

PLAN REDUCTIONS

DEVELOPER/OWNER

WOODSIDE HOMES
11810 PIERCE STREET, SUITE 250
RIVERSIDE, CA 92505
PHONE: 951-710-1916
CONTACT: TREAT HEINER

ENGINEER

RICK ENGINEERING COMPANY
1170 S IOWA AVE., SUITE 100
RIVERSIDE, CA 92505
PHONE: (951) 782-0101
FAX: (951) 782-0723

NOTIFICATION

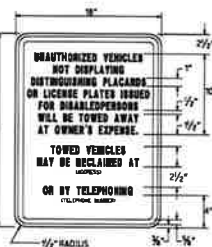
THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES 48 HOURS PRIOR TO STARTING CONSTRUCTION OR EXCAVATION:
EASTERN MUNICIPAL WATER DISTRICT
METROPOLITAN WATER DISTRICT
RANCHO CALIFORNIA WATER DISTRICT
SOUTHERN CALIFORNIA GAS
SOUTHERN CALIFORNIA Edison
TIME WARNER CABLE
CHARTER COMMUNICATIONS

BASIS OF BEARINGS

THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (NAD 83) 2011
EPOCH 2010.00, COUNTY OF RIVERSIDE ZONE 6, AS
DETERMINED LOCALITY BY A TIE BETWEEN CONTIGUOUS
OPERATING REFERENCE STATIONS "P477" AND "BELL"
AS SHOWN HEREON, 11.2° N 29° 53' 23" E

SITE DATA

- APN 964-180-021
- STREET ADDRESS: N/A
- LEGAL DESCRIPTION: LOT 23 OF TRACT MAP NO. 37368 AS FILED IN BOOK 342, PAGES 73 THROUGH 85, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, LYING WITHIN SECTION 21, TOWNSHIP 1 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN.
- ZONING DESIGNATION: SP-11 BROADPAUGH RANCH SPECIFIC PLAN
- GENERAL PLAN DESIGNATION: SPECIFIC PLAN IMPLEMENTATION (SP)
- EXISTING LAND USE: VACANT
- TOTAL GROSS AREA: 171,310 SF 3.9 AC
- TOTAL NET AREA: 171,294 SF 3.9 AC
- TOTAL BUILDING AREA: 16,522 SF 0.4 AC
- CLUBHOUSE: 5,616 SF
- BARN: 3,364 SF
- POOL BUILDING: 7,543 SF
- LOT COVERAGE: SQUARE FEET PERCENTAGE
- BUILDING AREA: 16,522 16%
- PARKING AREA: 34,530 32%
- LANDSCAPING AREA: 55,565 32%
- PARKING: SPACES PROVIDED
- NUMBER OF DISABLED SPACES: 7
- REQUIRED NUMBER OF DISABLED SPACES: 3
- TOTAL PARKING: 70
- DISABLED PARKING SPACES ALLOCATED PER BUILDING:
 - CLUBHOUSE: 4
 - BARN: 2
 - POOL BUILDING: 1
- OCCUPANCY CLASSIFICATION PER UNIFORM BUILDING CODE: CLUBHOUSE, POOL/FITNESS BUILDING, AND BARN A-3
- TYPE OF CONSTRUCTION PER UNIFORM BUILDING CODE: TYPE V - NON RATED (ALL BUILDINGS)
- ALL BUILDINGS HAVE FIRE SMOKE ALARMS - NFPA 13
- NUMBER OF STORIES: 1 (ALL BUILDINGS)
- CLUBHOUSE: OVERALL HEIGHT: 37.0'
- BARN: OVERALL HEIGHT: 21.5'
- POOL BUILDING: OVERALL HEIGHT: 25.5'



COLORS: BORDER AND LEGEND - WHITE (NON-REFLECTIVE)
BACKGROUND - BLUE (REFLECTIVE)

- NOTES:
- ENTRANCE SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE.
 - THE CONTRACTOR SHALL COMPLETE THE ADDRESS AND TELEPHONE NUMBER WITH THE APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.
 - SIGN SHALL BE CONSTRUCTED OF ALUMINUM, 0.063" MIN. THICKNESS AND CONFORMING TO STRENGTH AND DURABILITY PROPERTIES SPECIFIED IN ASTM B209 FOR 5005-H14. ATTACH TO STEEL PIPE WITH 0.063" TAMP-PROOF BOLTS.
 - VERIFY SIZE AND INFORMATION PROVIDED WITH YOUR LOCAL AGENCY.

ACCESSIBILITY ENTRANCE SIGN

NO SCALE

LEGEND

***** ADA PATH OF TRAVEL

ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.



PREPARED UNDER THE SUPERVISION OF
PRELIMINARY
NOT FOR CONSTRUCTION
NATHAN C. SMITH, P.E. DATE: 11/14/18

TRACT NO. 37368 - LOT 23

CITY OF TEMECULA
SOMMERS BEND RECREATION CENTER (PA 30)
SITE PLAN

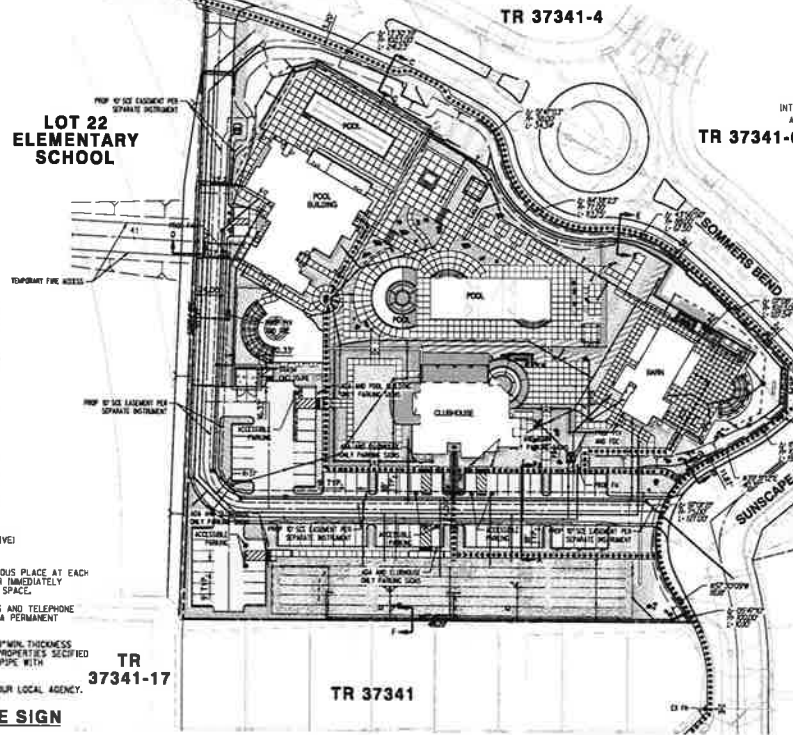


TYPICAL SECTION B-B: DRIVE AISLE

NO SCALE

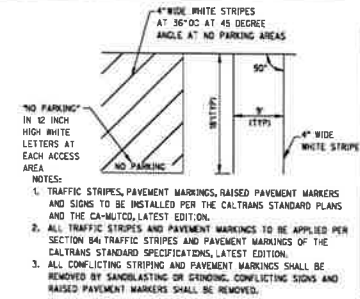
NOTE: DRIVEWAY WILL BE PRIVATELY MAINTAINED.

LOT 22
ELEMENTARY
SCHOOL



TR 37341-17

TR 37341

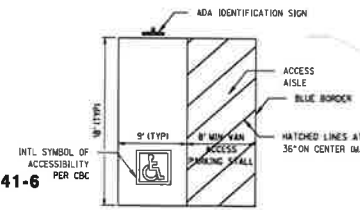


TYPICAL PARKING STRIPING DETAIL

NO SCALE



VICINITY MAP
6.1-5



TYPICAL VAN ACCESSIBLE ADA PARKING STALL DETAIL

PER CBC SECTION 1B-502
NO SCALE

SECTION D-D

NO SCALE

SECTION E-E

NO SCALE

SECTION F-F

NO SCALE

SECTION G-G

NO SCALE

SECTION C-C

NO SCALE

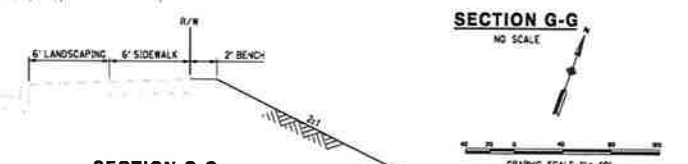
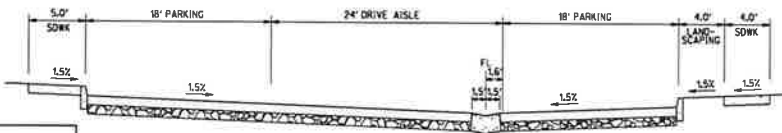
ADA IDENTIFICATION PARKING SIGN

NO SCALE

TYPICAL SECTION A-A: DRIVE AISLE

NO SCALE

NOTE: DRIVEWAY WILL BE PRIVATELY MAINTAINED.



GRAPHIC SCALE 1" = 40'

REVISION	DATE
PRELIMINARY	11/14/18
REVISION	11/14/18
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REVISION	11/14/18
REVISION	11/14/18
REVISION	11/14/18

DRAWN BY: NATHAN C. SMITH, P.E.

DEVELOPER/OWNER

WOODSIDE HOMES
11870 PIERCE STREET, SUITE 250
RIVERSIDE, CA 92505
PHONE: 951-710-1916
CONTACT: TRENT HELMER

ENGINEER

RTKX ENGINEERING COMPANY
1770 IDNA AVE., SUITE 100
RIVERSIDE, CA 92505
PHONE: 951-782-0707
FAX: 951-782-0723

NOTIFICATION

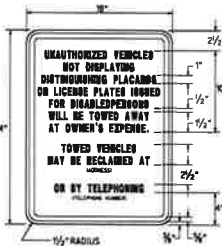
THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES 48 HOURS PRIOR TO STARTING CONSTRUCTION OR EXCAVATION:
EASTERN MUNICIPAL WATER DISTRICT (951) 928-3777
METROPOLITAN WATER DISTRICT (913) 217-6000
RANCHO CALIFORNIA WATER DISTRICT (951) 296-6900
SOUTHERN CALIFORNIA GAS (800) 427-7000
SOUTHERN CALIFORNIA Edison (800) 455-4555
TIME WARNER CABLE (888) 992-2253
CHARTER COMMUNICATIONS (877) 906-5121

BASIS OF BEARINGS

THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (NAD83 2011)
EPOCH 2010.00, COUNTY OF RIVERSIDE ZONE 6, AS
DETERMINED LOCALLY BY A TIE BETWEEN CONTIGUOUSLY
OPERATING REFERENCE STATIONS (CORS) "T471" AND "B11"
AS SHOWN HEREON, T11.E. N 28° 53' 23" E).

SITE DATA

- APN 964-WO-021
- STREET ADDRESS: N/A
- LEGAL DESCRIPTION: LOT 23 OF TRACT MAP NO. 37368 AS FILED IN BOOK 342, PAGES 73 THROUGH 85, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, LYING WITHIN SECTION 21, TOWNSHIP 7 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN.
- ZONING DESIGNATION: SP-11 (RORIPAUGH RANCH SPECIFIC PLAN)
- GENERAL PLAN DESIGNATION: SPECIFIC PLAN IMPLEMENTATION (SPI)
- EXISTING LAND USE: VACANT
- TOTAL GROSS AREA: 171,310 SF 3.9 AC
- TOTAL NET AREA: 171,294 SF 3.9 AC
- TOTAL BUILDING AREA: 15,557 SF 0.5 AC
- CLUBHOUSE: 5,615 SF
- BARN: 3,364 SF
- POOL BUILDING: 7,543 SF
- BUNGALOW 1 (PLAN 2C1): 1,037 SF
- BUNGALOW 2 (PLAN 1B1): 961 SF
- BUNGALOW 3 (PLAN 2A1): 1,037 SF
- LOT COVERAGES: SQUARE FEET PERCENTAGE
- BUILDING AREA: 15,557 9%
- PARKING AREA: 34,530 20%
- LANDSCAPING AREA: 55,565 32%
- PARKING: NUMBER OF DISABLED SPACES 3
- REQUIRED NUMBER OF DISABLED SPACES: 3
- TOTAL PARKING: 70
- DISABLED PARKING SPACES ALLOCATED PER BUILDING: CLUBHOUSE: 2, BARN: 1, POOL BUILDING: 1, BUNGALOW 1: 1, BUNGALOW 2: 1, BUNGALOW 3: 1
- OCCUPANCY CLASSIFICATION PER UNIFORM BUILDING CODE: CLUBHOUSE, POOL/FITNESS BUILDING, AND BARN: A-3, BUNGALOW/FARM HOUSES: R-2
- TYPE OF CONSTRUCTION PER UNIFORM BUILDING CODE: TYPE V - NON RATED (ALL BUILDINGS)
- ALL BUILDINGS HAVE FIRE SPRINKLERS - NFPA 13
- NUMBER OF STORIES: 1 (ALL BUILDINGS)
- CLUBHOUSE: OVERALL HEIGHT: 37'-0"
- BARN: OVERALL HEIGHT: 24'-5"
- POOL BUILDING: OVERALL HEIGHT: 25'-5"
- BUNGALOW (PLAN 1B1): OVERALL HEIGHT: 17'-0"
- FARM HOUSE (PLAN 2A1): OVERALL HEIGHT: 17'-5"
- FARM HOUSE (PLAN 2C1): OVERALL HEIGHT: 17'-5"



ACCESSIBILITY ENTRANCE SIGN

NO SCALE

LEGEND

***** ADA PATH OF TRAVEL

ALL PROPERTY LINES, EASEMENTS
AND BUILDINGS, EXISTING AND
PROPOSED, ARE SHOWN ON THIS
SITE PLAN.



TYPICAL SECTION A-A: DRIVE AISLE

NO SCALE

NOTE: DRIVEWAY WILL BE PRIVATELY MAINTAINED.

TRACT NO. 37368 - LOT 23

SOMMERS BEND RECREATION CENTER (PA 30)

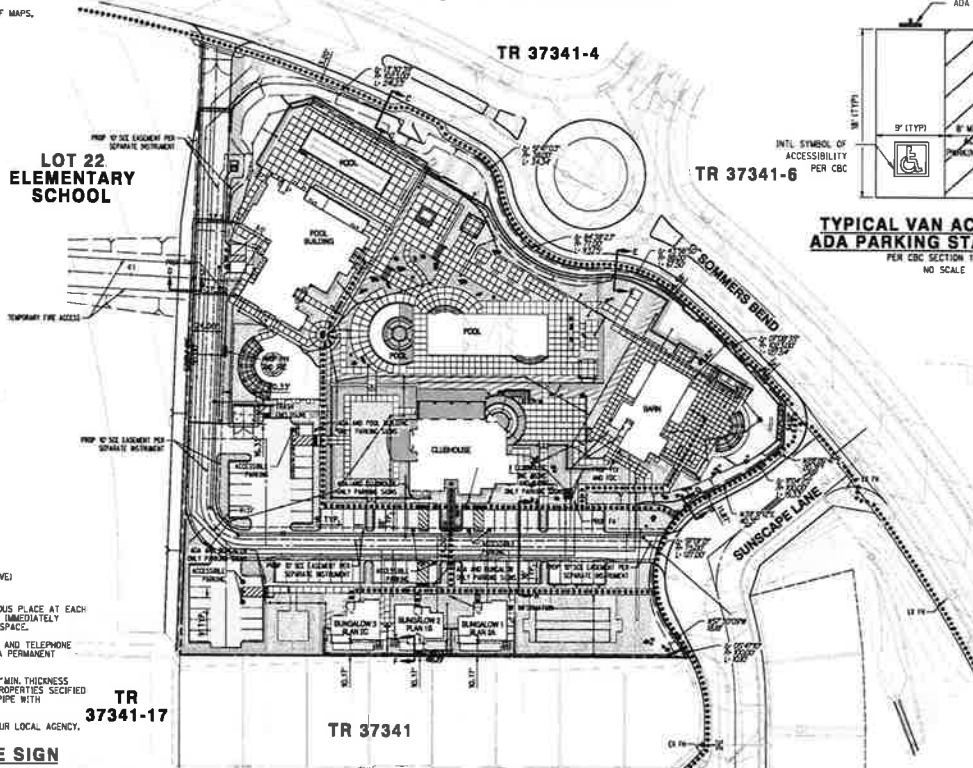
SITE PLAN
ALTERNATIVE OPTION A

TYPICAL SECTION B-B: DRIVE AISLE

NO SCALE

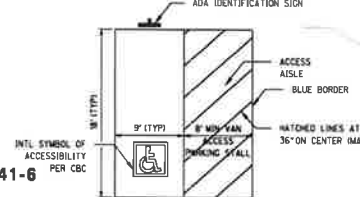
NOTE: DRIVEWAY WILL BE PRIVATELY MAINTAINED.

LOT 22
ELEMENTARY
SCHOOL



TYPICAL PARKING STRIPING DETAIL

NO SCALE



TYPICAL VAN ACCESSIBLE ADA PARKING STALL DETAIL

PER CBC SECTION 11B-502

NO SCALE

SECTION D-D

NO SCALE

SECTION E-E

NO SCALE

SECTION F-F

NO SCALE

SECTION G-G

NO SCALE

SECTION C-C

NO SCALE

ADA IDENTIFICATION PARKING SIGN

NO SCALE

REVISIONS	BY	DATE
1. PRELIMINARY	RTKX	11/14/2018
2. REVISION	RTKX	11/14/2018
3. REVISION	RTKX	11/14/2018
4. REVISION	RTKX	11/14/2018
5. REVISION	RTKX	11/14/2018
6. REVISION	RTKX	11/14/2018
7. REVISION	RTKX	11/14/2018
8. REVISION	RTKX	11/14/2018
9. REVISION	RTKX	11/14/2018
10. REVISION	RTKX	11/14/2018

REVISIONS		
NO.	DATE	DESCRIPTION

FRONT
ELEVATIONS

PROJECT MANAGER	DP
DRAWN BY	DP
REVIEWED BY	DP
DATE OF SUBMITTAL	09/13/19
DATE OF MODIFICATION	
DATE OF REVISION	
DATE OF REVISION	
DATE	09/13/19
SHEET	A1



BARN HOUSE
SOUTH ELEVATION



CLUB HOUSE
SOUTH ELEVATION



Note: Artist's Conception; Colors, Materials
And Application May Vary.

POOL/FITNESS
EAST ELEVATION

SCALE: 1/8" = 1'- 0"

SOMMER'S BEND
TEMECULA, CA

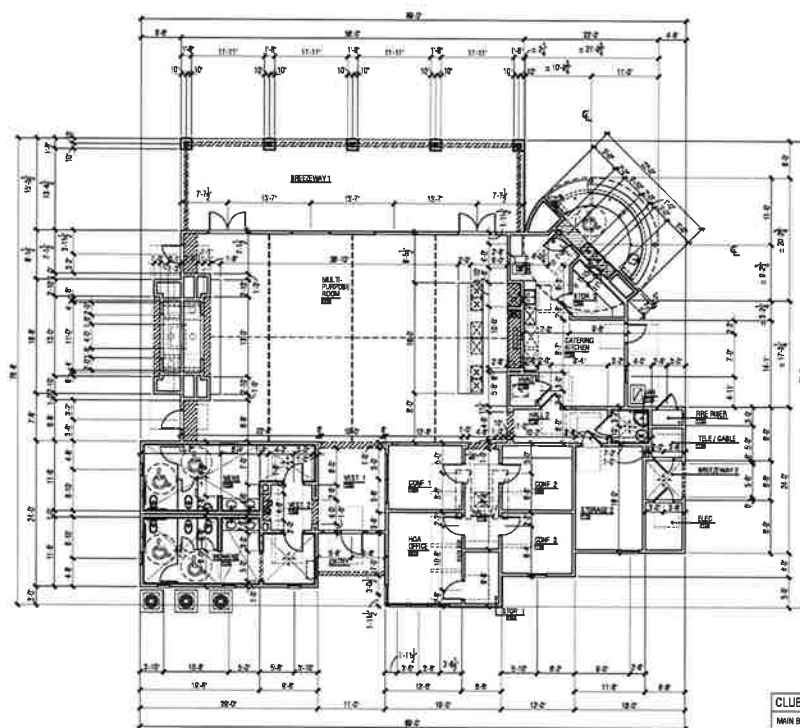
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NO.	DATE	DESCRIPTION
1	09/13/19	REVISIONS
2		
3		
4		
5		
6		
7		
8		
9		
10		

CLUB HOUSE FLOOR PLAN

PROJECT NUMBER	DATE
2000001	09/13/19
DESIGN BY	09/13/19
REVISIONS BY	09/13/19
1" = 8' 0" (SEE SHEET 20-01)	09/13/19
ELECTRICAL	09/13/19
MECHANICAL	09/13/19
PLUMBING	09/13/19

DATE: 09/13/19 SHEET: A1.1.1



CLUBHOUSE BUILDING FLOOR AREA TABLE	
MAIN BUILDING FLOOR PLAN	4882 SQ. FT.
BREEZEWAY 1	842 SQ. FT.
BREEZEWAY 2	42 SQ. FT.
ENTRY	77 SQ. FT.
TOTAL	5843 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

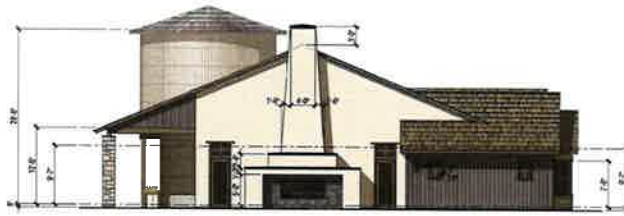
2. REFER TO SHEET A1.1.2 FOR WINDOW AND DOOR SCHEDULES
3. REFER TO SHEET A1.1.3 FOR OTHER PENETRATIONS FROM WATER, GAS, ELECTRICAL, HVAC, ETC.

SCALE: 1/8" = 1'-0"

FLOOR PLAN



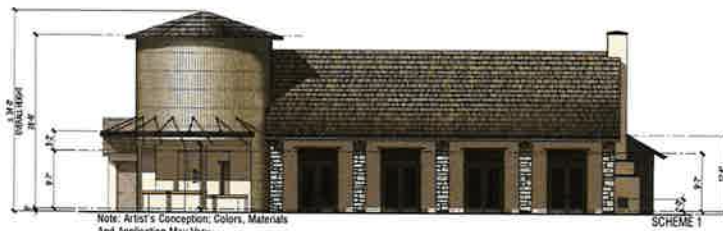
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

ELEVATION KEY NOTES	
KEYNOTE	DESCRIPTION
1	1. DENOTES EXTERIOR ELEVATION NOTES - TYPICAL
2	2. STANDING SEAM METAL ROOF MATERIAL - REFER TO ROOF PLAN
3	3. 2" x 4" BARGE BOARD
4	4. 2" x 4" FASCIA BOARD
5	5. GUTTER OVER 2" x 4" FASCIA - GUTTERS AND DOWNSPOUTS TO BE FACTORY FINISH AND SHALL BE CONNECTED TO UNDERGROUND DRAINAGE SYSTEM - REFER TO CIVIL DRAWINGS
6	6. GUTTERS TO BE 5" HALF ROUND DOWNSPOUTS TO BE 2" DIAMETER
7	7. CHIMNEY CAP
8	8. INDICATES LINE OF C.I. WALL FLASHING
9	9. C-COAT STUCCO SYSTEM - REFER TO SPECIFICATIONS SECTION 0500 ON SHEET 005
10	10. STAIN COAT STUCCO OVER CONCRETE LOW WALL
11	11. ALLOW TRADITIONAL P-SPROUSE VERTICAL PANEL SIDING - REFER TO EXTERIOR COLORS AND MATERIALS PALETTE - ON A-COAT - INSTALL PER MFR. INSTRUCTIONS
12	12. OPAQUE BRICKS BOND FORM - REFER TO EXTERIOR COLORS AND MATERIALS PALETTE - ON A-COAT - INSTALL PER MFR. INSTRUCTIONS
13	13. ADHESIVELY APPLIED MANUFACTURED STONE VENEER OVER BROWN COAT - REFER TO EXTERIOR COLORS AND MATERIALS PALETTE - ON A-COAT - INSTALL PER MFR. INSTRUCTIONS
14	14. FINISH NOT SHOWN - VERIFY LOCATION WITH SECURITY DRAWINGS - REFER TO DETAIL 600.1
15	15. MOUNTED POLYURETHANE DECORATIVE TRIM WITH RESAWN WOOD GRAIN TEXTURE - REFER TO DETAIL
16	16. RESAWN WOOD TRIM SIZE AS INDICATED - REFER TO DETAIL
17	17. METAL LOCKDOWN VENT - SEE PER ELEVATION
18	18. METAL WINDING TRIM AND PAINT - SEE DETAIL 18.04.1
19	19. INDICATES ELECTRICAL LIGHT FOOTING - REFER TO ELECTRICAL DRAWINGS - MAINTAIN 6" (MIN.) FROM TOP OF FOUNDATION SURFACE TO BOTTOM OF FOOTING
20	20. BUILDING ADDRESS LOCATION - THE BUILDINGS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST WITH THEIR BACKGROUND. BE A MINIMUM OF 12 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/8 INCH
21	21. WOOD POST - REFER TO STRUCTURAL DRAWINGS
22	22. WOOD BEAM - REFER TO STRUCTURAL DRAWINGS
23	23. STEEL COLUMN - REFER TO STRUCTURAL DRAWINGS
24	24. LOCATION OF FIRE MANUFACTURED IMPULSION CHIMNEY METAL HORIZONTAL TERMINATION CAP
25	25. TUBE STEEL GATE - REFER TO DETAIL 104.1
26	26. WALL CAP - REFER TO DETAIL 104.1 - INSTALL PER MFR. INSTRUCTIONS
27	27. HIGH AND LOW DRAINAGE WATER FOUNTAIN - REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION - INSTALLATION SHALL COMPLY WITH C.B.C. SECTION 11B AND 11C
28	28. LOCATION OF CORNER, SHOWER, RECESSED EYE WASH - HAWS MODEL NO. 8500000, OR APPROVED EQUAL
29	29. BARN DOOR TOP TRACK

- ELEVATION NOTES
1. ALL VENTILATION OPENINGS SHALL BE PROTECTED BY WIRE MESH THAT MEETS THE FOLLOWING:
 - A. THE DIMENSIONS OF THE OPENING SHALL BE A MINIMUM OF 1/4" AND SHALL NOT EXCEED 1/4"
 - B. MATERIALS USED SHALL BE NON-CORROSIVE MESH
 2. FOR EXTERIOR PENETRATIONS FROM WATER, GAS, ELECTRICAL, HVAC, ETC., REFER TO DETAILS:
 - 104.1 ELECTRICAL
 - 704.1 HVAC
 - 1304.1 PLUMBING
 3. PRIME AND BACKPRIME FOR PAINTED FINISH. ALL EXPOSED WOOD ON THE EXTERIOR, INCLUDING FIELD CUTS, PRIOR TO INSTALLATION.
 4. WHERE BUILDING PAPER (WEATHER RESISTIVE BARRIER) IS BEING INSTALLED OVER EXPOSED STRUCTURAL HARDWARE, COVER THE HARDWARE WITH 2" x 4" ADHERED FLASHING MEMBRANE PRIOR TO INSTALLATION OF BUILDING PAPER TO PREVENT PUNCTURING THE BUILDING PAPER DURING THE INSTALLATION OF THE FINISH EXTERIOR BUILDING MATERIAL.
 5. ALL EXTERIOR ATTACHMENTS WITH LAG BOLTS, SCREWS, ETC. SUCH AS, BUT NOT LIMITED TO, DOWNSPOUTS AND GUTTERS SHALL BE PRE-DRILLED AND FILLED WITH SEALANT UNTIL SQUEEZE OUT OCCURS

REVISIONS		
NO.	DATE	DESCRIPTION

CLUB
HOUSE
ELEVATIONS

PROJECT MANAGER:	DR
DESIGNER:	
CHECKED BY:	
REVIEWED BY:	
1ST BLUE PRINT SUBMITTAL:	05/19/19
2ND BLUE PRINT SUBMITTAL:	
3RD BLUE PRINT SUBMITTAL:	
DATE:	09/13/19
SHEET:	A1.4.1

SCALE: 1/8" = 1'-0"



WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
 RIVERSIDE, CA

PLANNING AREA 30
 APN# 964-180-021 / PA19-0268

SOMMER'S BEND
 TEMECULA, CA

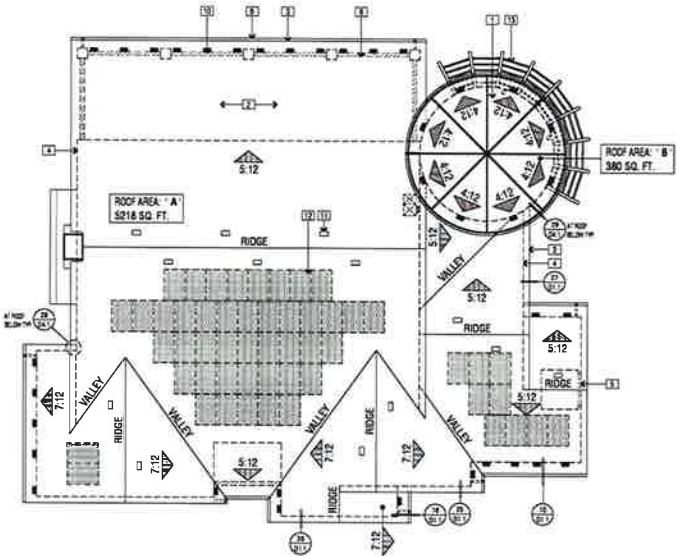
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REVISIONS		
NO.	DATE	DESCRIPTION

CLUB
 HOUSE
 ROOF PLAN

PROJECT MANAGER:	JD
DRAWN BY:	
REVIEWED BY:	
1ST BLUE PRINT SUBMITTAL:	09/19/19
REVISIONS:	
DATE:	09/13/19
SHEET:	A1.4.2

DEVELOPMENTAL PLAN SUBMITTAL #4



ROOF PLAN

SCALE: 1/8" = 1'-0"

SOMMER'S BEND
 TEMECULA, CA

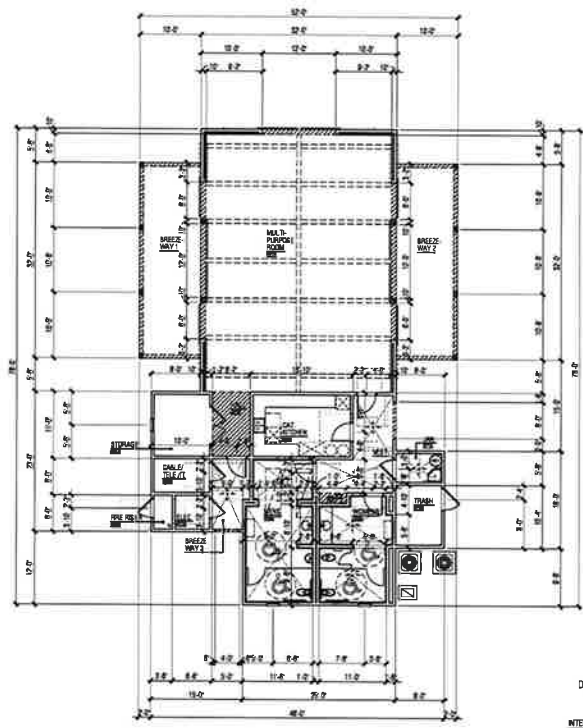
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NO.	DATE	DESCRIPTION

**BARN
HOUSE
FLOOR PLAN**

PROJECT MANAGER	
DESIGNER	
REVIEWER	
DATE OF SUBMITTAL	
DATE OF CONSTRUCTION	
JOB NUMBER	
DRAWN BY	
CHECKED BY	
DATE	07/22/19
SHEET	A2.1.1

DEVELOPMENTAL PLAN SUBMITTAL #3



BARN HOUSE BUILDING FLOOR AREA TABLE	
MAIN BUILDING FLOOR PLAN	2506 SQ. FT.
BREEZEWAY 1	320 SQ. FT.
BREEZEWAY 2	320 SQ. FT.
BREEZEWAY 3	66 SQ. FT.
VESTIBULE	190 SQ. FT.
TOTAL	3384 SQ. FT.

FLOOR PLAN

SCALE: 1/8" = 1'-0"



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



Note: Artist's Conception; Colors, Materials
And Application May Vary.

SCHEME 1

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

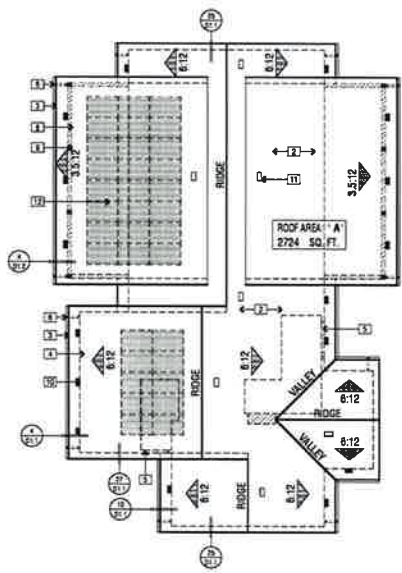
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DATE: 08/21/19 BY: WHA/PLANNING

REVISIONS

NO.	DATE	DESCRIPTION

**BARN
HOUSE
ELEVATIONS**

PROJECT MANAGER:	DP
DESIGNER:	DP
DRAWN BY:	DP
REVIEWED BY:	DP
TITLE BLOCK SUBMITTAL:	09/13
REVISIONS:	
DATE:	09/13/19
SHEET:	A2.4.1



ROOF PLAN

SCALE: 1/8" = 1'- 0"

REVISIONS

NO.	DATE	DESCRIPTION

BARN HOUSE ROOF PLAN

PROJECT MANAGER	DP
DESIGNER	DP
DRAWN BY	DP
REVIEWED BY	DP
DATE OF SUBMITTAL	09/13/19
DATE OF CONSTRUCTION	
DATE OF SALE	
DATE OF SALE	
DATE	09/13/19
SHEET	A2.4.2

B D J. WILLIAM FEDERAL POLICE AND SPECIAL AGENT

POOL/
FITNESS
FLOOR PLAN

DATE	SHEET
09/13/19	A3.1.1

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/8" = 1'-0"

FLOOR PLAN



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



Note: Artist's Conception; Colors, Materials
And Application May Vary.

SCHEME 1

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION

POOL/
FITNESS
ELEVATIONS

PROJECT NUMBER	01
OWNER	
DESIGN BY	
REVIEWED BY	
DATE OF SUBMITTAL	09/13
DESIGNER'S CONTACT	
CONTRACT	
DATE	09/13/19
SHEET	A3.4.1



WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
 RIVERSIDE, CA

PLANNING AREA 30
 APN# 964-180-021 / PA19-0268

SOMMER'S BEND
 TEMECULA, CA

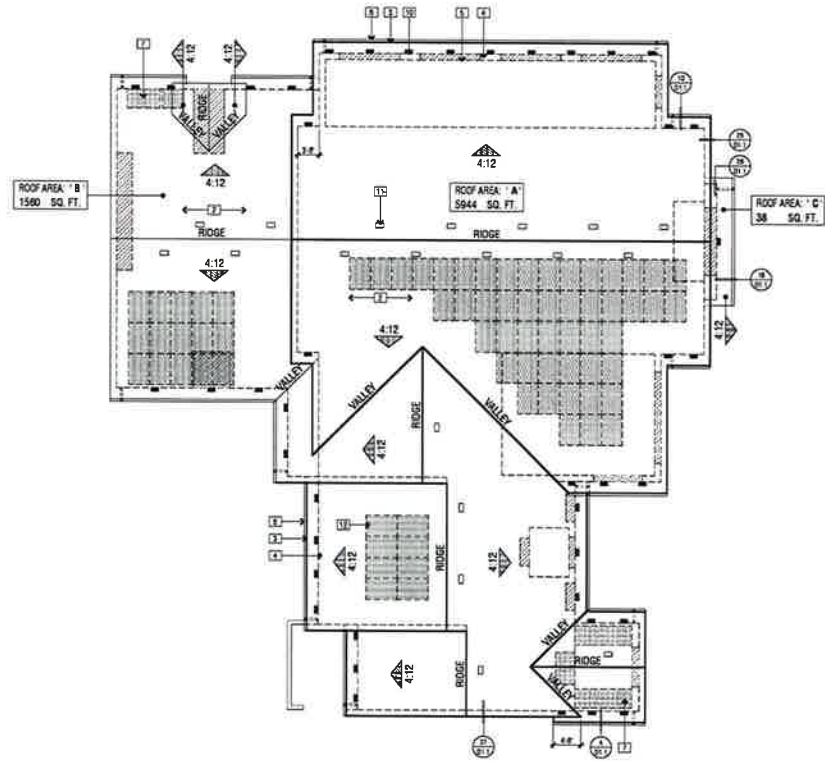
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REVISIONS		
NO.	DATE	DESCRIPTION

POOL/
 FITNESS
 ROOF PLAN

PROJECT MANAGER	DP
DESIGNER	-
ARCHITECT	-
STATUS: SPT SUBMITTAL	SPT/PA
REASON FOR SUBMITTAL	-
JOB NUMBER	-
DATE: 09/13/19	SHEET: A3.4.2

DEVELOPMENTAL PLAN SUBMITTAL #4



ROOF PLAN

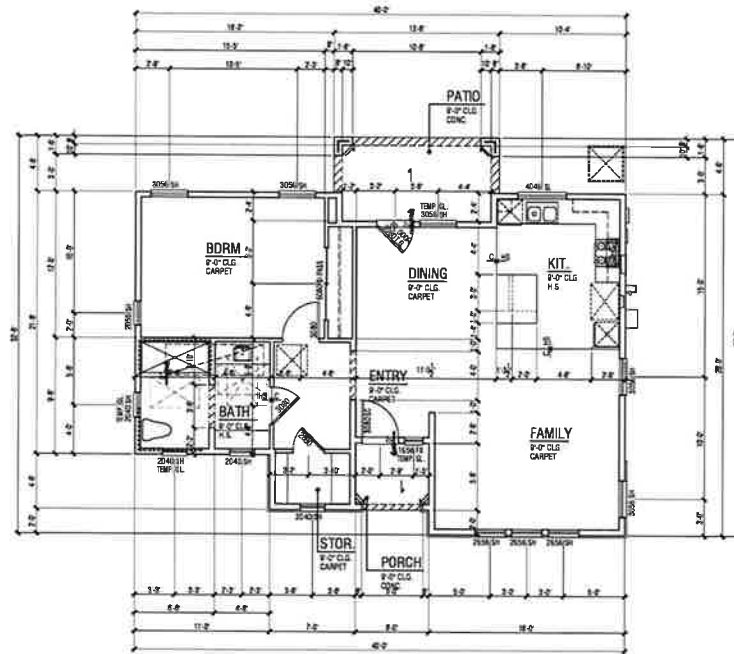
SCALE: 1/8" = 1'-0"



WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
 RIVERSIDE, CA

SOMMER'S BEND
 TEMECULA, CA

PLANNING AREA 30
 APN# 954-180-021 / PA19-0268



PLAN 1B - FLOOR PLAN

FLOOR AREA TABLE	BUNGALOW 2 (1B)
FLOOR PLAN	981 SQ. FT.
PORCH	33 SQ. FT.
PATIO	89 SQ. FT.
TOTAL BUILDING SQUARE FOOTAGE	1083 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

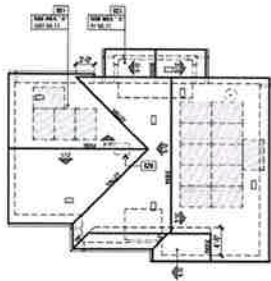
BY: JEFFREY H. HARRIS, ARCHITECT, INC. 00000000
 PROJECT NO. 19-0268
 DATE: 09/13/19

REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 1B
 BUNGALOW
 FLOOR
 PLAN

PROJECT NUMBER	30
DESIGNER	
DRAWN BY	
REVIEWED BY	
DATE OF SUBMITTAL	09/13/19
DATE OF CONSTRUCTION	
JOB NUMBER	
DRAWING NAME	1B10401
DATE	09/13/19
SHEET	A4.1.1

DEVELOPMENTAL PLAN SUBMITTAL #4



ROOF PLAN SCALE: 1/8" = 1'-0"

SHEET NO. 18		PROJECT NO. 18		DATE 09/13/19	
CONCRETE FLAT TILE		2X8		2X8	
1'-0"		1'-0"		1'-0"	



REAR



Note: Artist's Conception; Colors, Materials And Application May Vary.

SCHEME 4

FRONT

SCALE: 1/4" = 1'-0"



SOMMER'S BEND
TEMECULA, CA

WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
RIVERSIDE, CA

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REVISIONS		
NO.	DATE	DESCRIPTION

ELEVATIONS
& ROOF PLAN
PLAN 1B

PROJECT NUMBER	18
DESIGNED BY	
DRAWN BY	
REVIEWED BY	
DATE OF SUBMITTAL	09/13/19
PROJECT MANAGER	
DATE	09/13/19
SHEET	A4.4.1

DEVELOPMENTAL PLAN SUBMITTAL #4



LEFT



Note: Artist's Conception; Colors, Materials
And Application May Vary.

RIGHT



SOMMER'S BEND
TEMECULA, CA

WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
RIVERSIDE, CA

PLANNING AREA 30
APN# 964-180-021 / PA19-0268

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REVISIONS		
NO.	DATE	DESCRIPTION

ELEVATIONS
PLAN 18

PROJECT NUMBER:	01
DESIGN BY:	-
REVISIONS BY:	-
1ST & 2ND SUBMITTAL:	09/09
3RD SUBMITTAL:	-
DATE:	09/13/19
SHEET:	A4.4.2

SCALE: 1/4" = 1'- 0"



PLAN 2A

SCHEME 3



Note: Artist's Conception; Colors, Materials
And Application May Vary.

PLAN 2C

SCHEME 7

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS
& ROOF PLAN
PLAN 2A

PROJECT NUMBER	30
DESIGNED BY	
REVIEWED BY	
DATE OF SUBMITTAL	09/19
DESIGNED FOR	
DATE OF CONSTRUCTION	
DATE OF REVIEW	
DATE OF APPROVAL	
DATE	09/13/19
SHEET	A5

SCALE: 1/4" = 1'- 0"

SOMMER'S BEND
TEMECULA, CA

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REVISIONS

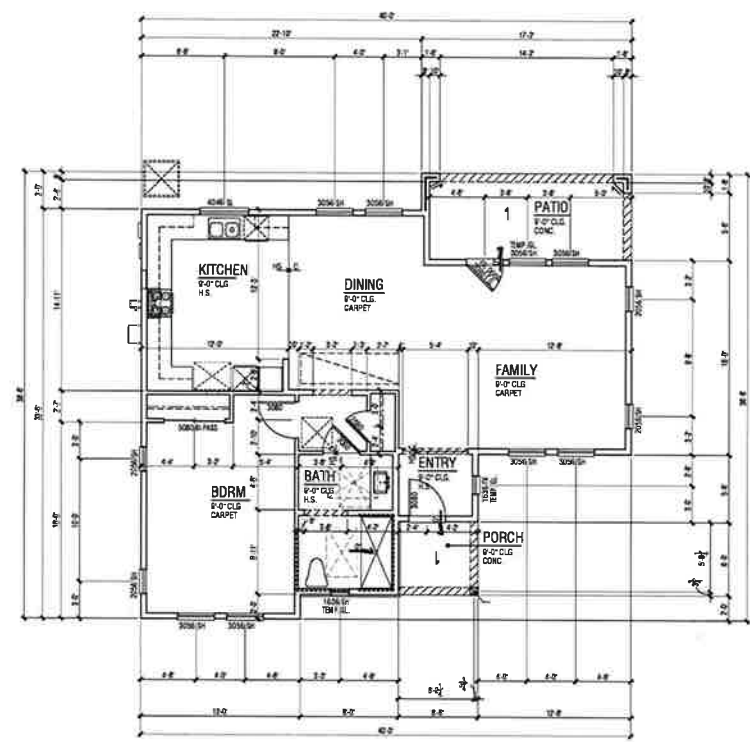
NO.	DATE	DESCRIPTION

**PLAN 2A
FARM
FLOOR
PLAN**

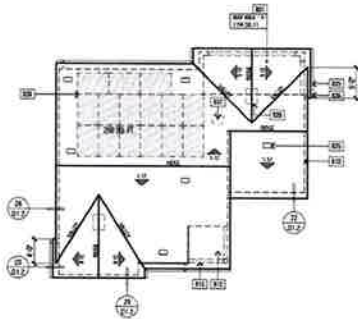
FLOOR AREA TABLE	BUNGALOW 1(2A)
FLOOR PLAN	1027 SQ. FT.
PORCH	39 SQ. FT.
PATIO	118 SQ. FT.
TOTAL BUILDING SQUARE FOOTAGE	1194 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'- 0"



PLAN 2A - FLOOR PLAN



ROOF PLAN

SCALE: 1/8" = 1'-0"

DESCRIPTION	AREA	PERIMETER	NOTES
CONCRETE FLAT TILE	2X8	2X8	1'-0" 6"



REAR



Note: Artist's Conception; Colors, Materials
And Application May Vary.

SCHEME 3

FRONT

SCALE: 1/4" = 1'-0"

SOMMER'S BEND TEMECULA, CA

WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
RIVERSIDE, CA
PLANNING AREA 30
APN# 964-180-021 / PA19-0288

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REVISIONS		
NO.	DATE	DESCRIPTION

ELEVATIONS
& ROOF PLAN
PLAN 2A

PROJECT NUMBER	30
OWNER	
DESIGNER	
REVISIONS	
DATE OF SUBMITTAL	09/13/19
DATE OF CONSTRUCTION	
DATE	09/13/19
SHEET	A5.4.1

FURNISH GRADE VARIOUS. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ELEVATION KEY NOTES



SOMMER'S BEND
TEMECULA, CA

WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
RIVERSIDE, CA

PLANNING AREA 30
APN# 964-180-021 / PA19-0268

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REVISIONS		
NO.	DATE	DESCRIPTION

ELEVATIONS
PLAN 2A

PROJECT MANAGER	DR
DESIGNER	
DRAWN BY	
REVIEWED BY	
DATE OF SUBMITTAL	09/13/19
REVISIONS	
DATE	
DATE	09/13/19
SHEET	A5.4.2

SCALE: 1/4" = 1'- 0"



LEFT



Note: Artist's Conception; Colors, Materials
And Application May Vary.

RIGHT

WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
RIVERSIDE, CA
APN# 964-180-021 / PA19-0268
PLANNING AREA 30

SOMMER'S BEND
TEMECULA, CA

5.5.1 DEVELOPMENTAL PLAN SUBMITTAL #4

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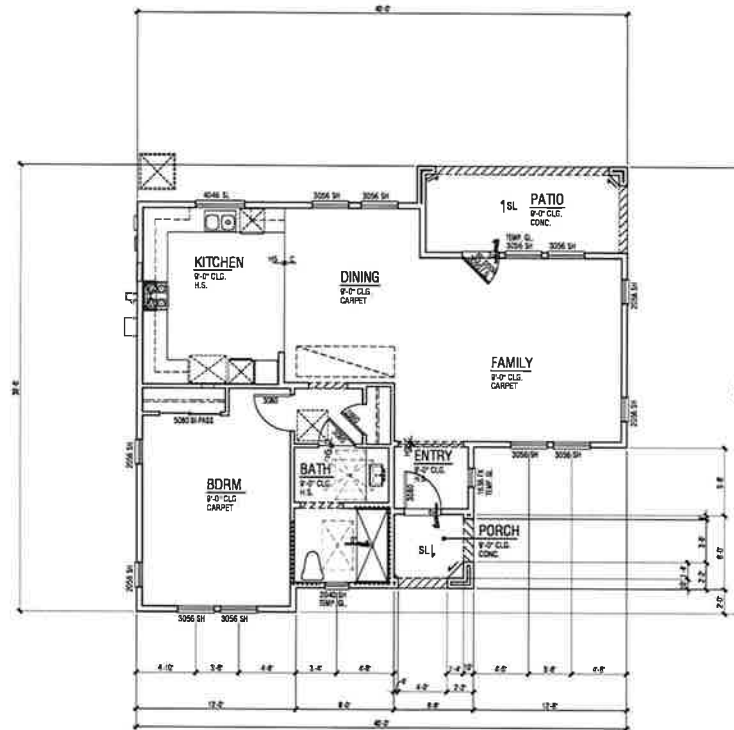
REVISIONS

[illegible]

PLAN 2C
FARM
FLOOR
PLAN

PROJECT NUMBER	00
DESIGNER	
DRAWN BY	
REVISIONS	
EST. BLDG. DEPT. & LUMINAL	00/000
EST. BLDG. FOR CONSTRUCTION	
JOB NUMBER	00
DRAWING NAME	00-0000

DATE	SHEET
09/13/19	A5.5.1

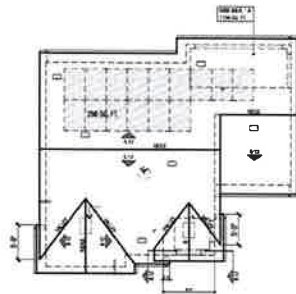


PLAN 2C - FLOOR PLAN

FLOOR AREA TABLE	BUNGALOW 3 (2C)
FLOORPLAN	1097 SQ. FT.
PORCH	28 SQ. FT.
PATIO	118 SQ. FT.
TOTAL BUILDING SQUARE FOOTAGE	1164 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"



ROOF PLAN SCALE: 1/8" = 1'-0"

CLIMATE ZONE	C	CEILING INSULATION	FARM
ROOF MATERIAL	CONCRETE FLAT TILE	2X3	2X8
CEILING INSULATION	1" GYPSUM	1'-0"	1'-0"



REAR



Note: Artist's Conception; Colors, Materials And Application May Vary.

SCHEME 7

FRONT

SCALE: 1/4" = 1'-0"

SOMMER'S BEND
TEMECULA, CA

WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
RIVERSIDE, CA
PLANNING AREA 30
APN# 964-180-021 / PA19-0288

REVISIONS

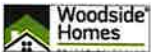
NO.	DATE	DESCRIPTION

ELEVATIONS & ROOF PLAN PLAN 2C

PROJECT MANAGER	DR
DESIGNER	
DRAWN BY	
REVIEWED BY	
DATE OF SUBMITTAL	09/13/19
DESIGN OR CONSTRUCTION	
DESIGNER	
DATE OF SUBMITTAL	09/13/19
DATE	09/13/19
SHEET	A5.6.1

FINISHED GRADE VARIOUS, SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE

ELEVATION KEY NOTES



WOODSIDE HOMES - SOUTHERN CALIFORNIA DIVISION
RIVERSIDE, CA

SOMMER'S BEND
TEMECULA, CA

PLANNING AREA 30
APN# 964-180-021 / PA19-0268



LEFT



Note: Artist's Conception; Colors, Materials And Application May Vary.

RIGHT

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS
PLAN 2C

PROJECT MANAGER	DP
DRAWN BY	
CHECKED BY	
DATE OF SUBMITTAL	09/13/19
DATE OF CONSTRUCTION	
DATE OF SURVEY	
CAD FILE NAME	1909130000
DATE	09/13/19
SHEET	A5.6.2

DEVELOPMENTAL PLAN SUBMITTAL #4

SOMMERS BEND
Temecula, California
WOODSIDE HOMES
1/18/19 | 2019187
PAGE 1

Exterior Color & Materials

SCHEME 1 CLUBHOUSE, BARN HOUSE, POOL/UTENSILS

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4880	Eagle
Stone Veneer @ Chalkboard, Wine (factory finish)	Zinc Gray	Custom Bilt Media
Windows & Doors (factory finish)	Sandstone	Anderson - 300 Series
Butters & Downspouts (factory finish)	Paint to match adjacent color	Sherrin Williams
Natural Stone (field, light joints)	Serisy - Quarry Chert Ledge	Creative Mines
Manufactured Stone (field, light joints)	Alpaca - Craft Orchard Limestone	Creative Mines
Column Cap @ Manufactured Stone	Butlap	Creative Mines
Wall Cap	Butlap - Hartmanns (Dressed)	Creative Mines
Mortar @ Stone	Mac Soft Tan	Orco
Manufactured Stone @ Mix (half joints)	Barrewood - Craft Board Form	Creative Mines
Mosaic @ 20/20 (half joints)	Match Sherrin Williams SW 6147 Porcelain White	Omega
Vertical Siding	Granite Peak Timber Series	Allura
Trim Color #1 (Applied to): Fascia Felted Trim	SW 7028 Vertical Tape	Sherrin Williams
Trim Color #2 (Applied to): Mosaic Trim	SW 7021 Mega Grigio	Sherrin Williams
Metal Siding/Decorative Metal	SW 7025 Black Ink	Sherrin Williams
Porcelain Tile @ Outdoor Fireplace	Colorstar 6125 - 6887 Imperial Gray 6x6 and 12x12	Daltile
Grout @ Porcelain Tile	DE Natural Gray	Custom Building Products

NOTE: Verify that all exterior colors selected meet the minimum color requirements for the project. Contact your local building department for more information.

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REVISIONS:

Number	Date	Description
1	09/13/19	Color and material selection for exterior finish.
2	09/13/19	Color and material selection for exterior finish.
3	09/13/19	Color and material selection for exterior finish.

SOMMERS BEND
Temecula, California
WOODSIDE HOMES
1/18/19 | 2019187
PAGE 2

Exterior Color & Materials

SCHEME 3 PLAN 2A FARM ELEVATION

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4880	Eagle
Stone Veneer @ Chalkboard, Wine (factory finish)	Sandstone	Anderson
Butters & Downspouts (factory finish)	Paint to match adjacent color	Sherrin Williams
Natural Stone (field, light joints)	Granite - Craft Orchard Limestone	Creative Mines
Manufactured Stone (field, light joints)	Butlap	Creative Mines
Column Cap @ Stone	Mac Soft Tan	Orco
Mortar @ Stone	Match Sherrin Williams SW 6156 Rustic	Omega
Vertical Siding	Granite Peak Timber Series	Allura
Trim Color #1 (Applied to): Fascia Felted Trim	SW 7028 Vertical Tape	Sherrin Williams
Trim Color #2 (Applied to): Mosaic Trim	SW 7021 Mega Grigio	Sherrin Williams
Metal Siding/Decorative Metal	SW 7025 Black Ink	Sherrin Williams
Porcelain Tile @ Outdoor Fireplace	Colorstar 6125 - 6887 Imperial Gray 6x6 and 12x12	Daltile
Grout @ Porcelain Tile	DE Natural Gray	Custom Building Products

NOTE: Verify that all exterior colors selected meet the minimum color requirements for the project. Contact your local building department for more information.

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REVISIONS:

Number	Date	Description
1	09/13/19	Color and material selection for exterior finish.
2	09/13/19	Color and material selection for exterior finish.
3	09/13/19	Color and material selection for exterior finish.

SOMMERS BEND
Temecula, California
WOODSIDE HOMES
1/18/19 | 2019187
PAGE 3

Exterior Color & Materials

SCHEME 4 PLAN 1B BUNGALOW ELEVATION

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	5688 Brown Range	Eagle
Stone Veneer @ Chalkboard, Wine (factory finish)	Sandstone	Anderson
Butters & Downspouts (factory finish)	Paint to match adjacent color	Sherrin Williams
Natural Stone (field, light joints)	Granite - Craft Orchard Limestone	Creative Mines
Manufactured Stone (field, light joints)	Butlap	Creative Mines
Column Cap @ Stone	Mac Soft Tan	Orco
Mortar @ Stone	Match Sherrin Williams SW 7043 Imperial Gray	Omega
Vertical Siding	Granite Peak Timber Series	Allura
Trim Color #1 (Applied to): Fascia Felted Trim	SW 7028 Vertical Tape	Sherrin Williams
Trim Color #2 (Applied to): Mosaic Trim	SW 7021 Mega Grigio	Sherrin Williams
Metal Siding/Decorative Metal	SW 7025 Black Ink	Sherrin Williams
Porcelain Tile @ Outdoor Fireplace	Colorstar 6125 - 6887 Imperial Gray 6x6 and 12x12	Daltile
Grout @ Porcelain Tile	DE Natural Gray	Custom Building Products

NOTE: Verify that all exterior colors selected meet the minimum color requirements for the project. Contact your local building department for more information.

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REVISIONS:

Number	Date	Description
1	09/13/19	Color and material selection for exterior finish.
2	09/13/19	Color and material selection for exterior finish.
3	09/13/19	Color and material selection for exterior finish.

SOMMERS BEND
Temecula, California
WOODSIDE HOMES
1/18/19 | 2019187
PAGE 4

Exterior Color & Materials

SCHEME 5 PLAN 2C FARM ELEVATION

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4880 Brown Gray Range	Eagle
Stone Veneer @ Chalkboard, Wine (factory finish)	Sandstone	Anderson
Butters & Downspouts (factory finish)	Paint to match adjacent color	Sherrin Williams
Natural Stone (field, light joints)	Granite - Craft Orchard Limestone	Creative Mines
Manufactured Stone (field, light joints)	Butlap	Creative Mines
Column Cap @ Stone	Mac Soft Tan	Orco
Mortar @ Stone	Match Sherrin Williams SW 7043 Imperial Gray	Omega
Vertical Siding	Granite Peak Timber Series	Allura
Trim Color #1 (Applied to): Fascia Felted Trim	SW 7028 Vertical Tape	Sherrin Williams
Trim Color #2 (Applied to): Mosaic Trim	SW 7021 Mega Grigio	Sherrin Williams
Metal Siding/Decorative Metal	SW 7025 Black Ink	Sherrin Williams
Porcelain Tile @ Outdoor Fireplace	Colorstar 6125 - 6887 Imperial Gray 6x6 and 12x12	Daltile
Grout @ Porcelain Tile	DE Natural Gray	Custom Building Products

NOTE: Verify that all exterior colors selected meet the minimum color requirements for the project. Contact your local building department for more information.

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REVISIONS:

Number	Date	Description
1	09/13/19	Color and material selection for exterior finish.
2	09/13/19	Color and material selection for exterior finish.
3	09/13/19	Color and material selection for exterior finish.

DEVELOPER/OWNER

WOODSIDE HOMES
11810 PIERCE STREET, SUITE 250
RIVERSIDE, CA 92505
PHONE: 951-710-1816
CONTACT: TRENT HEINER

ENGINEER

RICK ENGINEERING COMPANY
1770 IONA AVE, SUITE 100
RIVERSIDE, CA 92507
PHONE: 951-782-0707
FAX: 951-782-0723

NOTIFICATION

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES 48 HOURS PRIOR TO STARTING CONSTRUCTION OR EXCAVATION:
EASTERN MUNICIPAL WATER DISTRICT: (951) 528-3177
METROPOLITAN WATER DISTRICT: (951) 217-6000
RANCHO CALIFORNIA WATER DISTRICT: (951) 296-6900
SOUTHERN CALIFORNIA GAS: (800) 427-2200
SOUTHERN CALIFORNIA EDISON: (800) 655-4555
TIME WARNER CABLE: (888) 692-2253
CHARTER COMMUNICATIONS: (877) 906-9121

BASIS OF BEARINGS

THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (NAD 83) EPOCH 2010.00, COUNTY OF RIVERSIDE ZONE 6, AS DETERMINED LOCALLY BY A TIE BETWEEN CONTIGUOUS OPERATING REFERENCE STATIONS (COORDS: "9411" AND "8111" AS SHOWN HEREON, (1-E, N 28° 53' 23" E)

SHEET INDEX

TITLE SHEET 1
DETAILS AND CROSS SECTIONS 2
PRECISE GRADING PLAN 3-6, 6A, 7, 7A
FIRE ACCESS ROAD PLAN 8
EROSION CONTROL PLAN 9-10

TOPOGRAPHY INFORMATION

DATE: 10/12/2016
SOURCE: AERIAL COMPILED BY RICK ENGINEERING COMPANY

ESTIMATED GRADING QUANTITIES

TOTAL AREA: 3.9 AC
ESTIMATED EXCAVATION: 1,000 C.Y.
ESTIMATED EMBANKMENT: 1,000 C.Y.

NOTE: THE GRADING QUANTITIES SHOWN HEREON ARE RAW QUANTITIES FOR PERMIT PURPOSES ONLY AND ARE NOT TO BE USED FOR FINAL PAY QUANTITIES.

WORK TO BE DONE

THESE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS: THE CURRENT CITY OF TEMECULA STANDARDS AND SPECIFICATIONS, AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION ("GREEN BOOK") AND THE LATEST EDITION OF CALTRANS STANDARDS AND SPECIFICATIONS.

PRIVATE ENGINEER'S NOTE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

THE EXISTENCE AND APPROXIMATE LOCATIONS OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CIVIL ENGINEER ASSUMES NO LIABILITY AS TO THE EXACT LOCATION OF SAID LINES NOR FOR UTILITY OR IRRIGATION LINES WHOSE LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON, AND FOR ANY DAMAGE OR PROTECTION TO THESE LINES.

ENGINEER'S NOTES

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY OF DESIGN AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER COUNTY APPROVAL OR DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE PRIVATE ENGINEER FOR CLARIFICATION. THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE COUNTY.

THE PRIVATE ENGINEER WILL NOT BE PROVIDING INSPECTION SERVICES OR CONSTRUCTION REVIEW OTHER THAN GRADE CERTIFICATION. THESE FUNCTIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ENGINEER ACCEPTS NO LIABILITY FOR SUCH FUNCTIONS OR WORK THEREOF.



TWO WORKING DAYS BEFORE YOU DIG

CONSTRUCTION RECORD

DATE BY REVISIONS

DATE BY REVISIONS

DATE BY REVISIONS

DATE BY REVISIONS

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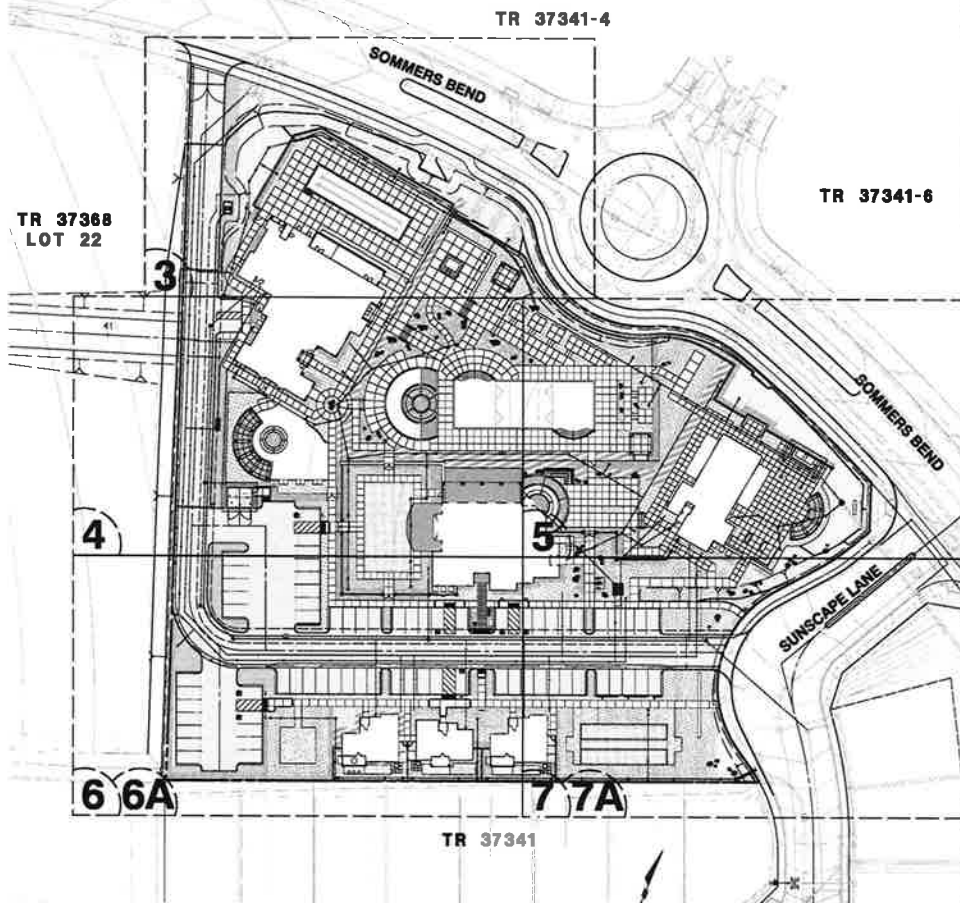
DATE BY REVISIONS

CITY OF TEMECULA

TRACT NO. 37368 - LOT 23

SOMMERS BEND RECREATION CENTER

PRECISE GRADING



INDEX MAP

1"=40'
GRAPHIC SCALE 1"=40'



VICINITY MAP
N.T.S.

LEGEND

- SWALE FLOWLINE (SEE WORK)
- PROPOSED WATER
- PROPOSED FIRE SERVICE
- PROPOSED SEWER
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER CLEANOUT
- PROPOSED PVC STORM DRAIN
- PROPOSED RCP STORM DRAIN
- PROPOSED AREA DRAIN
- PROPOSED BROOKS BOX
- PROPOSED FENCING
- PROPOSED AC PAVEMENT
- PROPOSED PCC
- PROPOSED SYNTHETIC TURF
- PROPOSED HARDSCAPE
- PROPOSED PER LANDSCAPE ARCHITECT
- PROPOSED VINEYARD
- PROPOSED PER LANDSCAPE ARCHITECT

LD18-0355

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

CITY OF TEMECULA

DEPARTMENT OF PUBLIC WORKS



TRACT 37368-LOT 23
SOMMERS BEND RECREATION CENTER

TITLE SHEET

Drawing No.

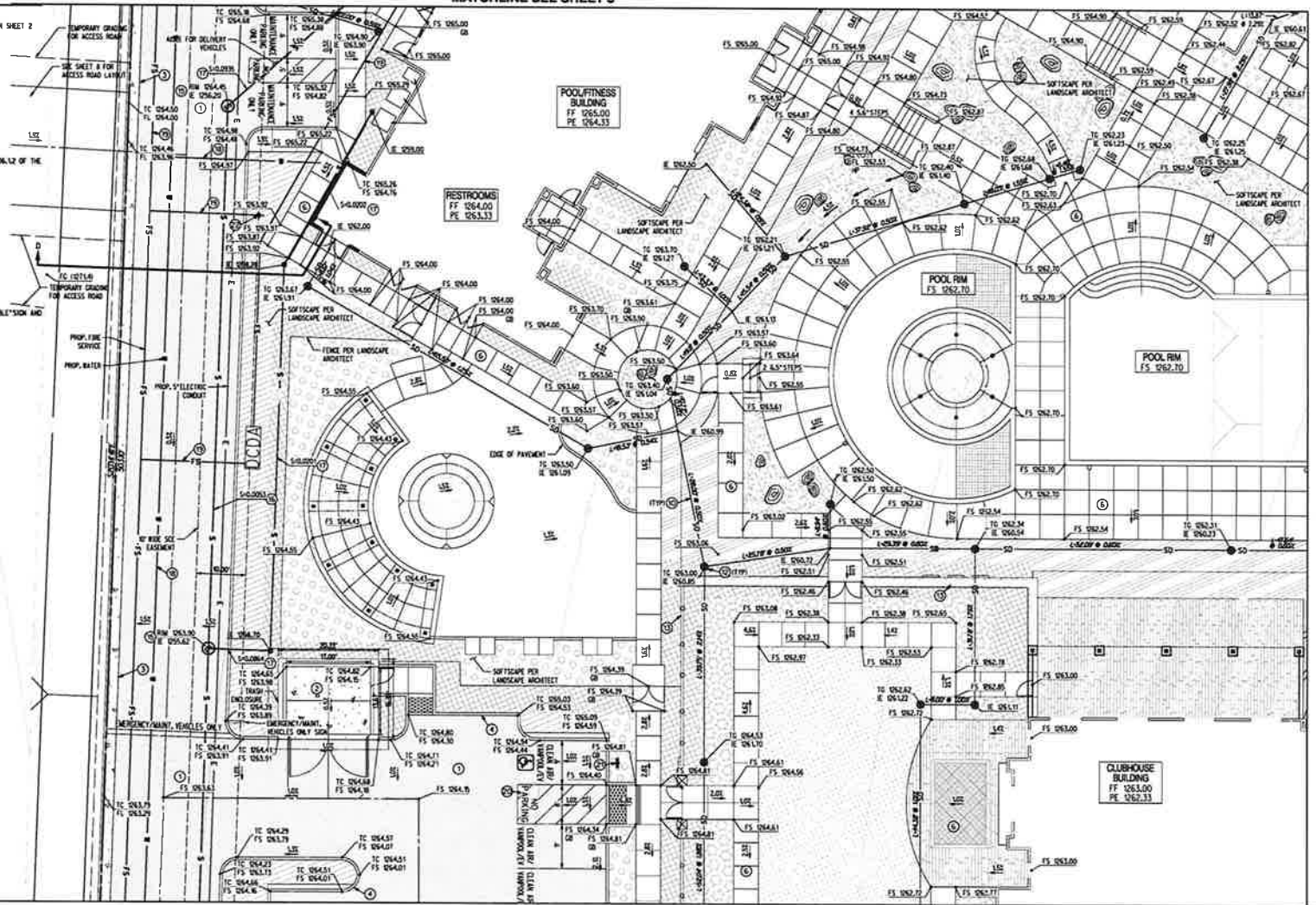
Sheet 1 of 10

DATE: 09/12/16

CONSTRUCTION NOTES

- CONSTRUCT PAVEMENT SURFACE PER PAVEMENT SECTION ON SHEET 2
- CONSTRUCT PCC STRUCTURAL SECTION FOR TRASH ENCLOSURE PER PAVEMENT SECTION ON SHEET 2
- CONSTRUCT 6" CURB & GUTTER TYPE A-6 PER CITY OF TEMECULA STD NO 200
- CONSTRUCT 6" CURB TYPE D-6 PER CITY OF TEMECULA STD NO 204
- CONSTRUCT 4" CLASS B CONCRETE SURFACING SEE LANDSCAPE PLANS FOR DETAILS
- CONSTRUCT CURB RAMP PER REVERSE COUNTY STD NO 403 CASE PER PLAN
- CONSTRUCT CONCRETE CROSS GUTTER PER REVERSE COUNTY STD NO 201
- MODIFIED WIDTH OF 3.0' PER DETAIL SHEET 25
- CONSTRUCT BROOKS BOX INLET
- INSTALL PVC STORM DRAIN PIPE (SCH 40) 4" O.D. MINIMUM SLOPE
- INSTALL 24" HDPE PER PLAN PIPE BEDDING PER REVERSE STD DWS MBS AND SECTION 306.12 OF THE STANDARD SPECIFICATIONS
- INSTALL ATRIUM AREA DRAIN INLET (S.S. NO. 75) ON APPROVED (S.S.)
- FENCING AND WALLS SEE LANDSCAPE ARCHITECT'S PLANS FOR DETAILS
- JOIN EX. SENER MANHOLE PER DWS STD.
- INSTALL 8" PVC SENER LINE PER DWS STD.
- INSTALL 4" SENER LATERAL PER DWS STD.
- INSTALL 4" DOMESTIC WATER LINE PER DWS STD.
- INSTALL 8" WATER LINE PER DWS STD.
- APPLY STOPPING PER DETAIL ON SHEET 2
- INSTALL HANDICAP PARKING SIGN AND "VAN ACCESSIBLE" SIGN AND "NO PARKING" SIGN PER DET. 18-002A
- INSTALL FIRE HYDRANT PER DWS STD.

MATCHLINE SEE SHEET 3



MATCHLINE SEE SHEET 6

MATCHLINE SEE SHEET 5



CALL TOLL FREE
1-800-422-4133

TWO WORKING DAYS BEFORE YOU GO

CONSTRUCTION REVISION	DATE	BY	REVISIONS	ACCD	DATE	REVISION

SCALE

1" = 20'

1" = 20'

1" = 20'

1" = 20'

1" = 20'

1" = 20'

1" = 20'

1" = 20'

1" = 20'

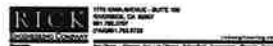
1" = 20'

1" = 20'

1" = 20'

1" = 20'

1" = 20'



1775 ROAD, SUITE 100
INDIANOLA, IA 50601
PH: 515-336-1111
FAX: 515-336-1112

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THIS PLAN IS THE PROPERTY OF RICE CONSULTING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RICE CONSULTING.

DESIGNED BY: NATHAN C. SMITH

DRAWN BY: NATHAN C. SMITH

CHECKED BY: NATHAN C. SMITH

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

CITY OF TEMECULA

DEPARTMENT OF PUBLIC WORKS

TRACT 97388-L07-25

SOMMERS BEND RECREATION CENTER

PERCISE GRADING PLAN

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

APN# 964-160-021 / PA-19-0268

DEVELOPMENTAL PLAN SUBMITTAL #4

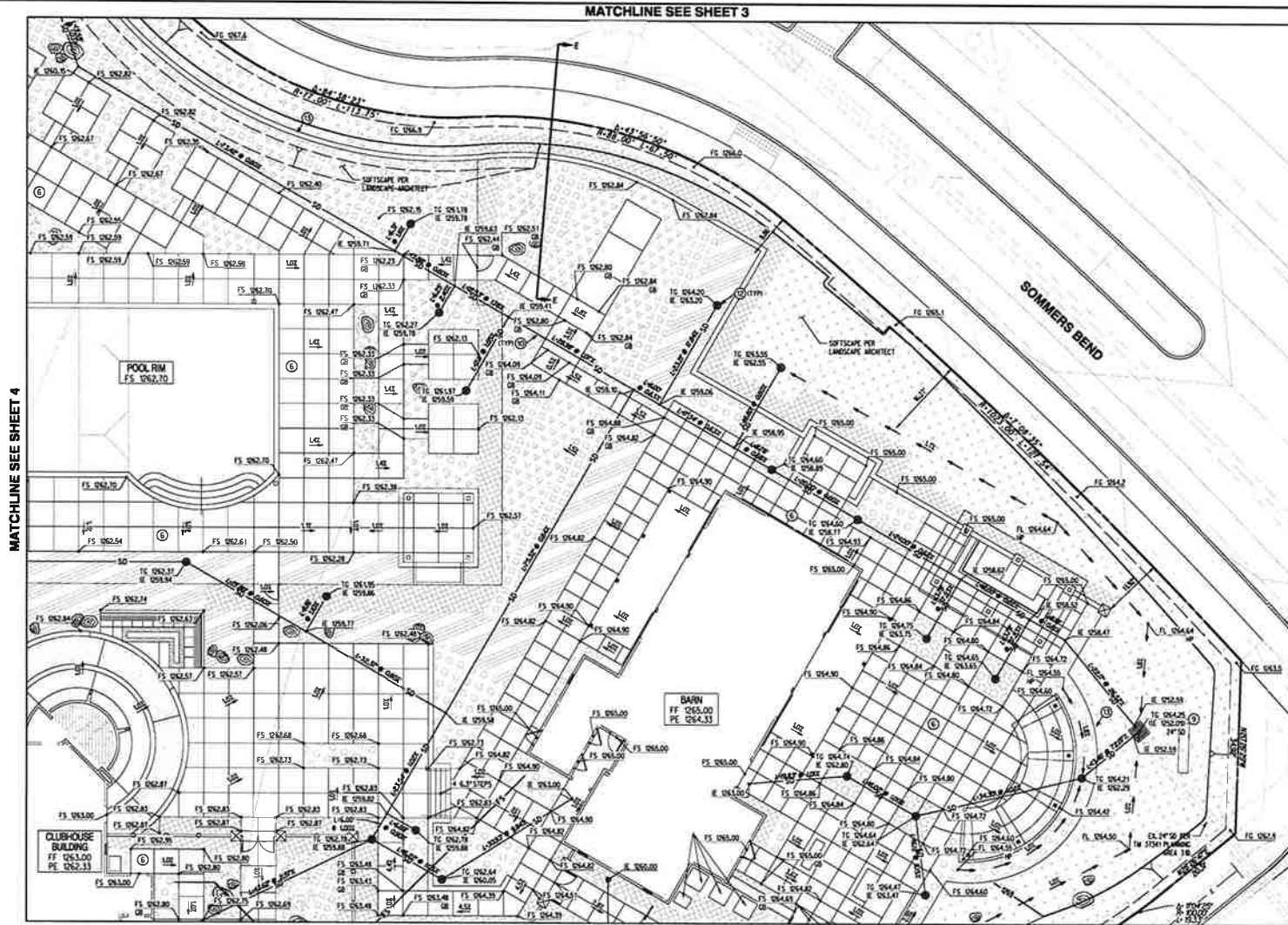
DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

SHEET: 1 OF 10

DATE: 11/15/18

PROJECT: SOMMERS BEND RECREATION CENTER

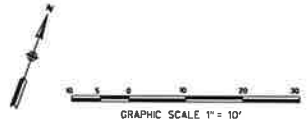
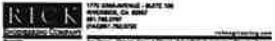


- CONSTRUCTION NOTES**
1. CONSTRUCT PAVEMENT SURFACE PER PAVEMENT SECTION ON SHEET 2
 2. CONSTRUCT PCC STRUCTURAL SECTION FOR TRASH ENCLOSURE PER PAVEMENT SECTION ON SHEET 2
 3. CONSTRUCT 6" CURB & GUTTER TYPE A-6 PER CITY OF TEMECULA STD NO 200
 4. CONSTRUCT 6" CURB TYPE D-6 PER CITY OF TEMECULA STD NO 204
 5. CONSTRUCT 8" CURB TYPE D-8 PER CITY OF TEMECULA STD NO 204
 6. CONSTRUCT 4" CLASS B CONCRETE SURFACING SEE LANDSCAPE PLANS FOR DETAILS
 7. CONSTRUCT CURB RAMP PER RIVERSIDE COUNTY STD NO 403 GRACE PER PLAN
 8. CONSTRUCT CONCRETE CROWN GUTTER PER RIVERSIDE COUNTY STD NO 209
 9. MODIFIED WIDTH OF 3.0' PER DETAIL SHEET 21
 10. CONSTRUCT BROOKS BOX INLET
 11. INSTALL PVC STORM DRAIN PIPE 48" ID x 0.52 MINIMUM SLOPE
 12. INSTALL 24" ICP PER PLAN PIPE BEDDING PER RCP/CANAL STD DRG 1015 AND SECTION 306.12 OF THE STANDARD SPECIFICATIONS
 13. INSTALL ATRIUM AREA DRAIN INLET IN L.S. NO 15 OR APPROVED EQUAL
 14. FENCING AND RAILS SEE LANDSCAPE ARCHITECT'S PLANS FOR DETAILS
 15. JOIN EX. SEWER MANHOLE PER EXIST. STDS.
 16. INSTALL SEWER MANHOLE PER EXIST. STDS.
 17. INSTALL 8" PVC SEWER LINE PER EXIST. STDS.
 18. INSTALL 4" SEWER LATERAL PER EXIST. STDS.
 19. INSTALL 4" DOMESTIC WATER LINE PER EXIST. STDS.
 20. INSTALL 6" FIRE WATER LINE PER EXIST. STDS.
 21. APPLY STRIPING PER DETAIL ON SHEET 2
 22. INSTALL HANDICAP PARKING SIGN AND UNAUTHORIZED VEHICLES SIGN AND 14' ACCESSIBLE SIGN AND 10'50' MINIMUM FIRE SIGN PER C.D.C. 1B-502.4
 23. INSTALL FIRE HYDRANT PER EXIST. STDS.

MATCHLINE SEE SHEET 4

MATCHLINE SEE SHEET 7

LD18-0355



BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

CONSTRUCTION METHOD	DATE	BY	REVISIONS	APPROVED	DATE	REASON
Contractor:						
Inspector:						
Date Completed:						

DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____

DATE: _____

PHASE PREPARED UNDER SUPERVISION OF: _____

NATHAN C. SMITH
R.C.E. No. 74754

RECOMMENDED BY: _____ DATE: _____

ACCEPTED BY: _____ DATE: _____

NATHAN C. SMITH
R.C.E. No. 44223

CITY OF TEMECULA

DEPARTMENT OF PUBLIC WORKS

TRACT 3788A-Lot 23
SOMMERS BEND RECREATION CENTER

PRECISE GRADING PLAN

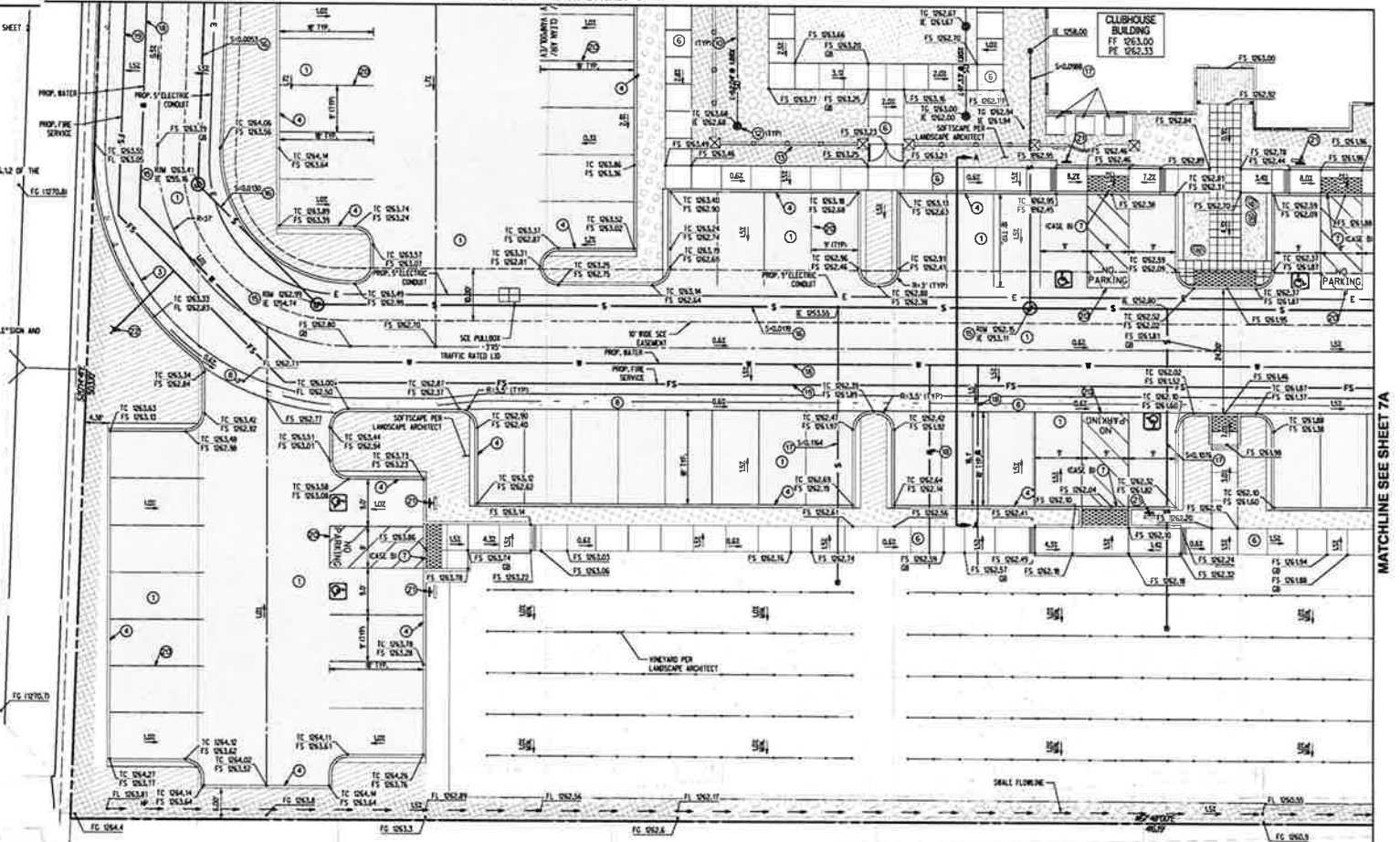
Drawing No. _____

Sheet 5 of 30

CONSTRUCTION NOTES

1. CONSTRUCT PAVEMENT SURFACE PER PAVEMENT SECTION ON SHEET 2
2. CONSTRUCT PCC STRUCTURAL SECTION FOR TRASH ENCLOSURE PER PAVEMENT SECTION ON SHEET 2
3. CONSTRUCT 6" CURB & GUTTER TYPE A-6 PER CITY OF TEMECULA STD NO 200
4. CONSTRUCT 6" CURB TYPE D-6 PER CITY OF TEMECULA STD NO 204
5. CONSTRUCT 4" CLASS B CONCRETE SURFACING SEE LANDSCAPE PLANS FOR DETAILS
6. CONSTRUCT CURB RAMP PER RIVERSIDE COUNTY STD NO 403 (CASE PER PLAN)
7. CONSTRUCT CONCRETE CROSS CUTTER PER RIVERSIDE COUNTY STD NO 209
8. MODIFIED WIDTH OF 3.0' PER DETAIL SHEET D
9. CONSTRUCT BROOKS BIRK DETAIL
10. INSTALL PVC STORM DRAIN PIPE 100# 10" 0.5% MINIMUM SLOPE
11. INSTALL 24" RCP PER PLAN PIPE BEDDING PER NOTED STD 200 MBS AND SECTION 066.12 OF THE STANDARD SPECIFICATIONS
12. INSTALL ATRIAN AREA DRAIN INLET 100# 10" 0.5% OR APPROVED EQUAL
13. FENCING AND RAILS SEE LANDSCAPE ARCHITECTS PLANS FOR DETAILS
14. JOIN EX. SENER MANHOLE PER EXIST. STOL.
15. INSTALL SENER MANHOLE PER EXIST. STOL.
16. INSTALL 8" PVC SENER LINE PER EXIST. STOL.
17. INSTALL 4" SENER LATERAL PER EXIST. STOL.
18. INSTALL 4" DOMESTIC WATER LINE PER EXIST. STOL.
19. INSTALL 6" FIRE WATER LINE PER EXIST. STOL.
20. APPLY STRIPPING PER DETAIL ON SHEET 2
21. INSTALL "HANDICAP PARKING" SIGN AND "UNAUTHORIZED VEHICLES" SIGN AND "VAN ACCESSIBLE" SIGN AND "MINIMUM 9'6" SIGN PER CMC 10-02.6
22. INSTALL FIRE HYDRANT PER EXIST. STOL.

MATCHLINE SEE SHEET 4



CALL TOLL FREE
1-800-422-4123

TWO HOURS ON SITE BEFORE YOU DIG

CONSTRUCTION REVIEW	DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK
Contractor:					
Inspector:					
Date Completed:					

DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

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DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

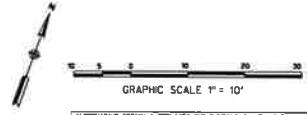
DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

DATE	BY	REVISIONS	APPROVED DATE	BENCH MARK

RICK
CONSULTING ENGINEERS
1710 CANTERBURY BLVD. SUITE 100
VICTORVILLE, CA 92415
951-701-1000
951-701-1001

Design By: DEK Drawn By: ONE Checked By: ONE
Place Prepared Under Supervision of
NATHAN C. SMITH
R.C.E. No. 14754

RECOMMENDED BY: _____ DATE: _____
ACCEPTED BY: _____ DATE: _____
PUNCE ROBERT P.E.
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
R.C.E. No. 44223



ALTERNATIVE OPTION A REPLACES THE BUNGALOWS WITH VINEYARDS.

CITY OF TEMECULA
DEPARTMENT OF PUBLIC WORKS

SOMMERS BEND RECREATION CENTER
ALTERNATIVE OPTION A
PRECISE GRADING PLAN

BUILDING AND SAFETY
REVIEWED FOR COMPLIANCE WITH
TITLE 24 DISABLED ACCESSIBILITY ONLY
APPROVED BY: _____ DATE: _____
DRAWING NO. _____
SHEET 56 OF 50

LD18-0355

DATE: 08/15/18 JUN 1988

APN# 964-180-021 / PA19-0268

DEVELOPMENTAL PLAN SUBMITTAL #4

LD10-0355

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

CITY OF TEMECULA DEPARTMENT OF PUBLIC WORKS



**TRACT 37300-L07-33
SOMMERS BEAD RECREATION CENTER**

PRECISE GRADING PLAN

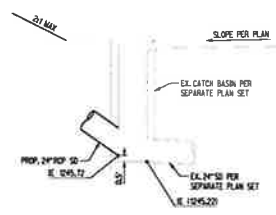
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Sheet 1 of 10

DATE: 09/15/19 JUN 1988

CONSTRUCTION NOTES

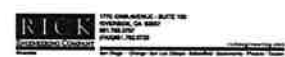
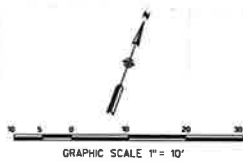
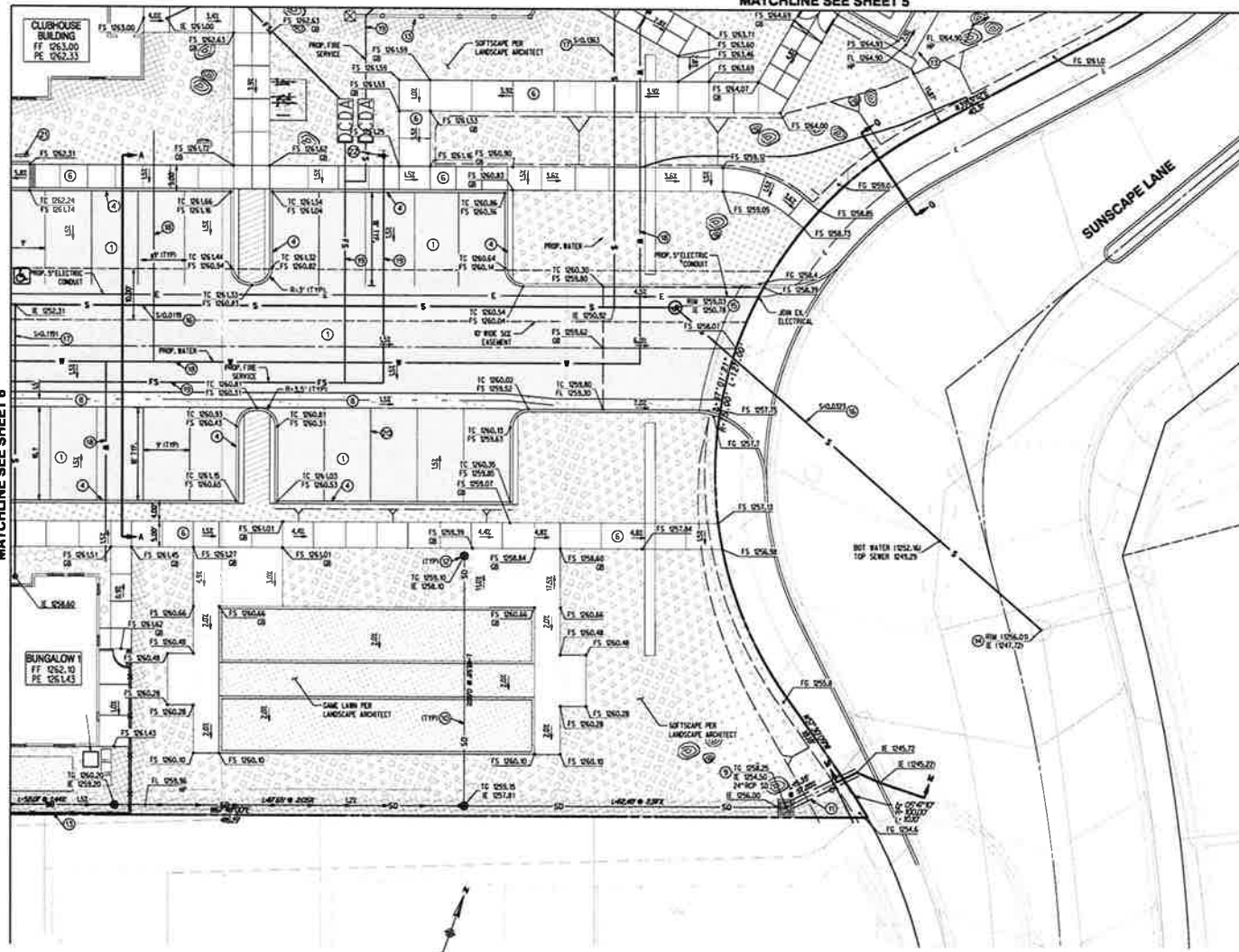
- 1) CONSTRUCT PAVEMENT SURFACE PER PAVEMENT SECTION ON SHEET 2
- 2) CONSTRUCT PCD STRUCTURAL SECTION FOR TRASH ENCLOSURE PER PAVEMENT SECTION ON SHEET 2
- 3) CONSTRUCT 6" DRAIN & GUTTER TYPE A-6 PER CITY OF TEMECULA STD NO 200
- 4) CONSTRUCT 8" DRAIN TYPE D-8 PER CITY OF TEMECULA STD NO 204
- 5) CONSTRUCT 4" CLASS B CONCRETE SURFACING SEE LANDSCAPE PLANS FOR DETAILS
- 6) CONSTRUCT CURB RAMP PER RIVERSIDE COUNTY STD NO 403 HEAD PER PLANS
- 7) CONSTRUCT CONCRETE CROSS GUTTER PER RIVERSIDE COUNTY STD NO 209
- 8) GUTTER WIDTH OF 3.0' PER DETAIL SHEET 21
- 9) CONSTRUCT BROOKS BOX INLET
- 10) INSTALL PVC STORM DRAIN PIPE (24" DIA) 4" SLICE MINIMUM SLOPE
- 11) INSTALL 24" RCP PER PLANK PIPE BEDDING PER NOTED STD DNG M&S AND SECTION 305.12 OF THE STANDARD SPECIFICATIONS
- 12) INSTALL AT-RISK AREA DRAIN INLET (HULLS NO 75 OR APPROVED EQUAL)
- 13) FENCING AND WALLS SEE LANDSCAPE ARCHITECT'S PLANS FOR DETAILS
- 14) JOIN EX. SEWER MANHOLE PER EXIST. STD.
- 15) INSTALL SEWER MANHOLE PER EXIST. STD.
- 16) INSTALL 8" PVC SEWER LINE PER EXIST. STD.
- 17) INSTALL 4" SEWER LATERAL LINE PER EXIST. STD.
- 18) INSTALL 4" DOMESTIC WATER LINE PER EXIST. STD.
- 19) INSTALL 6" FIRE WATER LINE PER EXIST. STD.
- 20) APPLY STRIPPING PER DETAIL ON SHEET 2
- 21) INSTALL "HANDICAP PARKING" SIGN AND "UNAUTHORIZED VEHICLES" SIGN AND "VAN ACCESSIBLE" SIGN AND "2500 MINIMUM PARKING" SIGN PER CBC 1B-502.6
- 22) INSTALL FIRE HYDRANT PER EXIST. STD.



SECTION M-M
NOT TO SCALE

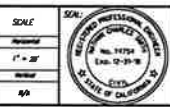
MATCHLINE SEE SHEET 5

MATCHLINE SEE SHEET 6



CONSTRUCTION RECORD	DATE	BY	REVISIONS	APPROVED	DATE	REASON
Contractor						
Inspector						
Date Completed						

SEE SHEET 1



Designed By	Drawn By	Checked By
SEA	SEA	SEA
Plans Prepared Under Supervision Of		
Date		
NATHAN C. SMITH		
R.C.E. No. 14754		

RECOMMENDED BY	DATE
ACCEPTED BY	DATE
PUNTER HARRIS, P.E. DIRECTOR OF PUBLIC WORKS / CITY ENGINEER R.C.E. No. 44223	

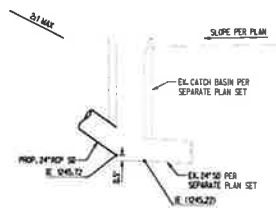
\\nas\p\eng\proj\37300-L07-33\PA19-07068\Drawings\Plan\Sheet 1.dwg (1908) PCD.dwg

MATCHLINE SEE SHEET 5

CONSTRUCTION NOTES

- 1) CONSTRUCT PAVEMENT SURFACE PER PAVEMENT SECTION ON SHEET 2
- 2) CONSTRUCT PCC STRUCTURAL SECTION FOR TRASH ENCLOSURE PER PAVEMENT SECTION ON SHEET 2
- 3) CONSTRUCT 6" CURB & GUTTER TYPE 4-6 PER CITY OF TEMECULA STD NO 200
- 4) CONSTRUCT 6" CURB TYPE D-6 PER CITY OF TEMECULA STD NO 204
- 5) CONSTRUCT 4" CLASS B CONCRETE SURFACING SEE LANDSCAPE PLANS FOR DETAILS
- 6) CONSTRUCT CLAMP RAMP PER RIVERSIDE COUNTY STD NO 403 CASE PER PLAN
- 7) CONSTRUCT CONCRETE CROSS CUTTER PER RIVERSIDE COUNTY STD NO 209
- 8) MODIFIED BIRTH OF 3.07 PER DETAIL SHEET 25
- 9) CONSTRUCT BROOKS BOX INLET
- 10) INSTALL PVC STORM DRAIN PIPE 15CH 40X19 0.5% MINIMUM SLOPE
- 11) INSTALL 24" RCP PER PLAN PIPE BEDDING PER REFERENCED STD SING MTS AND SECTION 306.12 OF THE STANDARD SPECIFICATIONS
- 12) INSTALL ATRIUM AREA DRAIN INLET DALLS NO 75 ON APPROVED EQUAL
- 13) FENCING AND WALLS SEE LANDSCAPE ARCHITECTS PLANS FOR DETAILS
- 14) JOIN EX. SEWER MANHOLE PER EXIST. STDS.
- 15) INSTALL 8" PVC SEWER LINE PER EXIST. STDS.
- 16) INSTALL 8" PVC SEWER LATERAL PER EXIST. STDS.
- 17) INSTALL 4" DOMESTIC WATER LINE PER EXIST. STDS.
- 18) INSTALL 6" FIRE WATER LINE PER EXIST. STDS.
- 19) APPLY STRIPING PER DETAIL ON SHEET 2
- 20) INSTALL "HANDICAP PARKING" SIGN AND "UNAUTHORIZED VEHICLES" SIGN AND "VAN ACCESSIBLE" SIGN AND "25% MINIMUM FINE" SIGN PER CMC 11B-502.6
- 21) INSTALL FIRE HYDRANT PER EXIST. STDS.

SUNSCAPE LANE



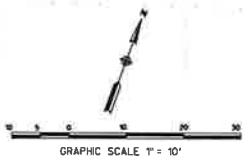
SECTION M-M
NOT TO SCALE

MATCHLINE SEE SHEET 8A

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-422-4137

TWO WORKING DAYS BEFORE YOU DIG



RICK

1775 CROWN DRIVE, SUITE 100
PERRIS, CA 92470
951.741.1100
WWW.RICKENGINEERING.COM

CONSTRUCTION RECORD	DATE	BY	REVISIONS	AS TO	DATE	REASON
Contractor						
Inspector						
Date Completed						

SEE SHEET 1

SCALE

Horizontal
1" = 20'

Vertical
1" = 20'

Designed By: **NATHAN C. SMITH**
Drawn By: **74754**
Checked By: **74754**

Plans Prepared Under Supervision Of

DATE

RECOMMENDED BY: _____ DATE: _____

ACCEPTED BY: _____ DATE: _____

THOMAS BOWEN, P.E.
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
R.C.E. NO. 44223

ALTERNATIVE OPTION A REPLACES THE BUNGALOWS WITH VINEYARDS.

CITY OF TEMECULA

DEPARTMENT OF PUBLIC WORKS

TRACT 37700-LOT 23
SOMMERS BEND RECREATION CENTER
ALTERNATIVE OPTION A
PRECISE GRADING PLAN

Drawing No. _____

Sheet 7A of 10

DATE: 09/15/18 JUN 17/2018

LD18-0355

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

BUTTERFIELD STAGE ROAD

MATCHLINE 21+00.00
SEE BOTTOM LEFT

MATCHLINE 33+00.00
SEE BOTTOM LEFT

MATCHLINE 21+00.00
SEE TOP RIGHT

MATCHLINE 33+00.00
SEE TOP RIGHT

BASIN PER ROUGH GRADING PLANS

BASIN PER ROUGH GRADING PLANS

SHEET DRAINAGE TO BASIN
PER ROUGH GRADING PLANS

SEE SHEETS 3-7 FOR
RECREATION CENTER GRADING



CALL TOLL FREE
1-800-422-4133

CONSTRUCTION NOTES

1. CONSTRUCT PAVEMENT SURFACE PER PAVEMENT SECTION ON SHEET 2



1770 CHANDLER BLVD. SUITE 100
RIVERSIDE, CA 92507
951.700.0000
WWW.RICK-CA.COM



GRAPHIC SCALE 1" = 40'

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

CITY OF TEMECULA

DEPARTMENT OF PUBLIC WORKS



TRACT 37084-L07 23
SOMMERS BEND RECREATION CENTER

FIRE ACCESS ROAD PLAN

Drawing No.

Sheet 8 of 10

CONSTRUCTION RECORD	DATE	BY	REVISIONS	ACCTD	DATE
Contractor:					
Inspector:					
Date Completed:					

DATE	BY	REVISIONS	ACCTD	DATE

SEE SHEET 1

SCALE

Horizontal

1" = 20'

Vertical

1" = 10'



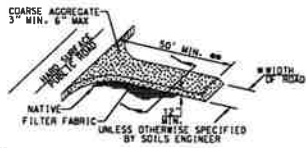
Designed By: _____ Drawn By: _____ Checked By: _____
Date: _____
NATHAN C. SMITH
R.C.E. No. 14754

RECOMMENDED BY: _____ DATE: _____
ACCEPTED BY: _____ DATE: _____
PAMELA BOWEN, P.E.
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
R.C.E. No. 44221

LD18-0355

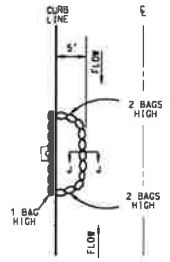
DEVELOPMENTAL PLAN SUBMITTAL #4

APR 964-180-021 / PA19-0268



STABILIZED CONSTRUCTION ENTRANCE/EXIT

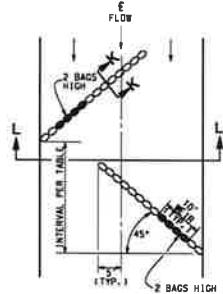
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NOTE: REFER TO CASQA STORMWATER BMP HANDBOOK SE-10 FOR MORE INFORMATION

GRAVEL BAGS AROUND CATCH BASINS

NOT TO SCALE



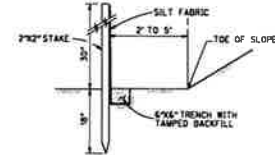
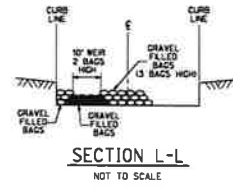
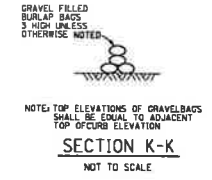
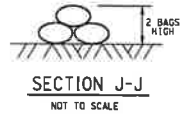
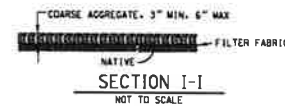
VELOCITY CHECK DAMS IN STREETS

NOT TO SCALE

TABLE A

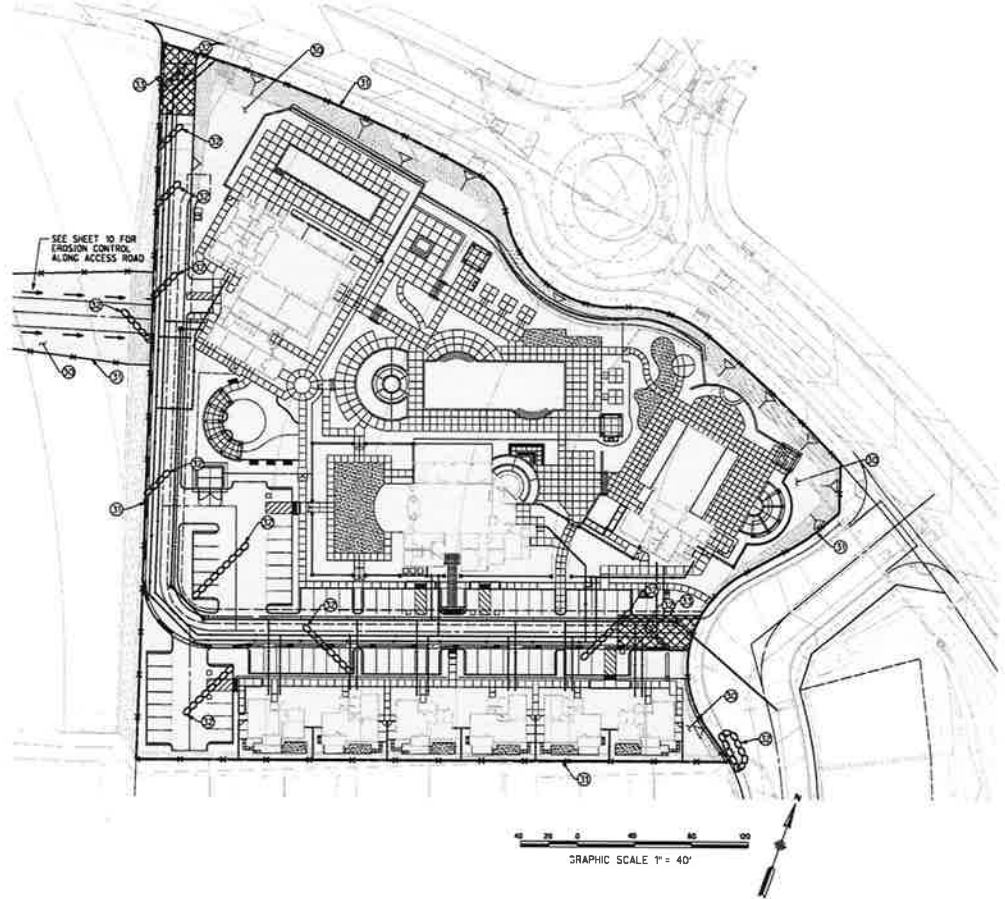
GRAVEL BAG ROW SPACING TABLE

SLOPE GRADE	INTERVAL
LESS THAN 2%	200'
2% TO 4%	75'
4% TO 6%	40'
6% TO 8%	25'
8% TO 10%	25'



TYPICAL SECTION SILT FENCE (CASQA SE-1)

NOT TO SCALE



- CONSTRUCTION NOTES**
- ① TADIFIER
 - ② SILT FENCE PER DETAIL ON SHEET 9
 - ③ GRAVEL BAGS PER DETAILS ON SHEET 9
 - ④ STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL ON SHEET 9

LD18-0355

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

CITY OF TEMECULA

DEPARTMENT OF PUBLIC WORKS



TRACT 17388-L07-23
SOMMERS BEND RECREATION CENTER

EROSION CONTROL PLAN

Drawing No.

Sheet 3 of 10

DATE: 09/15/19 JK 10828



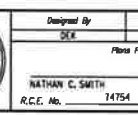
EROSION CONTROL LEGEND

- CONSTRUCTION SITE PERIMETER
- PERIMETER FENCE
- GRAVEL BAG
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- DIRECTION OF FLOW



CONSTRUCTION RECORD	DATE	BY	REVISIONS	ACCD	DATE	BENCH MARK
Contractor:						
Inspector:						
Date Completed:						

SCALE	SCALE
Horizontal 1" = 20'	Vertical 1" = 2'



Designed By: _____ Drawn By: _____ Checked By: _____
SEAL: _____
Plans Prepared Under Supervision Of: _____
NATHAN C. SMITH
R.C.E. No. 14754

RECOMMENDED BY: _____ DATE: _____
ACCEPTED BY: _____ DATE: _____
PUBLIC WORKS, P.E.
DIVISION OF PUBLIC WORKS / CITY ENGINEER
R.C.E. No. 44223

\\na\champs\proj\land\2019\17388\Per\design\res.Center\Shmets\Per\erod\17388\PC03.dgn

BUTTERFIELD STAGE ROAD

MATCHLINE 21+00.00
SEE BOTTOM LEFT

MATCHLINE 21+00.00
SEE TOP RIGHT

MATCHLINE 33+00.00
SEE BOTTOM LEFT

MATCHLINE 33+00.00
SEE TOP RIGHT

BASIN PER ROUGH
GRADING PLANS

BASIN PER ROUGH
GRADING PLANS

SHEET DRAINAGE TO BASIN
PER ROUGH GRADING PLANS

SEE SHEET 8 FOR
RECREATION CENTER
EROSION CONTROL

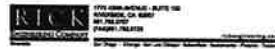
EROSION CONTROL LEGEND

- CONSTRUCTION SITE PERIMETER
- PERIMETER FENCE
- GRAVEL BAG
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- DIRECTION OF FLOW



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TWO WORKING DAYS BEFORE YOU DIG



CONSTRUCTION NOTES

- (1) TACKIFIER
- (2) SILT FENCE PER DETAIL ON SHEET 9
- (3) GRAVEL BAGS PER DETAILS ON SHEET 9
- (4) STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL ON SHEET 9

LD18-0355

BUILDING AND SAFETY

REVIEWED FOR COMPLIANCE WITH
TITLE 24 DISABLED ACCESSIBILITY ONLY

APPROVED BY: _____ DATE: _____

CITY OF TEMECULA

DEPARTMENT OF PUBLIC WORKS



TRACT 37286-LOT 23
SOMMERS BEND RECREATION CENTER

EROSION CONTROL PLAN

Drawing No.

Sheet 10 of 30

DATE: 08/13/18 JH 118638

CONSTRUCTION RECORD
Contractor: _____
Inspector: _____
Date Completed: _____

DATE	BY	REVISIONS	ACTED	DATE

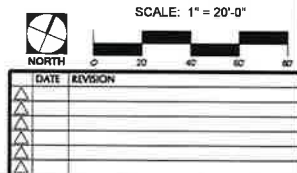
SEE SHEET 1

SCALE
Horizontal
1" = 20'
Vertical
1" = 10'



Designed By: _____ Drawn By: _____ Checked By: _____
Plans Prepared Under Supervision Of: _____ Date: _____
NATHAN C. SMITH
R.C.E. No. 14754

RECOMMENDED BY: _____ DATE: _____
ACCEPTED BY: _____ DATE: _____
PUNED HONG, P.E.
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
R.C.E. No. 44323



SMP
ENVIRONMENTAL DESIGN
34151 COAST HWY SUITE 200
DANA POINT, CA 92629
(949) 442-5444

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RIVERSIDE, CA 92506
(951) 281-8224

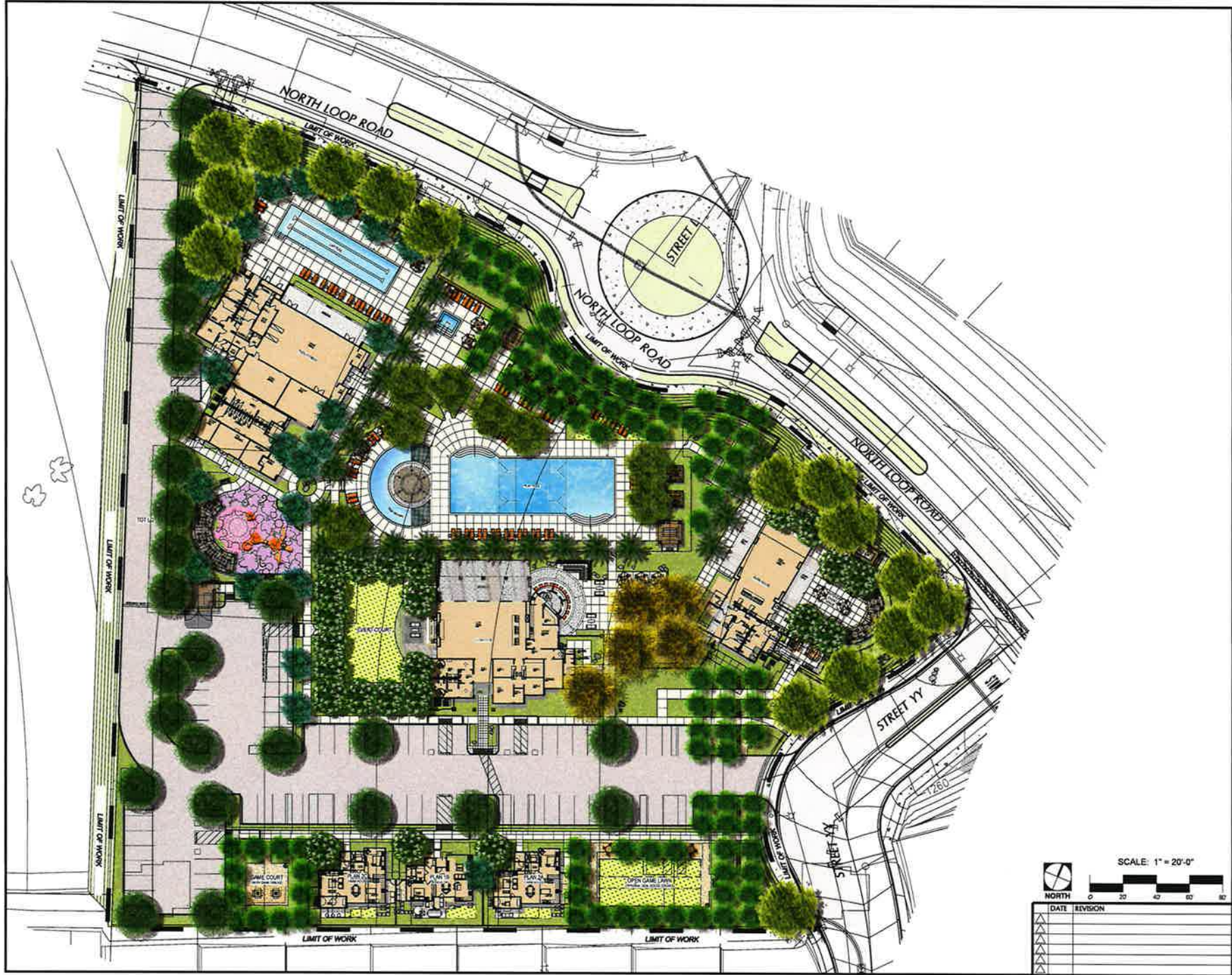
SOMMERS BEND
LOT 6 OF TRACT 28363
TAMENUELA, CALIFORNIA
PA-30 RECREATIONAL CENTER

OWNER: **WOODSIDE HOMES OF SO. CAL**
APN: 984-180-021
PA18-0268

PROJECT: **SOMMERS BEND**
LOT 6 OF TRACT 28363
TAMENUELA, CALIFORNIA
PA-30 RECREATIONAL CENTER

SHEET DESCRIPTION
PHASE1 PLAN

DESIGNED:
DRAWN:
CHECKED:
DATE: 07/16/2019
JOB NO: 126627
CAD FILE:
SHEET NUMBER:
OF 22 SHEETS



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DATE	REVISION

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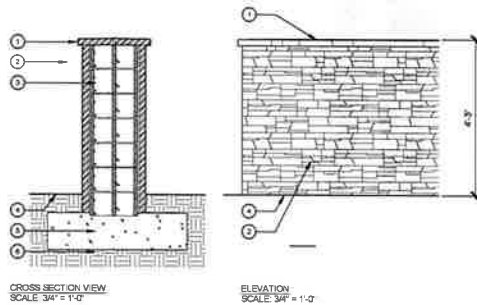
PROJECT:
 SOMMERS BEND
 LOT 5 OF TRACT 28363
 TEMECULA, CALIFORNIA
 PA-30 RECREATIONAL CENTER

APN: 964-180-021
PAY-0288

SHEET DESCRIPTION	
DESIGNED	
DRAWN	
CHECKED	
DATE	07/16/2018
JOB NO.	128827
CAD FILE	
SHEET NUMBER	
OF	22 SHEETS

LEGEND

1. NATURAL FLAGSTONE CAP WHIT 1-1/2" OVERHANG SLOPE CAP 2% TO DRAIN FROM CENTER TOWARDS EDGES
2. STONE VENEER WITH MORTAR BACKING STONE TYPE AND COLOR TO MATCH STONE VENEER ON BUILDINGS. ANCHOR VENEER TO BLOCK PER STONE VENEER MANUFACTURER'S RECOMMENDATIONS
3. 8x8x16 PRECISION CONCRETE BLOCK WALL. ROUT AND REINFORCE PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS
4. FINISH GRADE OF ADJACENT PLANTING AREA SLOPE 2% AWAY FROM BASE OF WALL
5. REINFORCED CONCRETE FOOTING. REFER TO STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS FOR FOOTING SIZE AND REINFORCING INFORMATION
6. PRESATURATED AND COMPACTED SUB-GRADE PER GEOTECHNICAL SOILS ENGINEER'S REPORT

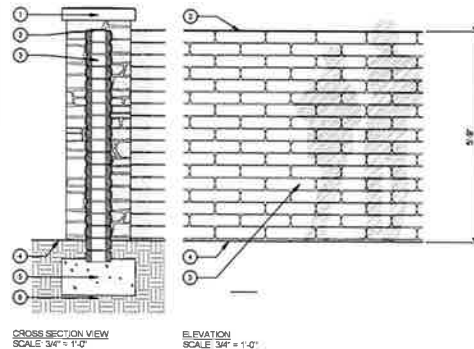


A STONE MONUMENT WALL

SCALE: 3/4" = 1'-0"

LEGEND

1. ADJACENT STONE PLASTER
2. 1" HIGH MORTAR CROWN SLOPED TO DRAIN
3. 8x8x16 SLUMP BLOCK WALL WITH TINTED SLURRY-COAT FINISH. SLURRY COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT TO COMPLEMENT BUILDING COLORS
4. FINISH GRADE OF ADJACENT PLANTING AREA SLOPE 2% AWAY FROM BASE OF WALL
5. REINFORCED CONCRETE FOOTING. REFER TO STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS FOR FOOTING SIZE AND REINFORCING INFORMATION
6. PRESATURATED AND COMPACTED SUB-GRADE PER GEOTECHNICAL SOILS ENGINEER'S REPORT

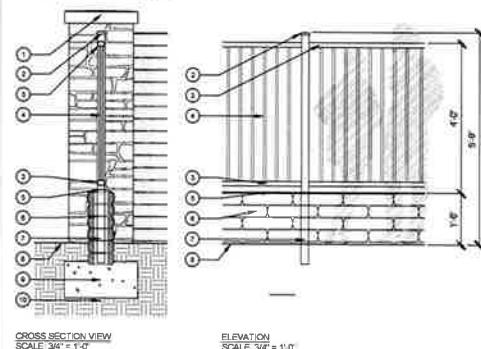


B SLUMP BLOCK WALL

SCALE: 3/4" = 1'-0"

LEGEND

1. ADJACENT STONE PLASTER
2. 2-1/2" SQ x 11 GA METALIZED TUBULAR STEEL POST WITH CAST IRON POST CAP (JANSEN ORNAMENTAL IRON MODEL PC 2-1/2" OR APPROVED EQUAL). EQUALLY SPACED AT 8' MAXIMUM ON CENTER. TYPICAL
3. 1-1/2" x 2" x 16 GA METALIZED TUBULAR STEEL TOP AND BOTTOM RAILS
4. 3/4" SQ x 16 GA METALIZED TUBULAR STEEL PICKETS EQUALLY SPACED AT 4" MAXIMUM ON CENTER
5. 1" HIGH MORTAR CROWN SLOPED TO DRAIN
6. 8x8x16 SLUMP BLOCK WALL WITH TINTED SLURRY-COAT FINISH. SLURRY COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT TO COMPLEMENT BUILDING COLORS
7. ANCHOR FENCE POSTS IN SOLID CIRCULATED WALL PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS
8. FINISH GRADE OF ADJACENT PLANTING AREA SLOPE 2% AWAY FROM BASE OF WALL
9. REINFORCED CONCRETE FOOTING. REFER TO STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS FOR FOOTING SIZE AND REINFORCING INFORMATION
10. PRESATURATED AND COMPACTED SUB-GRADE PER GEOTECHNICAL SOILS ENGINEER'S REPORT

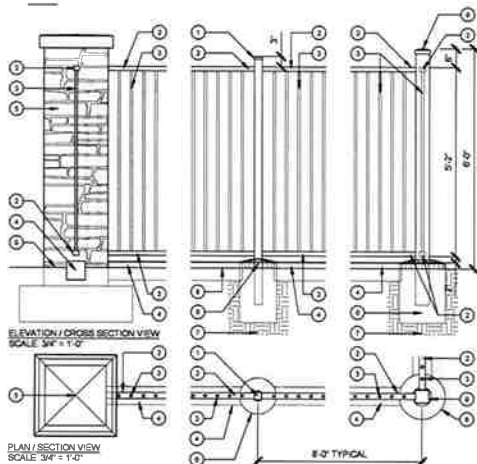


C SLUMP BLOCK LOW WALL WITH METAL FENCE

SCALE: 3/4" = 1'-0"

LEGEND

1. 2-1/2" SQ x 11 GA METALIZED TUBULAR STEEL POST WITH CAST IRON POST CAP (JANSEN ORNAMENTAL IRON MODEL PC 2-1/2" OR APPROVED EQUAL). EQUALLY SPACED AT 8' MAXIMUM ON CENTER. TYPICAL
2. 1-1/2" x 2" x 16 GA METALIZED TUBULAR STEEL TOP AND BOTTOM RAILS
3. 3/4" SQ x 16 GA METALIZED TUBULAR STEEL PICKETS EQUALLY SPACED AT 4" MAXIMUM ON CENTER
4. CONCRETE NOW CURS. TYPICAL. SEE DETAIL SHEET
5. STONE PLASTER. SEE DETAIL SHEET
6. CONCRETE FOOTING WITH 1" CROWN SLOPED TO DRAIN. SIZE PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS
7. PRESATURATED AND COMPACTED SUB-GRADE PER GEOTECHNICAL SOILS ENGINEER'S REPORT
8. FINISH GRADE OF ADJACENT PLANTING AREA SLOPE 2% AWAY FROM BASE OF WALL
9. 4" SQ x 11 GA METALIZED TUBULAR STEEL POST WITH A PRESATURATED STEEL POST CAP (JANSEN ORNAMENTAL IRON MODEL PC 4" OR APPROVED EQUAL) - USE 4" POST AT LAST PANEL IN FENCE RUN AND/OR AT CHANGE IN FENCE DIRECTION, TYP.

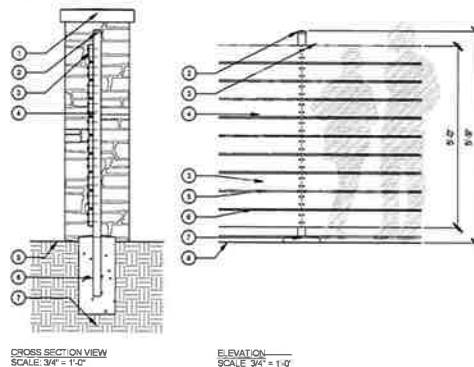


D METAL POOL FENCING

SCALE: 3/4" = 1'-0"

LEGEND

1. ADJACENT STONE PLASTER
2. 2-1/2" SQ x 11 GA METALIZED TUBULAR STEEL POST WITH CAST IRON POST CAP (JANSEN ORNAMENTAL IRON MODEL PC 2-1/2" OR APPROVED EQUAL). EQUALLY SPACED AT 8' MAXIMUM ON CENTER. TYPICAL. PAINT COLOR TO MATCH BUILDING METAL ELEMENTS
3. 2x6 REDAWN. PAINTED WOOD SLATS FASTENED TO METAL POST PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS. PAINT COLOR TO MATCH BUILDING ARCHITECTURAL TRIM COLOR
4. 1/2" x 1/2" FASTEN METAL FENCE PICKETS IN CONCRETE FOOTING. FOOTING SIZE, REINFORCEMENT AND EMBEDMENT PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS
5. FINISH GRADE OF ADJACENT PLANTING AREA SLOPE 2% AWAY FROM BASE OF WALL
6. REINFORCED CONCRETE FOOTING. REFER TO STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS FOR FOOTING SIZE AND REINFORCING INFORMATION
7. PRESATURATED AND COMPACTED SUB-GRADE PER GEOTECHNICAL SOILS ENGINEER'S REPORT

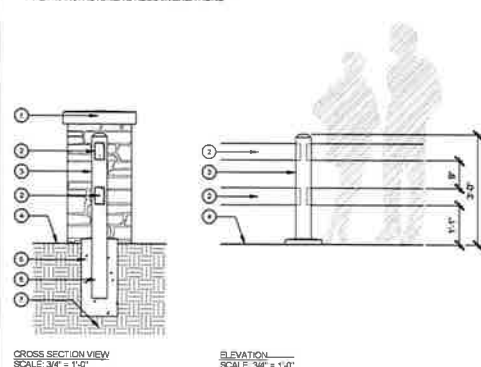


E HORIZONTAL WOOD SLAT FENCE

SCALE: 3/4" = 1'-0"

LEGEND

1. ADJACENT STONE PLASTER
2. PRECAST CONCRETE RAIL SET INTO POST POCKET. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
3. PRECAST CONCRETE POST EQUALLY SPACED AT 8'-0" MAXIMUM ON CENTER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
4. FINISH GRADE OF ADJACENT PLANTING AREA SLOPE 2% AWAY FROM BASE OF WALL
5. REINFORCED CONCRETE FOOTING. REFER TO STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS FOR FOOTING SIZE AND REINFORCING INFORMATION
6. SET PRECAST CONCRETE FENCE POST IN CONCRETE FOOTING. DEPTH OF EMBEDMENT PER MANUFACTURER'S RECOMMENDATIONS
7. PRESATURATED AND COMPACTED SUB-GRADE PER GEOTECHNICAL SOILS ENGINEER'S REPORT



F TWO-RAIL CONCRETE FENCING

SCALE: 3/4" = 1'-0"

DATE	REVISION

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RIVERSIDE, CA 92506
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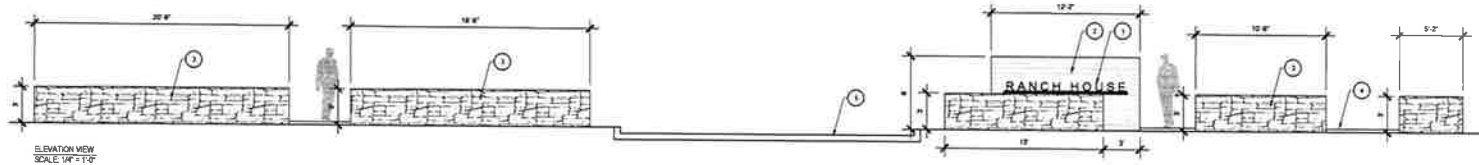
OWNER:
WOODSIDE HOMES OF SO. CAL
11870 PIERCE STREET, SUITE 260
RIVERSIDE, CA 92506
(951) 281-8224

PROJECT:
SOMMERS BEND
LOT 5 OF TRACT 28363
TEMECULA, CALIFORNIA
PA-30 RECREATIONAL CENTER

SHEET DESCRIPTION
**PRELIMINARY
LANDSCAPE
HARDSCAPE
DETAILS**

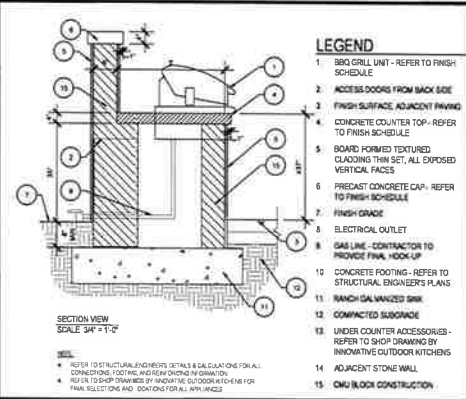
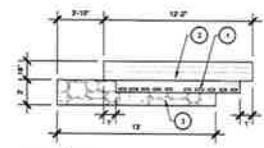
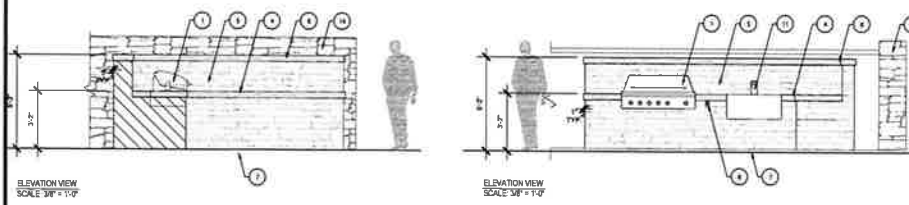
DESIGNED: SMP
DRAWN: SMP
CHECKED: SMP
DATE: 06.13.2019
JOB NO: 128722
CADD FILE

SHEET NUMBER
PLP-3
3 OF 8 SHEETS

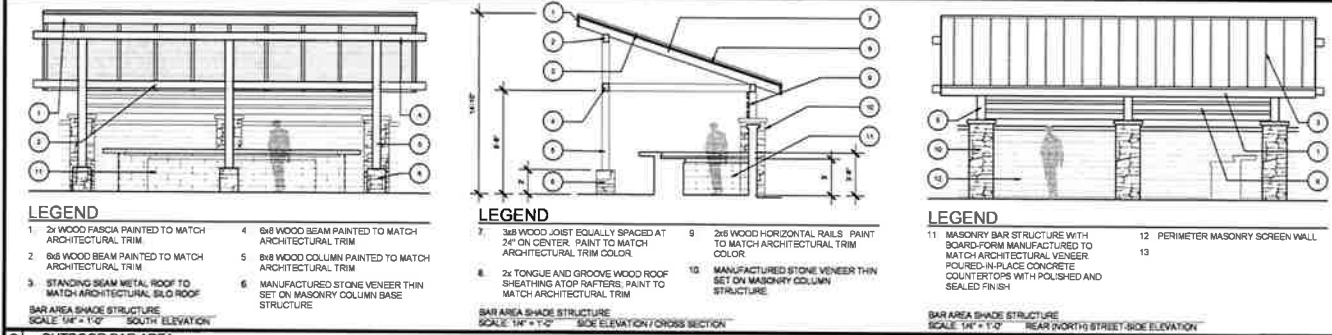


- LEGEND**
- PROJECT SIGN FONT SET ON SIGN BAR WITH BACK LIGHT LETTERS
 - BOARD FORMED CONCRETE CLADDING THIN SET ON CONCRETE MASONRY STRUCTURE
 - MANUFACTURED STONE CLADDING THIN SET ON MASONRY STRUCTURE
 - CONCRETE WALKWAY
 - ASPHALTIC CONCRETE ENTRY DRIVEWAY

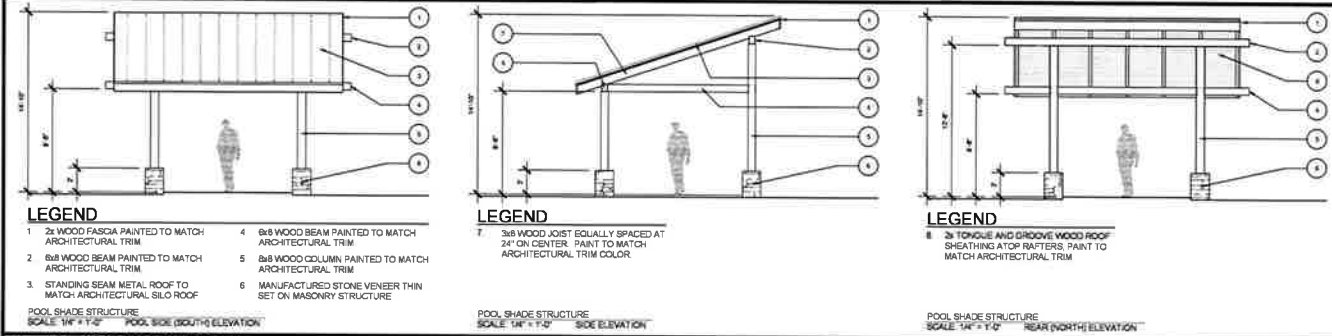
A ENTRY MONUMENT SIGNAGE



B BARBECUE CENTER COUNTER



C OUTDOOR BAR AREA



D POOL AREA SHADE STRUCTURE



SMP
ENVIRONMENTAL DESIGN
SUMMERS & PARTNERS, INC.
1870 PIERCE STREET, SUITE 260
RIVERSIDE, CA 92505
(951) 445-1465

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OWNER:

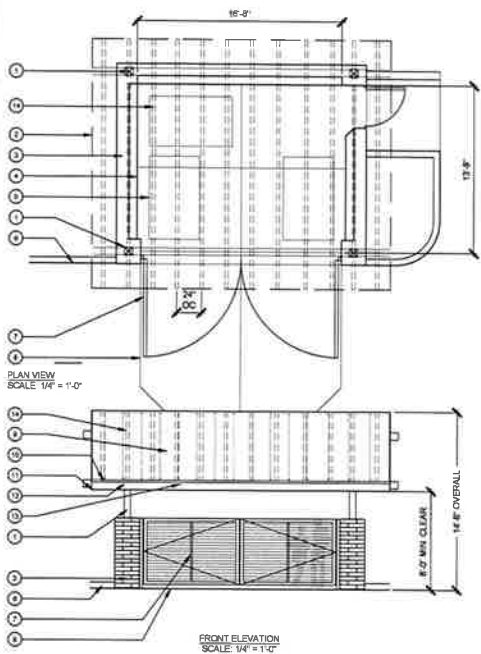
SOMMERS BEND
LOT 6 OF TRACT 23353
TEMECULA, CALIFORNIA
PA-30 RECREATIONAL CENTER

APN: 966-180-021
PAIS-0268

PROJECT:

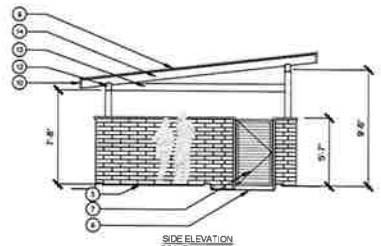
SHEET DESCRIPTION:
PRELIMINARY
LANDSCAPE
HARDSCAPE
DETAILS

DESIGNED: SMP
DRAWN: SMP
CHECKED: SMP
DATE: 08.13.2019
JOB NO: 128722
CAD FILE:
SHEET NUMBER:
PLP-4
4 OF 9 SHEETS



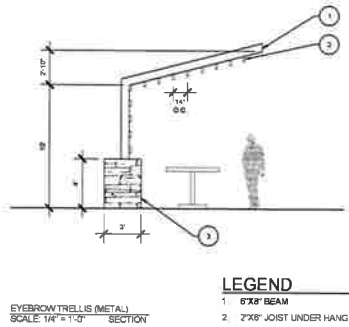
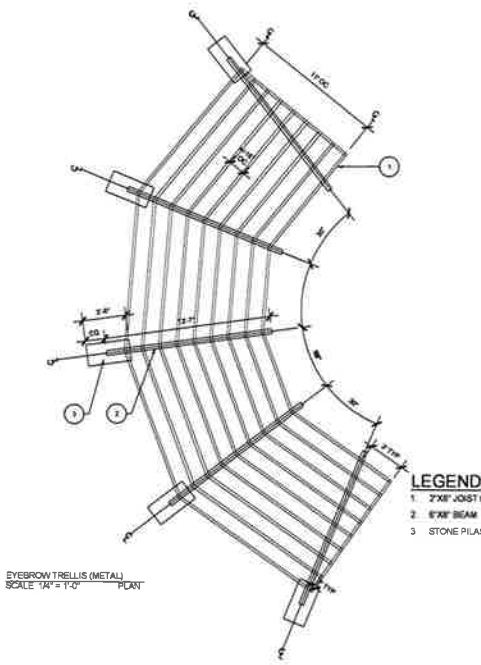
LEGEND

- 6x6 WOOD COLUMN. ANCHOR TO WALL PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS. PAINT COLOR TO MATCH CLUB BUILDING WOOD FRAMING.
- DASHED LINE OF ROOF ABOVE.
- SLUMP WALL WITH COLORED SLURRY FINISH. PAINT TO MATCH CLUB BUILDING STUCCO.
- 8" HIGH x 8" WIDE CONCRETE CURB.
- DASHED LINE OF THREE-YARD TRASH / RECYCLING BIN.
- CONCRETE CURB. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR DETAILS.
- METAL ACCESS GATE WITH HEAVY-DUTY HINGES, LOCKING HASS, AND CAME BOLTS. PAINT COLOR TO MATCH BUILDING METAL TRIM.
- CONCRETE STRESS PAD. REFER TO GEOTECHNICAL SOILS ENGINEER'S REPORT RECOMMENDATIONS FOR VEHICULAR PAVING.
- SEAMLESS METAL ROOFING TO MATCH CLUB BUILDING ROOFING.
- 2x WOOD FASCIA. PAINT TO MATCH CLUB BUILDING WOOD TRIM COLOR.
- 2x12 WOOD RAFTERS AT 24" ON CENTER. FASTEN TO BEAMS PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS.
- 6x6 WOOD BEAM. FASTEN TO POST PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS.
- 6x6 WOOD CROSS BEAM. FASTEN TO POST PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS.
- 3x8 WOOD JOIST. EQUALLY SPACED AT 24" OC. PAINT TO MATCH ARCHITECTURAL TRIM.



A TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"

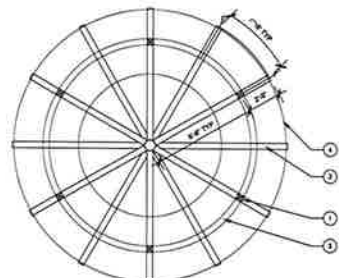


LEGEND

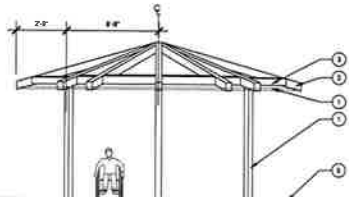
- 6"x8" BEAM
- 2"x8" JOIST UNDER HANG HARD WOOD
- STONE PLASTER

B EVENT AREA EYEBROW SHADE STRUCTURE

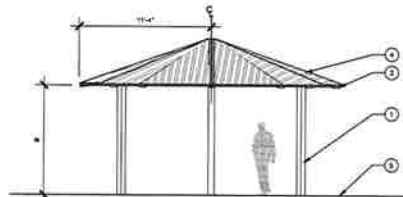
SCALE: NONE



WADING POOL SHADE STRUCTURE
SCALE 1/4" = 1'-0"



WADING POOL SHADE STRUCTURE
SCALE 1/4" = 1'-0"



WADING POOL SHADE STRUCTURE
SCALE 1/4" = 1'-0"

LEGEND

- 6x6 STEEL POST
- 6x6 WOOD RAFTER (NOTCH INTO HEADER BEAMS)
- 4x6 SUPPORT BEAM
- STANDING METAL SEAMED ROOF - REFER TO FINISH SCHEDULE
- FINISH SURFACE

E WADING POOL SHADE STRUCTURE

DATE	REVISION

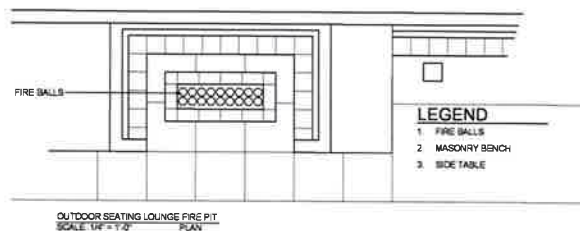
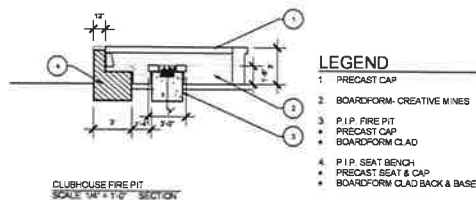
DATE	REVISION

WOODSIDE HOMES OF SO. CAL
11870 PIERCE STREET, SUITE 250
RIVERSIDE, CA 92505
(951) 281-8224

SOMMERS BEND
LOT 6 OF TRACT 28353
TEMECULA, CALIFORNIA
PA-30 RECREATIONAL CENTER
APN: 984-180-021
PA18-0268

SHEET DESCRIPTION
PRELIMINARY
LANDSCAPE
HARDSCAPE
DETAILS

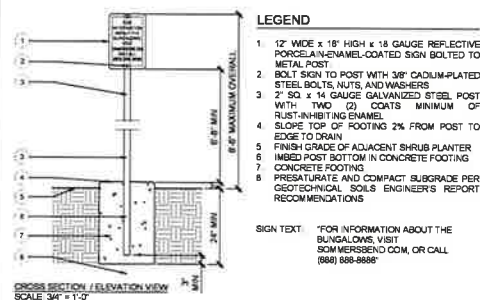
DESIGNED	SMP
DRAWN	SMP
CHECKED	SMP
DATE	09.13.2018
JOB NO.	128722
CAD FILE	
SHEET NUMBER	
PLP-6	
3 OF 9 SHEETS	



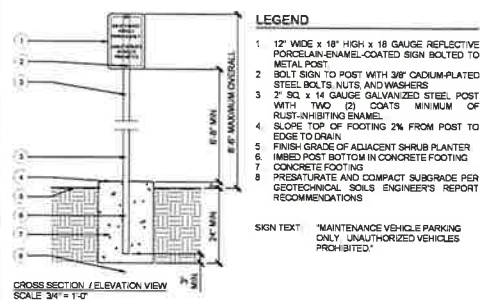
A	CLUB HOUSE OUTDOOR FIRE PIT
---	-----------------------------



Emerson Bible Quiz
 1. What is the purpose of the Bible?
 2. What is the purpose of the Bible?
 3. What is the purpose of the Bible?
 4. What is the purpose of the Bible?
 5. What is the purpose of the Bible?
 6. What is the purpose of the Bible?
 7. What is the purpose of the Bible?
 8. What is the purpose of the Bible?
 9. What is the purpose of the Bible?
 10. What is the purpose of the Bible?



C	BUNGALOWS INFORMATION SIGN
---	----------------------------



D	MAINTENANCE VEHICLE PARKING SIGN
---	----------------------------------

B	BIKE RACK
---	-----------

WORK NOW!

D	MAINTENANCE VEHICLE PARKING SIGN
---	----------------------------------

	DATE	REVISION
△		
△		
△		
△		
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DATE	REVISION

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RIVERSIDE, CA 92506
(951) 281-8224

QUESTIONS

SOMMERS BEND
LOT 6 OF TRACT 28353
TEMECULA, CALIFORNIA
PPA-30 RECREATIONAL CENTER

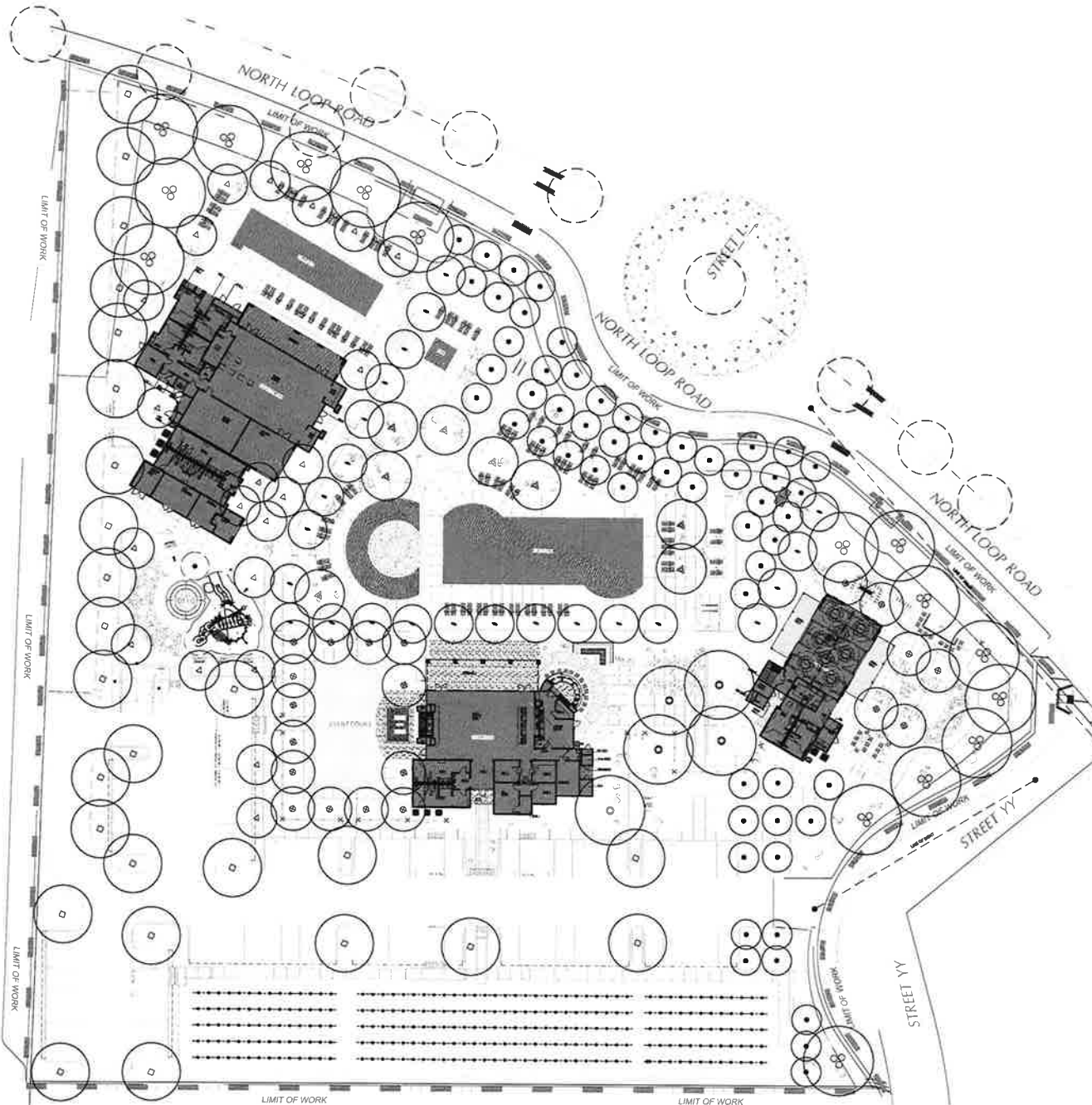
APN: 964-180-021
P419-0288

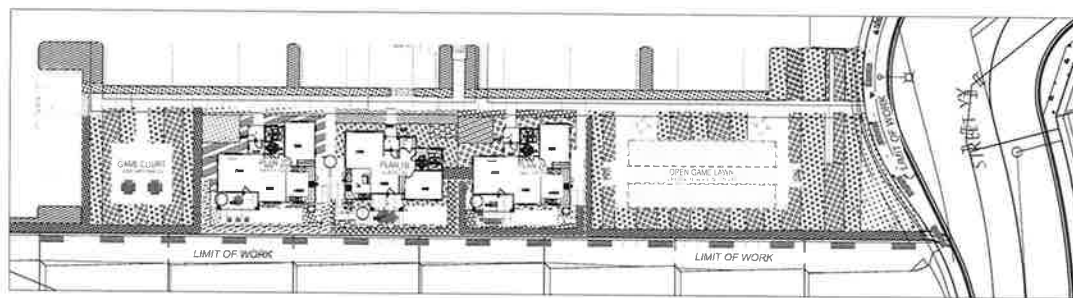
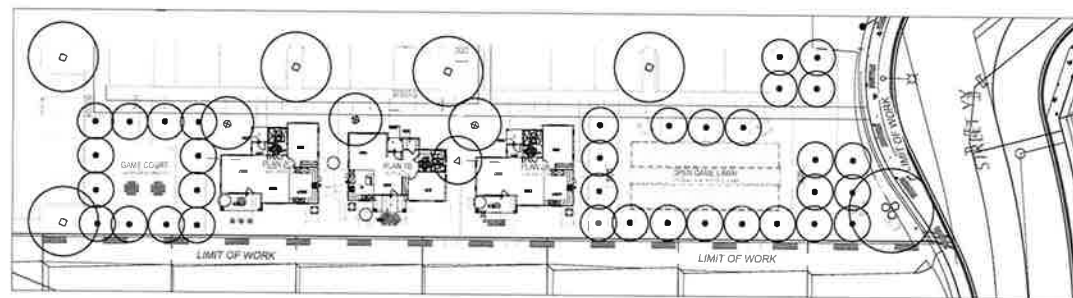
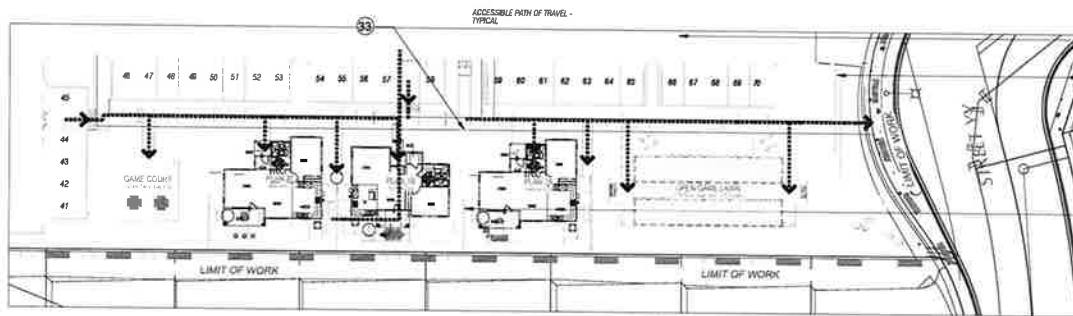
PROJECT

SHEET DESCRIPTION
PRELIMINARY
LANDSCAPE
HARDSCAPE
DETAILS

DESIGNED	SM
DRAWN	SM
CHECKED	SM
DATE	09.13.2011
JOB NO	12872
CAD FILE	
SHEET NUMBER	

PLP-8





PRILIMINARY HARDSCAPE LEGEND

- 20. **RESEMBLING PAPER**
 - SIZES 100-150 PPM
 - ACCEPT PULPS AND ANGLERS AT DISCOUNTS
 - PROMOTE SPACE AND MANAGEMENT STUDIES
- 21. **DEW HILL WITH CHAIRMAN PLANTED**
 - COURT, KENNEL AND PUNCH TO BATH ARCHITECTURE
- 22. **DEW HILL PENCE AT DISCOUNTS**
 - PUNCH, KENNELS AND GATE
 - WOOD AND KENNELS TO MATCH BATH CHAIR

TREE PLANTING LEGEND AND LIST

SYMBOL	INTERNATIONAL COMMON NAME	NUMBER OF LBS	QTY	SEEDS/LB
⊕	LACTUCA SCARICA 'NATZ' WHITE FLOWERING CHAMP W/STYLE	30" SIZE	1	1
●	PRUNUS CUSCUTABIA CHERRY LADLE	30" SIZE	1	1
□	GALFURNIA VIRGINIANA SOUTHERN LIVE OAK	30" SIZE	1	1
⊗	RECHUS MOLLIS CALIFORNIA PEPPER	40" SIZE	1	1
△	TOBI CARNA COFFERTA BROADWING BIRD	30" SIZE	1	1
○	ULMUS PARVIFOLIA CHINESE ELM	40" SIZE	1	1

GENERAL PLANTING NOTES

[illegible]SHRUB UNIFORM MASSES[illegible]

SCALE 1"=20'

NORTH	0
DATE	REVISION

DATE	REVISION
△	
△	
△	
△	
△	

SMP

SPH
SPECIALIZED PAPER HOLDERS



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WOODSIDE HOMES OF SO. CAL
11870 PIERCE STREET, SUITE 250
RIVERSIDE, CA 92505
(951) 281-8224

APN: 964-180-021
PA19-0268

PROJECT:
SOMMERS BEND
LOT 5 OF TRACT 28353
TEMECULA, CALIFORNIA
PA-30 RECREATIONAL CENTER

SHEET DESCRIPTION
**PRELIMINARY
LANDSCAPE
PLANS
(PHASE 2)**

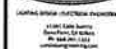
DESIGNED	SMP
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CHECKED	

DATE	09.13.2019
Q8 NO	128722

CAO FILE
SHEET NUMBER

PLP-9

9 OF 9 SHEETS

[illegible]

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SHEET DESCRIPTION

EP1.1

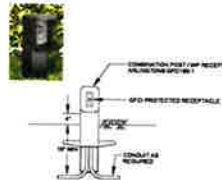
DEVELOPMENTAL PLANS SUMMIT #4A



PHOTOMETRIC SITE PLAN 1

REFER TO SHEET 00.8 FOR SPECIFICATIONS AND MOUNTING HEIGHT

- 1 SINGLE POLE SWITCH
- 2 WP W/ RATED - GFCI PROTECTED RECEPTACLE
W/ WEATHERPROOF COVER
- 3 JUNCTION BOX
- 4 UNDERGROUND PULL BOX
- 5 ELECTRICAL PANEL
- 6 TRANSFORMER
- 7 GATE MOTOR
- 8 IRRIGATION CONTROLLER



OUTDOOR RECEPTACLE DETAIL

LIGHTING FIXTURE LEGEND
REFER TO SHEET E311 FOR SPECIFICATIONS

- | | |
|---|--|
|  |  20W FLUORESCENT
3000° K LAMP |
| |  18" LED POLE
30MM LED POLE LUM
3000° K LAMP
B41 L40 CH1 |
| |  18" LED POLE
30MM LED POLE LUM
3000° K LAMP
B41 L40 CH1 |
|  |  18" LED POLE
30MM LED POLE LUM
3000° K LAMP
B41 L40 CH1 |
|  |  18" LED POLE
30MM LED POLE LUM
3000° K LAMP
B41 L40 CH1 |
|  |  18" LED POLE
30MM LED POLE LUM
3000° K LAMP
B41 L40 CH1 |
|  |  18" LED POLE
30MM LED POLE LUM
3000° K LAMP
B41 L40 CH1 |

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ELECTRICAL KEY NOTES

- | | |
|---|--|
| 1 | LED STRIP LIGHT WITH CHANNEL AT SPAN WALL
FOR FLOOD PLAN FOR MORE INFORMATION |
| 2 | IRRIGATION CONTROLLER
VERIFY EXACT LOCATION WITH IRRIGATION PLANS |
| 3 | FUTURE ENHANCEMENT
FOR IRRIGATION AND PHOTOVOLTAIC PANEL ROW TO
PANEL TYP FOR FUTURE USE |
| 4 | STRIP LED CONSULT WITH PANEL SUPPLIER FOR FUTURE
TYP FOR FUTURE USE |
| 5 | POWER FOR FOUNTAIN PUMP REFER TO LANDSCAPE
PLANS FOR MORE INFORMATION |
| 6 | DIRECT BURIAL CULVERT/UNDERGROUND TRANSFORMER
CABLE TO BE PLACED UNDER FUTURE TO ADJUST
TRANSFORMER AND LOW VOLTAGE CABLE NOT SHOWN
FOR FUTURE FOUNTAIN PUMP AND LIGHTING
DEPENDS ON CONNECT LOG |
| 7 | OUTDOOR RECEPTACLE REFER TO DETAIL, SHEET
05-2000-0000 |
| 8 | IF NEW FROM FACE OF WALL TO EDGE OF FUTURE
36" TRANSFORMER |
| 9 | FOUNTAIN LIGHTING REFER TO LANDSCAPE PLANS FOR
EXACT INSTALLATION LOCATION |

INDICATES CIRCUIT NUMBER (TYPICAL)

	2 #12 THHN/THWN-2 CU & 1 #12 CU-GND IN 3/4" SCH 40 PVC CONDUIT
	3 #10 THHN/THWN-2 CU & 1 #10 CU-GND IN 3/4" SCH 40 PVC CONDUIT
	2 #8 THHN/THWN-2 CU & 1 #8 CU-GND IN 1" SCH 40 PVC CONDUIT

1. EXTERIOR SITE (LIGHT) CONDUCTIONS TO BE 3-
3/4" SCHEDULE 40 PIPE CONTRACTOR TO BE SURE

- [illegible]

ARTICLE 18 OF THE POOLISA SHALL BE OF PROTECTED.



CANDELA ENGINEERING
11000 PERCE STREET, SUITE 280
RIVERSIDE, CA 92506
PHONE (951) 281-9224



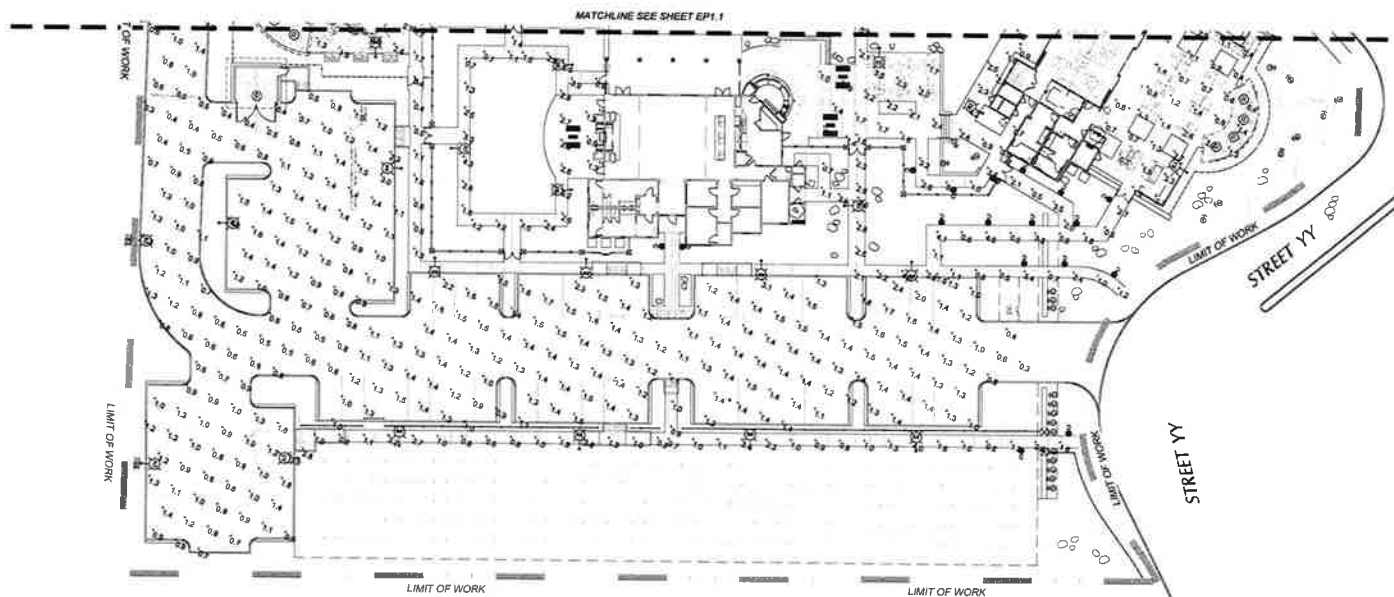
DATE	REVISION

OWNER
WOODSIDE HOME OF SO. CAL
11000 PERCE STREET, SUITE 280
RIVERSIDE, CA 92506
PHONE (951) 281-9224

PROJECT
SOMMERS BEND
LOT 5 OF TRACT 28553
TENCUELA, CALIFORNIA
PA-30 RECREATION CENTER
APN 964-180-020/PAS-0268

SHEET DESCRIPTION	
DESIGNED	
DRAWN	
CHECKED	
DATE	09/15/18
JOINT	XS-013
CD FILE	
SHEET NUMBER	
EP1.2	
SHEETS TOTAL	

DEVELOPMENTAL PLAN SUBMITTAL #4



PHOTOMETRIC SITE PLAN 1

ELECTRICAL KEY NOTES

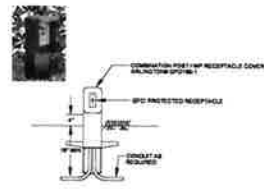
1. LED STRIP LIGHTS WITH BATTERY AT SPA WALL (REFER TO POOL PLAN FOR MORE INFORMATION)
2. VERIFY EXISTING LIGHTING WITH IRIGATION PLANS
3. FUTURE EV CHARGER LOCATION
4. INSTALL 1" CONDUIT AND POLYPROPYLENE PULL ROPE TO PANEL "EV" FOR FUTURE USE
5. STRIP LIGHT CONDUIT WITH PULL ROPE FOR FUTURE USE TO PANEL "EV"
6. POWER FOR FOUNTAIN PUMP, REFER TO LANDSCAPE PLANS FOR MORE INFORMATION
7. DIRECT BURIAL LOW VOLTAGE TRANSDUCER, CONTRACTOR TO CONNECT LOW VOLTAGE FUTURE TO EXISTING TRANSFORMER (LOW VOLTAGE SHALL NOT BE SHOWN FOR LIABILITY, LOCAL REGULATIONS OR BUREAU, 1800V OR 300V DEPENDING ON EXISTING LINES)
8. OUTDOOR RECEPTACLE, REFER TO DETAIL 1, SHEET XS-1
9. 8" MIN. FROM FACE OF SPA WALL TO SIDE OF FEATURE
10. 24V TRANSFORMER
11. FOUNTAIN LIGHTS, REFER TO LANDSCAPE PLANS FOR EXACT INSTALLATION LOCATION
12. INDICATES CIRCUIT NUMBER (TYPICAL)
13. 2 PIG THIN/THICK/2-0-0 & 1 PIG CL-0-0 IN 3/4" SCH. 40 PVC CONDUIT
14. 2 PIG THIN/THICK/2-0-0 & 1 PIG CL-0-0 IN 3/4" SCH. 40 PVC CONDUIT
15. 2 PIG THIN/THICK/2-0-0 & 1 PIG CL-0-0 IN 3/4" SCH. 40 PVC CONDUIT
16. 2 PIG THIN/THICK/2-0-0 & 1 PIG CL-0-0 IN 3/4" SCH. 40 PVC CONDUIT
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99. 2 PIG THIN/THICK/2-0-0 & 1 PIG CL-0-0 IN 3/4" SCH. 40 PVC CONDUIT
100. 2 PIG THIN/THICK/2-0-0 & 1 PIG CL-0-0 IN 3/4" SCH. 40 PVC CONDUIT

LIGHTING FIXTURE LEGEND

- REFER TO SHEET XS-2 FOR SPECIFICATIONS
- 1. 20W FLUORESCENT WALL LIGHT 3000° K LAMP
 - 2. 18" TALL 3000° K LAMP
 - 3. 18" TALL 3000° K LAMP
 - 4. 18" TALL 3000° K LAMP
 - 5. 18" TALL 3000° K LAMP
 - 6. 18" TALL 3000° K LAMP
 - 7. 18" TALL 3000° K LAMP
 - 8. 18" TALL 3000° K LAMP
 - 9. 18" TALL 3000° K LAMP
 - 10. 18" TALL 3000° K LAMP
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 - 99. 18" TALL 3000° K LAMP
 - 100. 18" TALL 3000° K LAMP

ELECTRICAL DEVICE LEGEND

- REFER TO SHEET XS-2 FOR SPECIFICATIONS
- 1. SINGLE POLE SWITCH
 - 2. 1/2" NPT, 600V PROTECTED RECEPTACLE WITH WEATHERPROOF COVER
 - 3. JUNCTION BOX
 - 4. UNDERGROUND PULL BOX
 - 5. ELECTRICAL PANEL
 - 6. TRANSFORMER
 - 7. GATE MOTOR
 - 8. IRRIGATION CONTROLLER



OUTDOOR RECEPTACLE DETAIL 6

ELECTRICAL DEVICE LEGEND 5

LIGHTING FIXTURE LEGEND 4

ELECTRICAL KEY NOTES 3

SITE ELECTRICAL NOTES 2



CANDELA
ENGINEERING
2141 E. 1st Ave. Suite 200
San Jose, CA 95128
408.944.1422
candeledesign.com



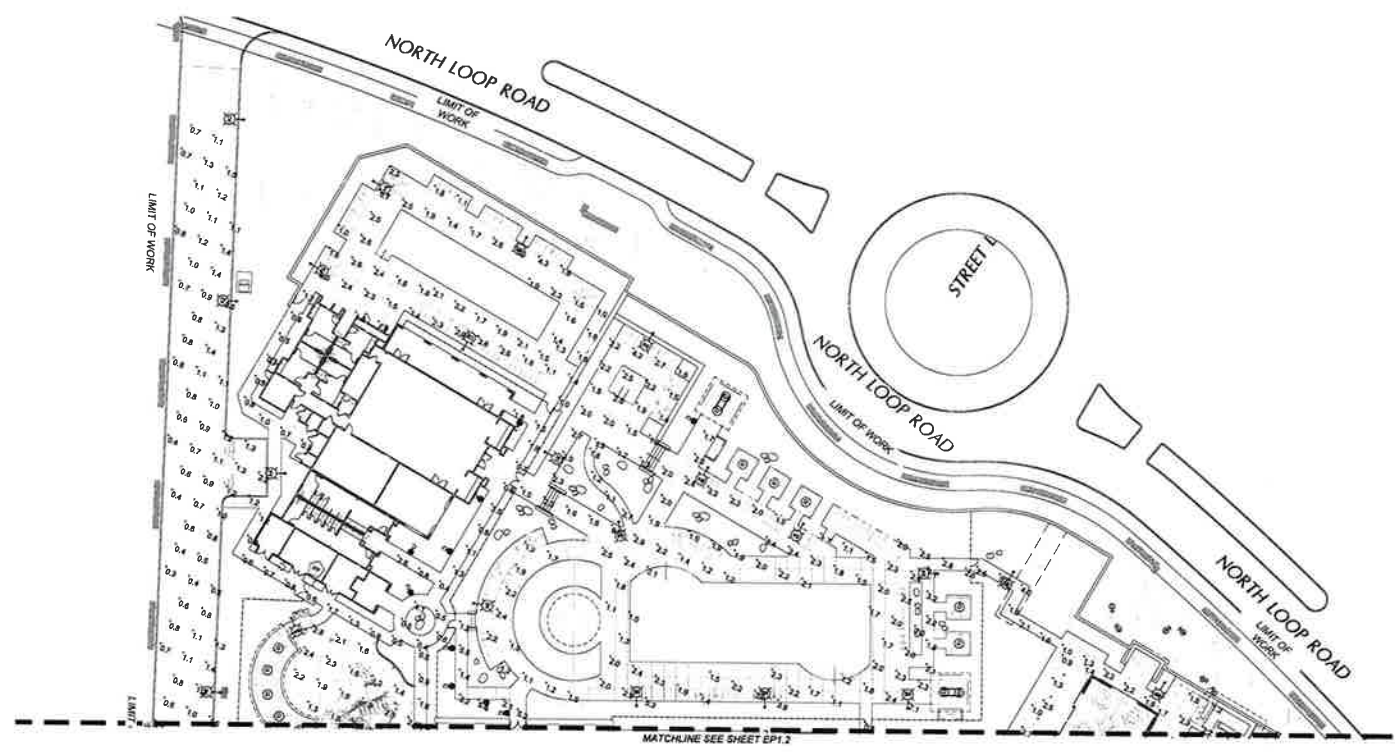
DATE	REVISION

OWNER
WOODSIDE HOME OF SO. CAL
1870 PERCE STREET, SUITE 250
RIVERSIDE, CA 92506
PHONE: (951) 281-8224

PROJECT
SOMMERS BEND
LOT 5 OF TRACT 28663
TAMENCA, CALIFORNIA
PA-30 RECREATIONAL CENTER
APN 964-18-027(PA)9-0288

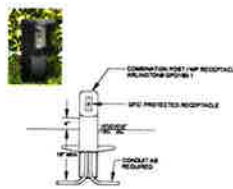
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DESIGNED	
DRAWN	
CHECKED	
DATE	03/13/19
DWG NO	XS-013
FILE	
SHEET NUMBER	
EP1.1	
SHEETS TOTAL	

DEVELOPMENTAL PLAN SUBMITTAL #4



PHOTOMETRIC SITE PLAN 1

ELECTRICAL DEVICE LEGEND
REFER TO SHEET XS-03 FOR SPECIFICATIONS AND MOUNTING HEIGHTS



- 1. 1/2" NPT, GFCI PROTECTED RECEPTACLE WITH WEATHERPROOF COVER
- 2. JUNCTION BOX
- 3. UNDERGROUND PULL BOX
- 4. ELECTRICAL PANEL
- 5. TRANSFORMER
- 6. DATE MOTOR
- 7. IRRIGATION CONTROLLER

LIGHTING FIXTURE LEGEND
REFER TO SHEET XS-03 FOR SPECIFICATIONS

- 1. 20W FLUORESCENT WALL LIGHT 3000° K LAMP
- 2. 10W LED POLE LIGHT (TYPE B) 3000° K LAMP 8' H 1/4" Ø 1"
- 3. 10W LED POLE LIGHT (TYPE F) 3000° K LAMP 8' H 1/4" Ø 1"
- 4. 10W LED POLE LIGHT (TYPE M) 3000° K LAMP 8' H 1/4" Ø 1"
- 5. 10W LED POLE LIGHT (TYPE N) 3000° K LAMP 8' H 1/4" Ø 1"
- 6. 10W LED BOLLARD 32" TALL 3000° K
- 7. 10W LED TRELIS LIGHT 3000° K
- 8. 10W LED UPLIGHT 3000° K
- 9. 10W LED UPLIGHT 3000° K

ELECTRICAL KEY NOTES

1. 1/2" NPT, GFCI PROTECTED RECEPTACLE WITH WEATHERPROOF COVER PER THE 2017 IBC CODE.
2. VERIFY EXACT LOCATION WITH IRRIGATION PLANS.
3. PULL BOXES SHALL BE INSTALLED WITHIN 10' OF THE RECEPTACLE OR LIGHT FIXTURE.
4. STABILITY OF CONDUIT WITH PULL BOXES OR PULL RACE SHALL BE VERIFIED.
5. POWER FOR IRRIGATION PUMP REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.
6. DIRECT BURIAL LOW VOLTAGE TRANSFORMER. CONTRACTOR TO VERIFY EXACT LOCATION WITH THE DATE CONTRACTOR TO MAKE SURE ANY NECESSARY CONDUIT, CIRCUIT BREAKER, AND/OR OTHER EQUIPMENT IS INSTALLED.
7. OUTDOOR RECEPTACLE REFER TO DETAIL 1, SHEET XS-03.
8. 1/2" NPT, GFCI PROTECTED RECEPTACLE WITH WEATHERPROOF COVER PER THE 2017 IBC CODE.
9. 20W FLUORESCENT WALL LIGHT 3000° K LAMP.
10. 10W LED POLE LIGHT (TYPE B) 3000° K LAMP 8' H 1/4" Ø 1".
11. 10W LED POLE LIGHT (TYPE F) 3000° K LAMP 8' H 1/4" Ø 1".
12. 10W LED POLE LIGHT (TYPE M) 3000° K LAMP 8' H 1/4" Ø 1".
13. 10W LED POLE LIGHT (TYPE N) 3000° K LAMP 8' H 1/4" Ø 1".
14. 10W LED BOLLARD 32" TALL 3000° K.
15. 10W LED TRELIS LIGHT 3000° K.
16. 10W LED UPLIGHT 3000° K.
17. 10W LED UPLIGHT 3000° K.

SITE ELECTRICAL NOTES

1. 1/2" NPT, GFCI PROTECTED RECEPTACLE WITH WEATHERPROOF COVER PER THE 2017 IBC CODE.
2. VERIFY EXACT LOCATION WITH IRRIGATION PLANS.
3. PULL BOXES SHALL BE INSTALLED WITHIN 10' OF THE RECEPTACLE OR LIGHT FIXTURE.
4. STABILITY OF CONDUIT WITH PULL BOXES OR PULL RACE SHALL BE VERIFIED.
5. POWER FOR IRRIGATION PUMP REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.
6. DIRECT BURIAL LOW VOLTAGE TRANSFORMER. CONTRACTOR TO VERIFY EXACT LOCATION WITH THE DATE CONTRACTOR TO MAKE SURE ANY NECESSARY CONDUIT, CIRCUIT BREAKER, AND/OR OTHER EQUIPMENT IS INSTALLED.
7. OUTDOOR RECEPTACLE REFER TO DETAIL 1, SHEET XS-03.
8. 1/2" NPT, GFCI PROTECTED RECEPTACLE WITH WEATHERPROOF COVER PER THE 2017 IBC CODE.
9. 20W FLUORESCENT WALL LIGHT 3000° K LAMP.
10. 10W LED POLE LIGHT (TYPE B) 3000° K LAMP 8' H 1/4" Ø 1".
11. 10W LED POLE LIGHT (TYPE F) 3000° K LAMP 8' H 1/4" Ø 1".
12. 10W LED POLE LIGHT (TYPE M) 3000° K LAMP 8' H 1/4" Ø 1".
13. 10W LED POLE LIGHT (TYPE N) 3000° K LAMP 8' H 1/4" Ø 1".
14. 10W LED BOLLARD 32" TALL 3000° K.
15. 10W LED TRELIS LIGHT 3000° K.
16. 10W LED UPLIGHT 3000° K.
17. 10W LED UPLIGHT 3000° K.

OUTDOOR RECEPTACLE DETAIL 6

ELECTRICAL DEVICE LEGEND 5

LIGHTING FIXTURE LEGEND 4

ELECTRICAL KEY NOTES 3

SITE ELECTRICAL NOTES 2



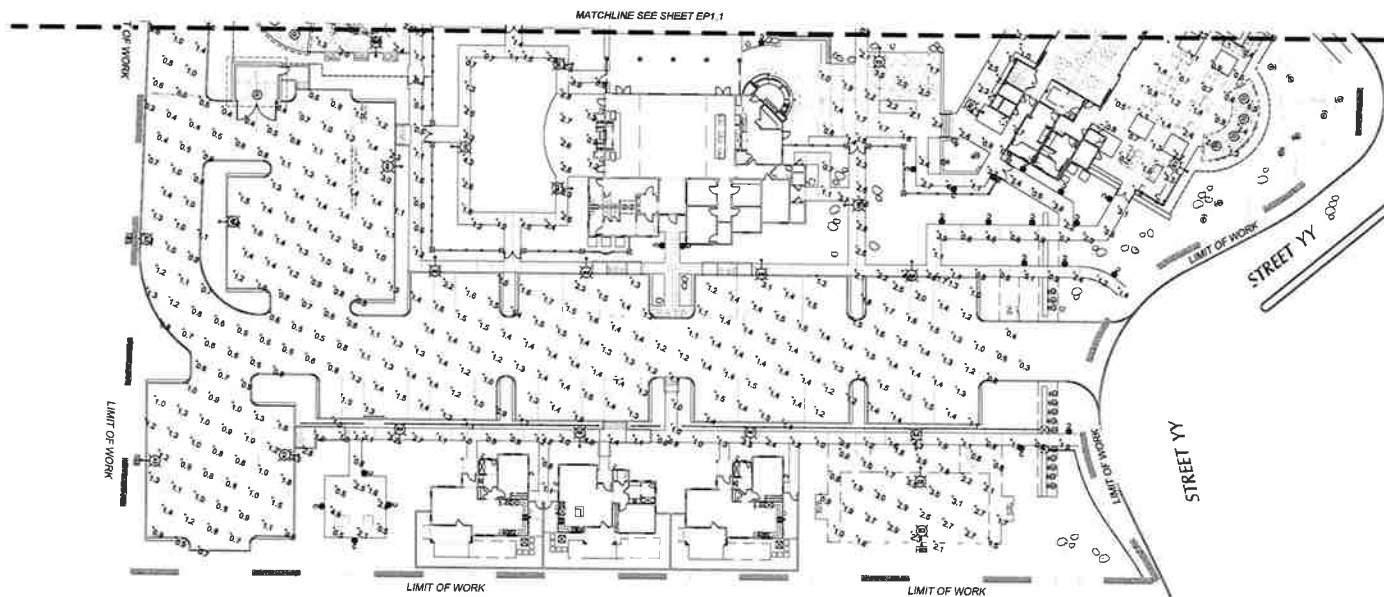
DATE	REVISION
△	
△	
△	
△	
△	

OWNER
WOODSIDE HOME OF SO. CAL
11870 PEIRCE STREET, SUITE 260
RIVERSIDE, CA 92506
PHONE (951) 281-8224

PROJECT
SOMMERS BEND
LOT 6 OF TRACT 29353
TEMECULA, CALIFORNIA
PA-30 RECREATIONAL CENTER
APN# 964-180-021/PA19-0268

SHEET DESCRIPTION	
DESIGNED	
DRAWN	
CHECKED	
DATE	09/13/18
DWG NO	XS-013
CAD FILE	
SHEET NUMBER	
EP1.2	
SHEETS TOTAL	

DEVELOPMENTAL PLAN SUBMITTAL #4

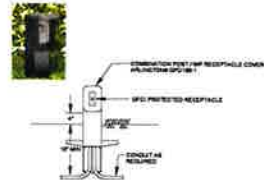


PHOTOMETRIC SITE PLAN 1

ELECTRICAL DEVICE LEGEND

REFER TO SHEET 13.1 FOR SPECIFICATIONS AND MOUNTING HEIGHTS

- 1 SINGLE POLE SWITCH
- 2 W/ RATED, GFCI PROTECTED RECEPTACLE W/ WEATHERPROOF COVER
- 3 JUNCTION BOX
- 4 UNDERGROUND PULL BOX
- 5 ELECTRICAL PANEL
- 6 TRANSFORMER
- 7 GATE MOTOR
- 8 IRRIGATION CONTROLLER



OUTDOOR RECEPTACLE DETAIL	6
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LIGHTING FIXTURE | LEGEND

PLEASE VISIT WWW.DOWCORNING.COM FOR SPECIFICATIONS

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LIGHTING FIXTURE LEGEND

ELECTRONIC KEYNOTES

- ## ELECTRICAL KEY NOTES
1. LEAVE ALL ELECTRICAL WORK TO BE DONE AT SPW. MAKE SURE TO POOL PLAN FOR MORE INFORMATION
 2. IRRIGATION CONTROLLER
VERIFY EXIST LOCATION WITH IRRIGATION PLANS
 3. FUTURE IN-CHARGE LOCATION
VERIFY EXIST LOCATION WITH IRRIGATION PLANS
FOR FUTURE, NEW FOR FUTURE USE
 4. FUTURE IRRIGATION CALL ROPE FOR FUTURE USE
TO PANEL P.
 5. FUTURE IRRIGATION CALL ROPE FOR LANDSCAPE PLANS
FOR MORE INFORMATION
 6. DIRECT BURIAL LOW VOLTAGE TRANSFORMER - CONTRACTOR TO VERIFY EXIST LOCATION WITH LANDSCAPE PLANS
TRANSFORMER LOW VOLTAGE CABLES NOT SPANNE OVER
ROADS - SHOULD USE STRUTS OVER ROADS, OR BRIDGE
SUPPORTING OVER CONNECT LOCATIONS
 7. OUTDOOR RECEPTABLE REFER TO DETAIL "S" SHEET 85 Y
FOR EXIST LOCATION OF SPW. MAKE SURE TO POOL PLAN
FOR MORE INFORMATION
 8. 250 TRANSFORMER
 9. FOUNTAIN LIGHTS REFER TO LANDSCAPE PLANS FOR
EXACT RELOCATION LOCATION
- NOTES (SHEET NUMBER TYPICAL)
1. 1# 250V 250VA CONDUIT @ 1" AND CL-ING IN 1" 250V 250VA CONDUIT
 2. 1# 250V 250VA CONDUIT @ 1" AND CL-ING IN 1" 250V 250VA CONDUIT
 3. 2# 250V 250VA CONDUIT @ 1" AND CL-ING IN 1" 250V 250VA CONDUIT
 4. 2# 250V 250VA CONDUIT @ 1" AND CL-ING IN 1" 250V 250VA CONDUIT

ELECTRICAL KEY NOTES

PHOTOMÉ

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RENTAL OF A CAR OR TRUCK