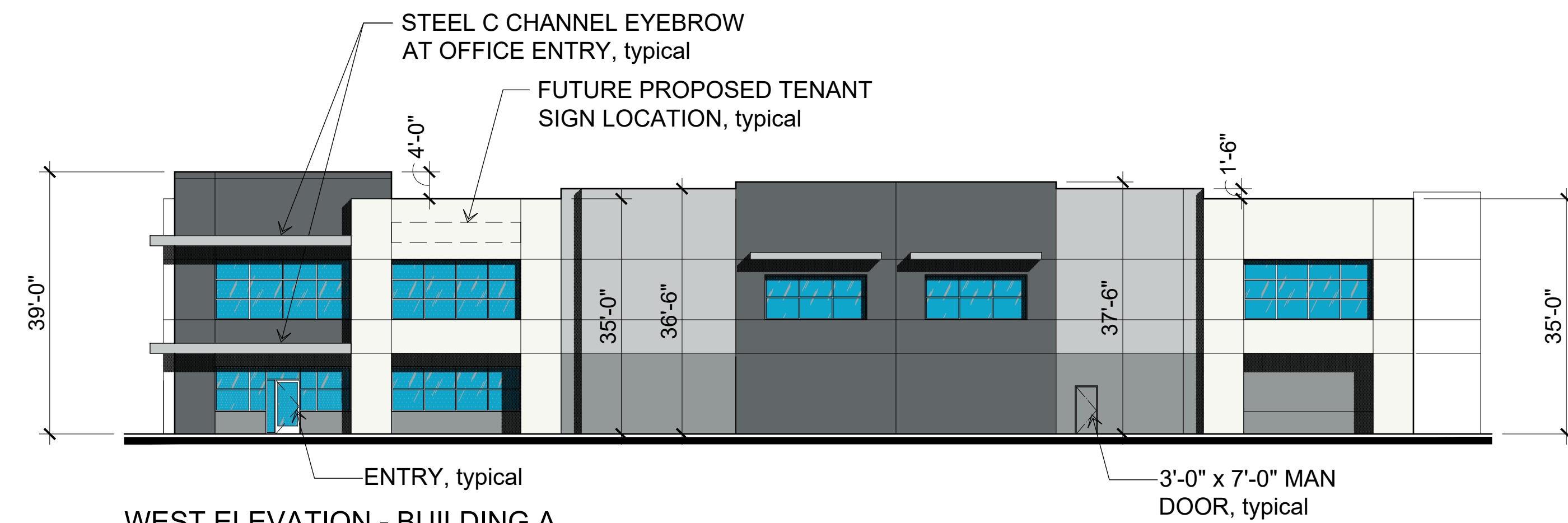


NORTH ELEVATION - BUILDING B

SCALE: 1/16" = 1'-0"

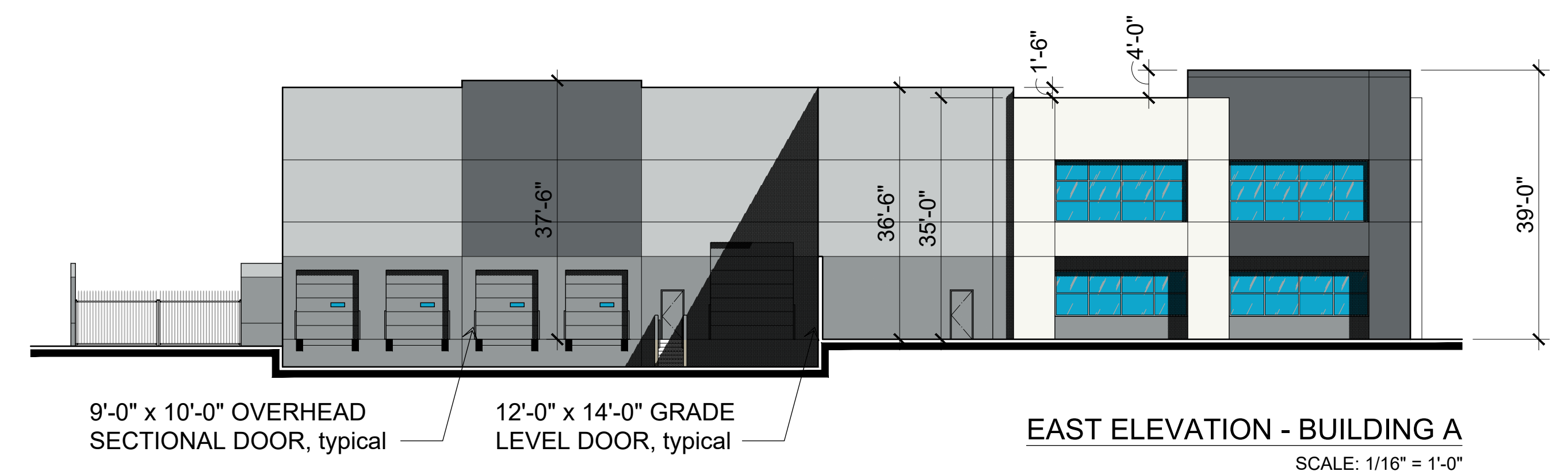
NORTH ELEVATION - BUILDING A

SCALE: 1/16" = 1'-0"



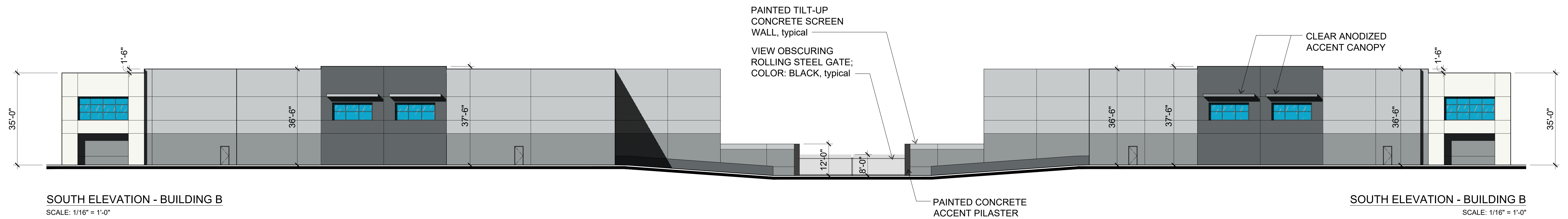
WEST ELEVATION - BUILDING A

SCALE: 1/16" = 1'-0"



EAST ELEVATION - BUILDING A

SCALE: 1/16" = 1'-0"

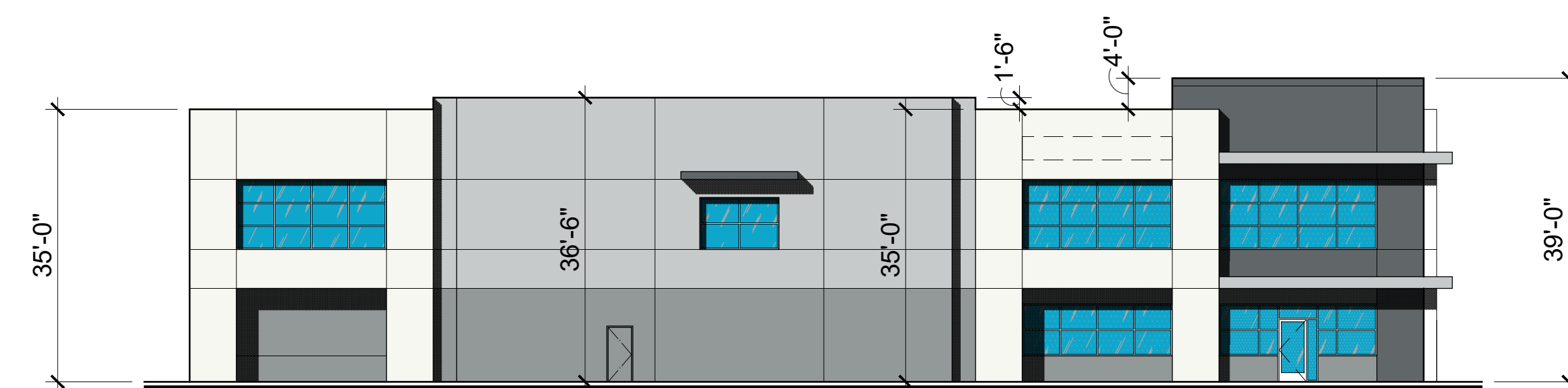


SOUTH ELEVATION - BUILDING B

SCALE: 1/16" = 1'-0"

SOUTH ELEVATION - BUILDING B

SCALE: 1/16" = 1'-0"



EAST ELEVATION - BUILDING B

SCALE: 1/16" = 1'-0"



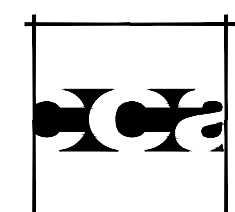
WEST ELEVATION - BUILDING A

SCALE: 1/16" = 1'-0"

BUILDING ELEVATIONS SCHEME 4

26 September 2022

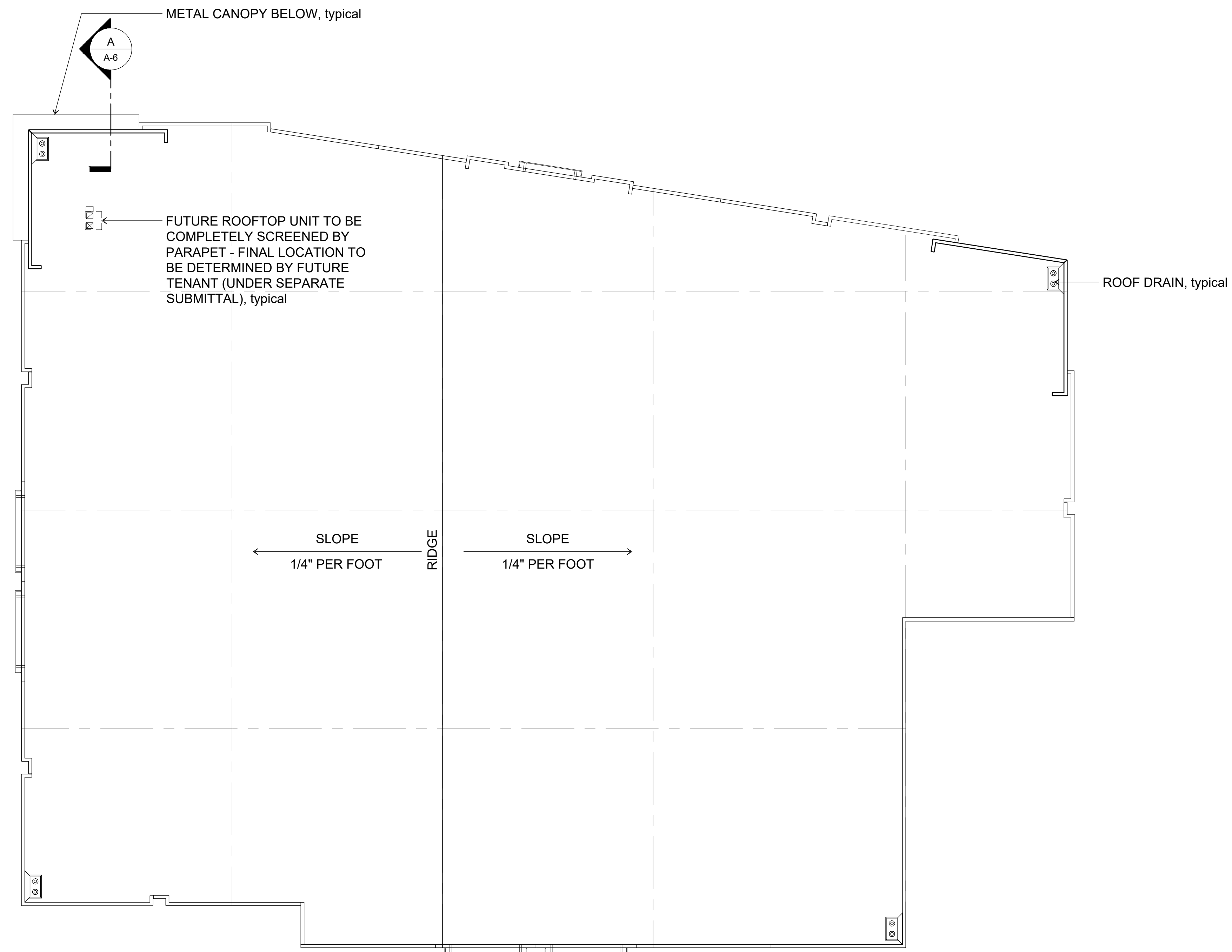
Winchester Road and Diaz Road
Temecula, California



Carlile Coatsworth Architects, Inc
18000 MacArthur Boulevard - Suite 300 - Irvine, CA 92612 - Phone: (949) 833-1000

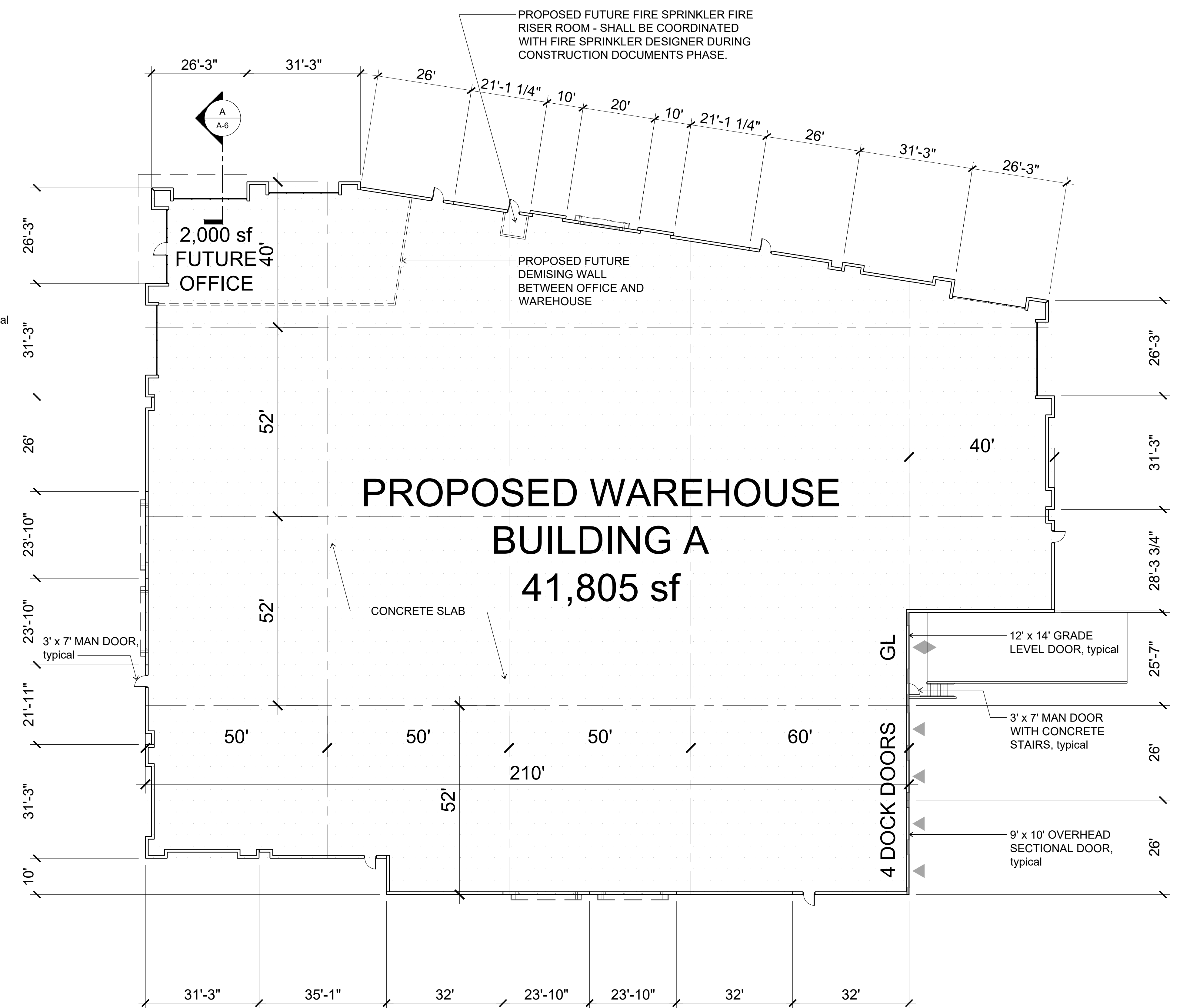
PHELAN
DEVELOPMENT
450 Newport Center Drive, Suite 405
Newport Beach, CA 92660

A-5



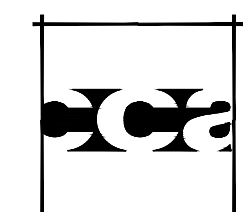
ROOF PLAN (Building A)

26 September 2022



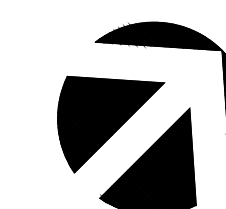
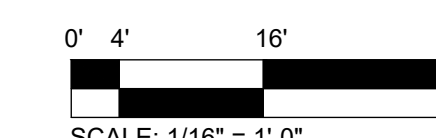
FLOOR PLAN (Building A)

26 September 2022



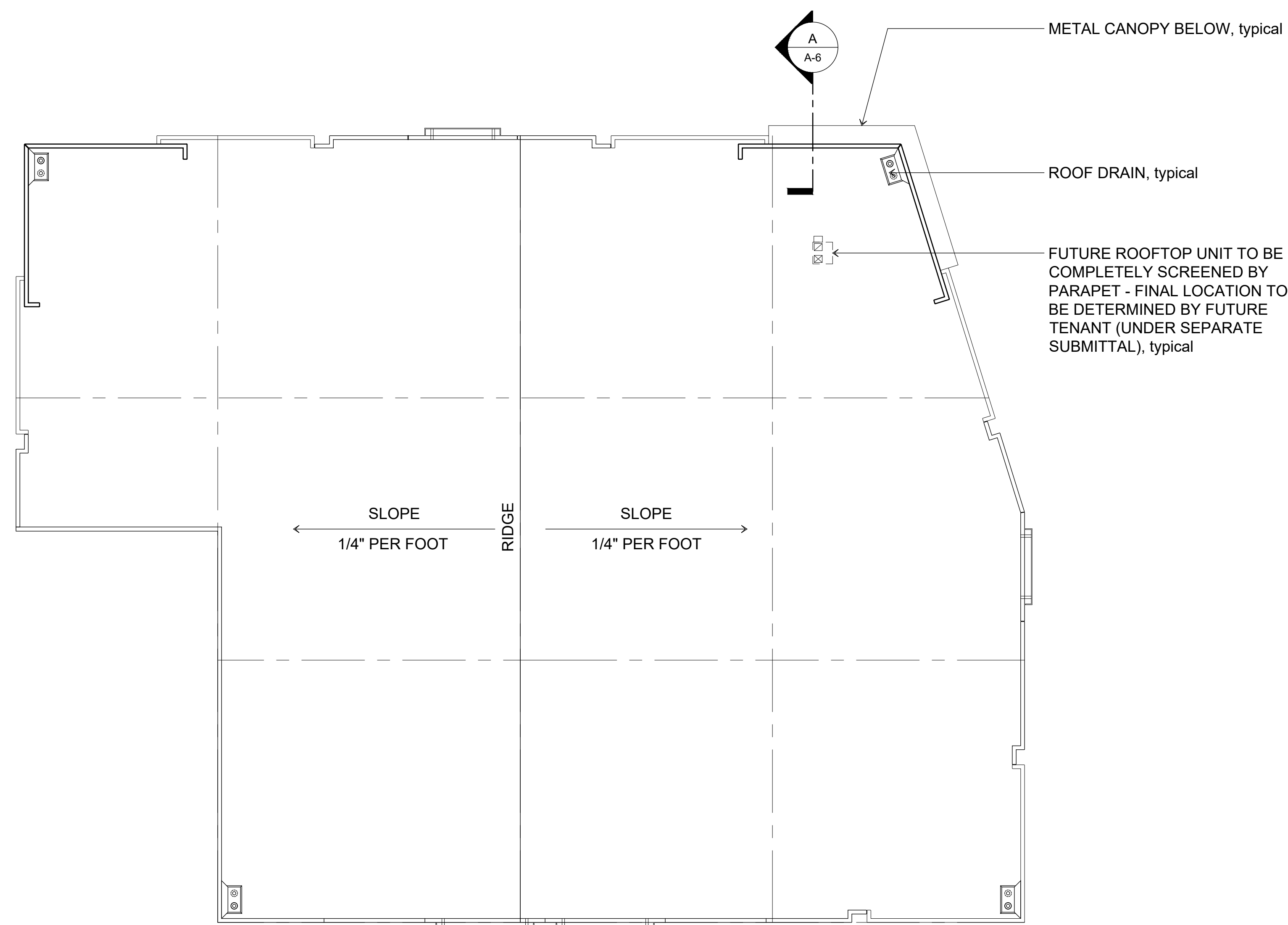
Carlile Coatsworth Architects, Inc.
18000 MacArthur Boulevard - Suite 300 - Irvine, CA 92612 - Phone: (949) 833-1000

Winchester Road and Diaz Road
Temecula, California



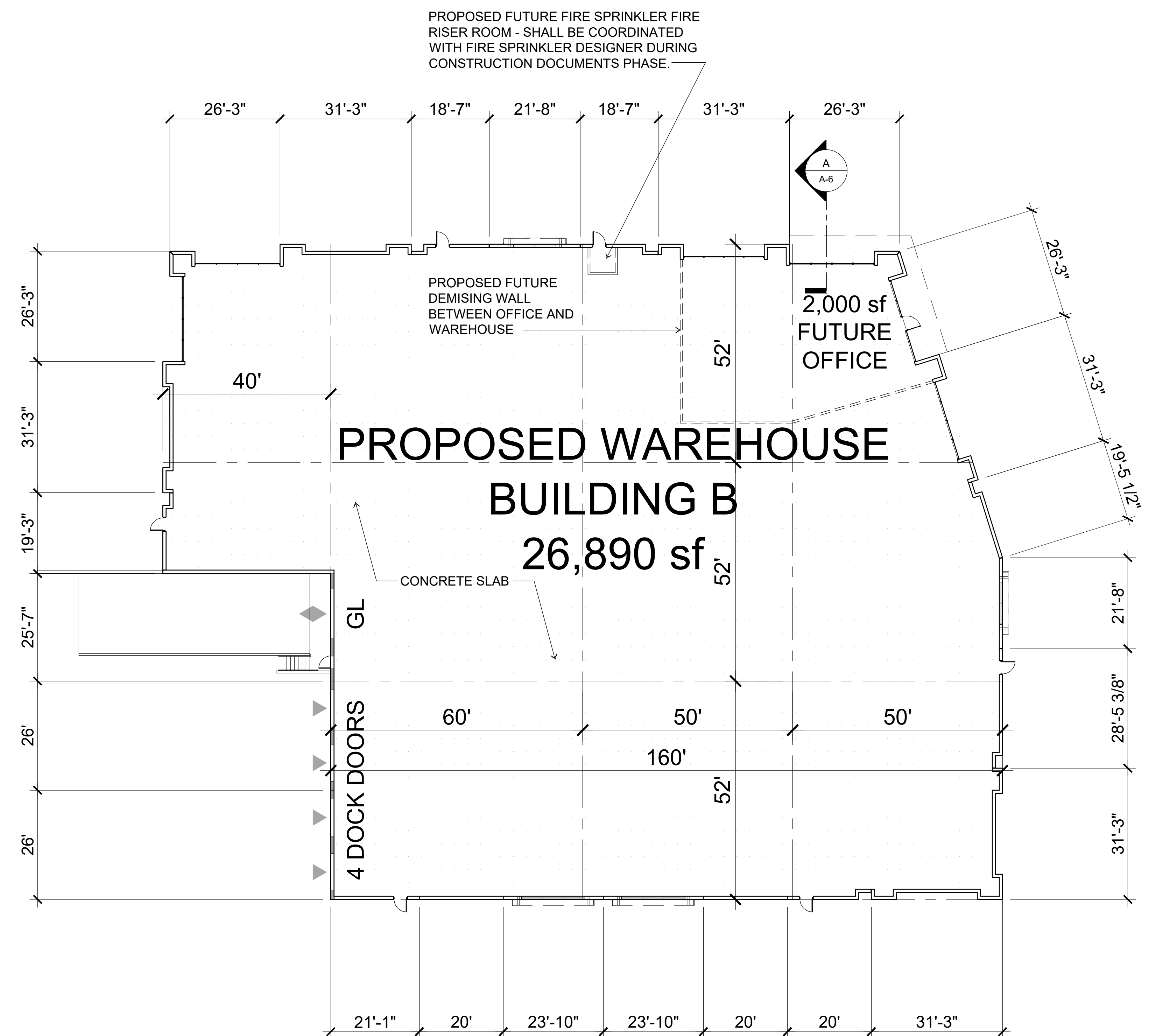
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PHELAN
DEVELOPMENT
450 Newport Center Drive, Suite 405
Newport Beach, CA 92660



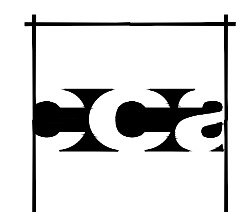
ROOF PLAN (Building B)

26 September 2022



FLOOR PLAN (Building B)

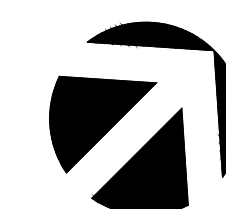
26 September 2022



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Winchester Road and Diaz Road
Temecula, California

0' 4' 16' 32'
SCALE: 1/16" = 1'-0"



PHELAN
DEVELOPMENT
450 Newport Center Drive, Suite 405
Newport Beach, CA 92660

A-4

Winchester Road and Diaz Road

Temecula, California

26 September 2022

ARCHITECTURAL

- A-1 COVER SHEET
- A-2 PRELIMINARY SITE PLAN
- A-3 BUILDING A FLOOR PLAN AND ROOF PLAN
- A-4 BUILDING B FLOOR PLAN AND ROOF PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 BUILDING WALL SECTION AND TRASH ENCLOSURE ELEVATIONS

LANDSCAPE

- L-1 CONCEPTUAL LANDSCAPE PLAN

CIVIL

- 1 OF 3 CONCEPTUAL GRADING PLAN TITLE SHEET
- 2 OF 3 CONCEPTUAL GRADING PLAN
- 3 OF 3 SECTIONS

ELECTRICAL

- E-1 SITE LIGHTING PHOTOMETRIC STUDY PLAN
- E-2 LIGHTING SPECIFICATIONS

SHEET INDEX

ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL STATE AND FEDERAL CODES REGULATION AND LAWS, INCLUDING, BUT NOT LIMITED TO:

BUILDING	2019 CALIFORNIA BUILDING CODE
MECHANICAL	2019 CALIFORNIA MECHANICAL CODE
PLUMBING	2019 CALIFORNIA PLUMBING CODE
ELECTRICAL	2019 CALIFORNIA ELECTRICAL CODE
FIRE	2019 CALIFORNIA FIRE CODE
ACCESSIBILITY	2019 CALIFORNIA BUILDING CODE, CHAPTER 11B

APN: 331-060-036 / 331-060-021

LEGAL DESCRIPTION:

THE LAND REFERRED TO HERIN BELOW IS SITUATED IN THE CITY OF TEMECULA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
PARCEL 2 OF PARCEL MAP NO. 21383 AS SHOWN BY PARCEL MAP ON FILE IN BOOK 167, PAGES 18 THROUGH 25, INCLUSIVE OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

UTILITIES

GAS: SOUTHERN CALIFORNIA GAS COMPANY	800.427.2200
PHONE: FRONTIER	844.720.1909
ELECTRIC: SOUTHERN CALIFORNIA EDISON	800.611.1911
SEWER: RANCHO CALIFORNIA WATER DISTRICT	200.422.7676
WATER: RANCHO CALIFORNIA WATER DISTRICT	800.422.4133

LAND USE DESIGNATION: INDUSTRIAL PARK

ZONING DESIGNATION: LI

OCCUPANCY GROUP: S-1: WAREHOUSE, B: OFFICE

CONSTRUCTION TYPE: V-B

DESCRIPTION OF WORK:

THIS DEVELOPMENT CONSISTS OF TWO SPECULATIVE TILT-UP CONCRETE WAREHOUSE BUILDING WITH A TOTAL OF 68,695 SF (INCLUDING 4,000 S.F. OF ACCESSORY OFFICE PER BUILDING). TRASH AND RECYCLING BINS WILL BE CONTAINED WITHIN TRASH ENCLOSURES CONSTRUCTED OF CONCRETE WITH STEEL GATES PER CR&R STANDARDS TO SCREEN BINS FROM VIEW.

AUTOMOBILE PARKING IS PROVIDED THROUGHOUT THE SITE.

A FIRE APPARATUS ACCESS LANE THROUGH THE SITE WILL BE MAINTAINED AT ALL TIMES; GATES WILL INCLUDE KNOX PADLOCK TO PROVIDE FIRE DEPARTMENT ACCESS.

GROSS LOT AREA: 204,297 SF
(includes the public r.o.w. to the centerline of the street)
NET LOT AREA: 171,966 SF
(includes the area within the legal parcel boundaries)

BUILDING COVERAGE: 39.95%
F.A.R.: (of net area) 39.95%

TOTAL BUILDING AREA: 68,695 SF

BUILDING A:	41,805 SF
WAREHOUSE:	39,805 SF
OFFICE:	2,000 SF

BUILDING B:	26,890 SF
WAREHOUSE:	24,890 SF
OFFICE:	2,000 SF

PARKING REQUIRED:
WAREHOUSE: 64,695 S.F. (1/1,000 S.F.)
OFFICE: 4,000 S.F. (1/300 S.F.)

PARKING PROVIDED:	79 SPACES*
STANDARD:	75 SPACES
ACCESSIBLE:	4 SPACES
CLEAN AIR / VANPOOL / EV:	8 SPACES*
FUTURE EV:	5 SPACES*
MOTORCYCLE PARKING:	4 SPACES
BICYCLE PARKING:	4 SPACES
DOCK DOORS:	8 SPACES
GRADE LEVEL DOORS:	2 SPACES
*INCLUSIVE	

LANDSCAPE PROVIDED: 38,370 SF
22.31%

OWNER / APPLICANT

PHELAN DEVELOPMENT
450 NEWPORT CENTER DRIVE
SUITE 405
NEWPORT BEACH, CA 92660
PHONE: (949) 531-6627
kdearmey@phelandevco.com

ARCHITECT

CARLILE COATSWORTH ARCHITECTS, INC.
18600 MACARTHUR BOULEVARD
SUITE 300
IRVINE, CA 92612
PHONE: (949) 833-1930
jamiep@ccarchitects.com

LANDSCAPE ARCHITECT

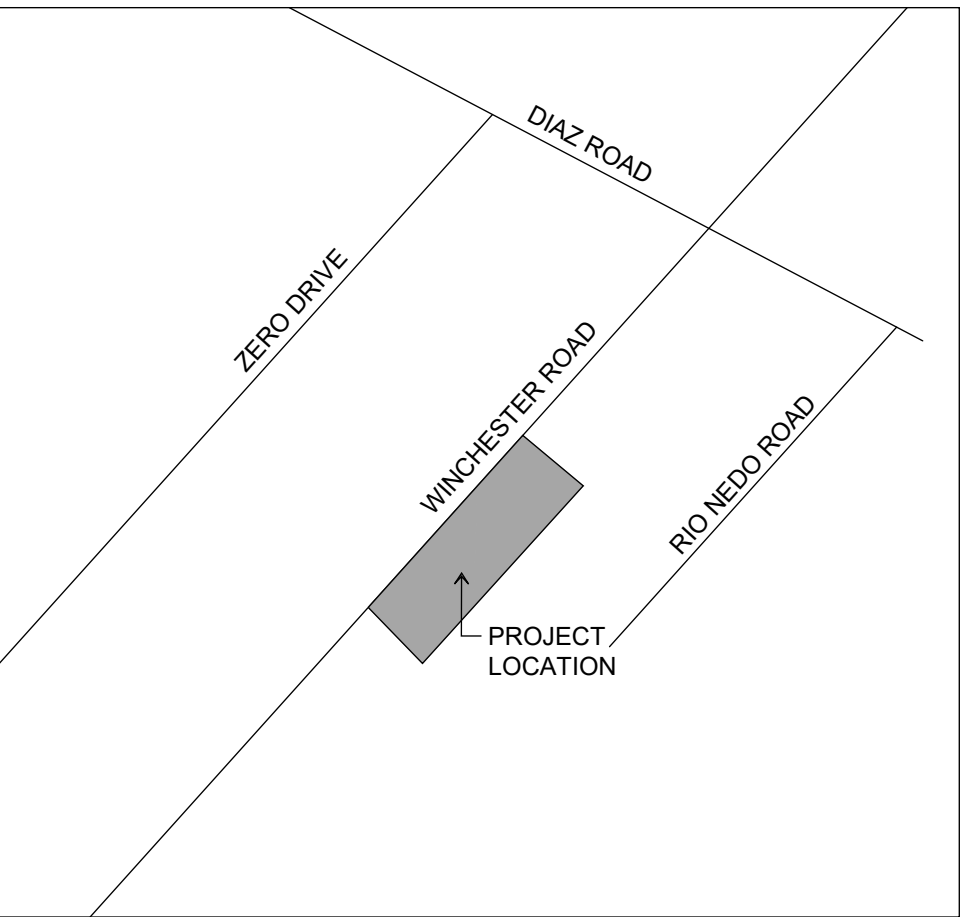
SCOTT PETERSON
LANDSCAPE ARCHITECT, INC.
2883 VIA RANCHEROS WAY
FALLBROOK, CA 92028
PHONE: (760) 842-8993
scott@splainc.com

CIVIL ENGINEER

SDH & ASSOCIATES
27363 VIA INDUSTRIA
TEMECULA, CA 92590
PHONE: (951) 683-3691
steve@sdhinc.net

ELECTRICAL

VAL ELECTRIC, INC.
1261 E. FRANCIS STREET, SUITE B
ONTARIO, CA 91761
PHONE: (909) 923-0070
waynelee@valelectric.com



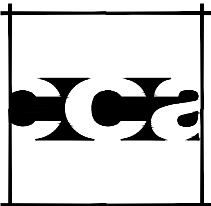
APPLICABLE CODES

PROJECT SUMMARY

PROJECT TEAM

VICINITY MAP

SCALE: NOT TO SCALE

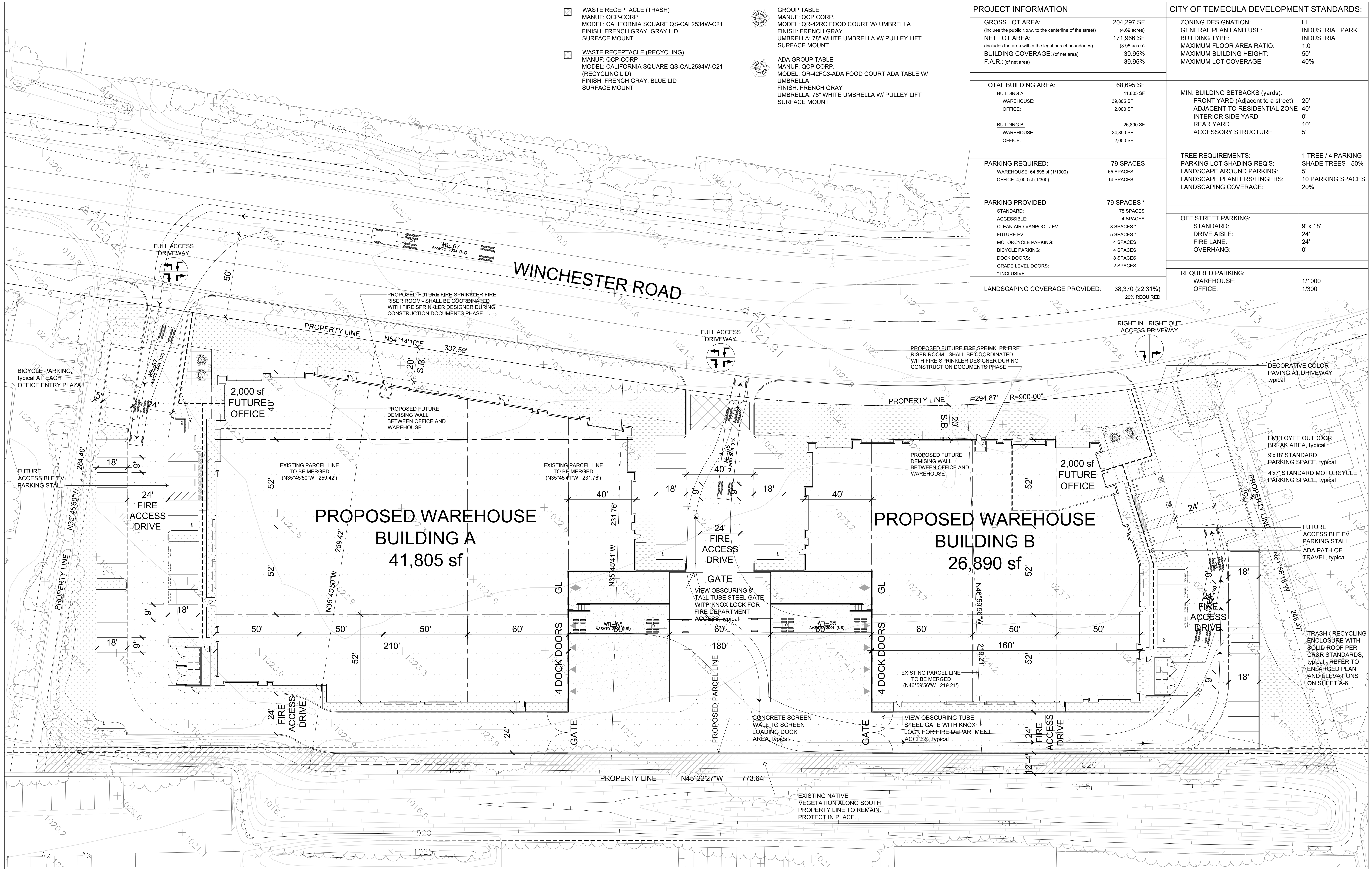


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Winchester Road and Diaz Road
Temecula, California



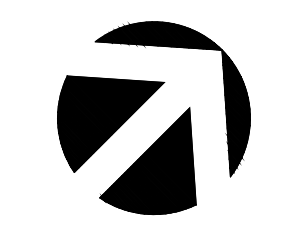
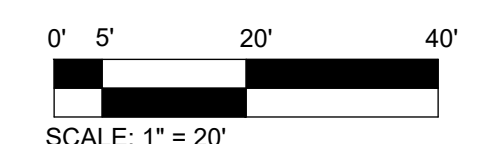
A-1



PRELIMINARY SITE PLAN
SCHEME 4

26 September 2022

Winchester Road and Diaz Road
Temecula, California



PROJECT INFORMATION		CITY OF TEMECULA DEVELOPMENT STANDARDS:		
GROSS LOT AREA: (includes the public r.o.w. to the centerline of the street)	204,297 SF (4.69 acres)	ZONING DESIGNATION: GENERAL PLAN LAND USE:	LI INDUSTRIAL PARK INDUSTRIAL	
NET LOT AREA: (includes the area within the legal parcel boundaries)	171,966 SF (3.95 acres)	BUILDING TYPE:	1.0	
BUILDING COVERAGE: (of net area)	39.95%	MAXIMUM FLOOR AREA RATIO:	50'	
F.A.R.: (of net area)	39.95%	MAXIMUM BUILDING HEIGHT:	40%	
TOTAL BUILDING AREA:				
BUILDING A:		MIN. BUILDING SETBACKS (yards):		
WAREHOUSE:	39,805 SF	FRONT YARD (Adjacent to a street)		20'
OFFICE:	2,000 SF	ADJACENT TO RESIDENTIAL ZONE		40'
BUILDING B:		INTERIOR SIDE YARD		0'
WAREHOUSE:	24,890 SF	REAR YARD		10'
OFFICE:	2,000 SF	ACCESSORY STRUCTURE		5'
PARKING REQUIRED:		TREE REQUIREMENTS:		1 TREE / 4 PARKING
WAREHOUSE: 64,695 sf (1/1000)	65 SPACES	PARKING LOT SHADING REQ'S:		SHADE TREES - 50%
OFFICE: 4,000 sf (1/300)	14 SPACES	LANDSCAPE AROUND PARKING:		5'
		LANDSCAPE PLANTERS/FINGERS:		10 PARKING SPACES
		LANDSCAPING COVERAGE:		20%
PARKING PROVIDED:				
STANDARD:		OFF STREET PARKING:		
ACCESSIBLE:		STANDARD:		9' x 18'
CLEAN AIR / VANPOOL / EV:	8 SPACES *	DRIVE AISLE:		24'
FUTURE EV:	5 SPACES *	FIRE LANE:		24'
MOTORCYCLE PARKING:	4 SPACES	OVERHANG:		0'
BICYCLE PARKING:	4 SPACES			
DOCK DOORS:	8 SPACES	REQUIRED PARKING:		
GRADE LEVEL DOORS:	2 SPACES	WAREHOUSE:		1/1000
* INCLUSIVE		OFFICE:		1/300
LANDSCAPING COVERAGE PROVIDED:				
38,370 (22.31%)				
20% REQUIRED				