



LAS HACIENDAS APARTMENTS

TEMECULA - CALIFORNIA

SCHEMATIC DESIGN SUBMITTAL - FEBRUARY 20, 2020

SCHEMATIC DESIGN 2ND SUBMITTAL - APRIL 23, 2020

SCHEMATIC DESIGN 3RD SUBMITTAL - MAY 22, 2020

PA20-0345

COMMUNITY HOUSING WORKS

RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC.

RA **RODRIGUEZ ASSOCIATES**
ARCHITECTS & PLANNERS, INC.
4080 CENTRE ST. SUITE 104, SAN DIEGO, CA 92103 (619) 544-8951 (619) 544-8941 FAX

PROJECT DIRECTORY

OWNER:

COMMUNITY HOUSING WORKS

3111 CAMINO DEL RIO NORTH, STE. 800
SAN DIEGO, CALIFORNIA 92108
(619) 282-6647 (619) 640-7119 FAX

CIVIL ENGINEER:

EXCEL ENGINEERING

440 STATE PLACE
ESCONDIDO, CALIFORNIA 92029
(760) 743-8118

ARCHITECT:

RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC.

4080 CENTRE ST., SUITE 104
SAN DIEGO, CALIFORNIA 92103
(619) 544-8951 (619) 544-8941 FAX

LANDSCAPE ARCHITECT:

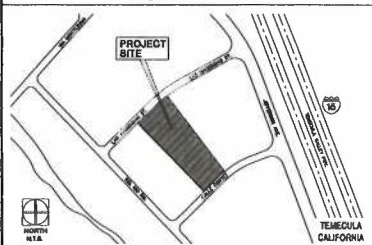
SCHMIDT DESIGN GROUP

1310 ROSECRANS STREET, SUITE G
SAN DIEGO, CALIFORNIA 92106
(619) 536-1462

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VICINITY MAP



LAS HACIENDAS APARTMENTS
TEMECULA - CALIFORNIA

Community Housing Works
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

TITLE SHEET

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20				
2	2	SCHEMATIC DES. 2ND SUBMITTAL	04-23-20				
3	3	SCHEMATIC DES. 1ST SUBMITTAL	02-20-20				

DATE: FEB. 20, 2020

JOB NO.

DRAWN

CHECKED

SHEET

TS



NOTE:
REFER TO CIVIL PLANS
AND LANDSCAPE PLANS
FOR ADDITIONAL INFO.

SCHEMATIC DESIGN 3RD SUBMITTAL - 05/22/2020

PROJECT SUMMARY

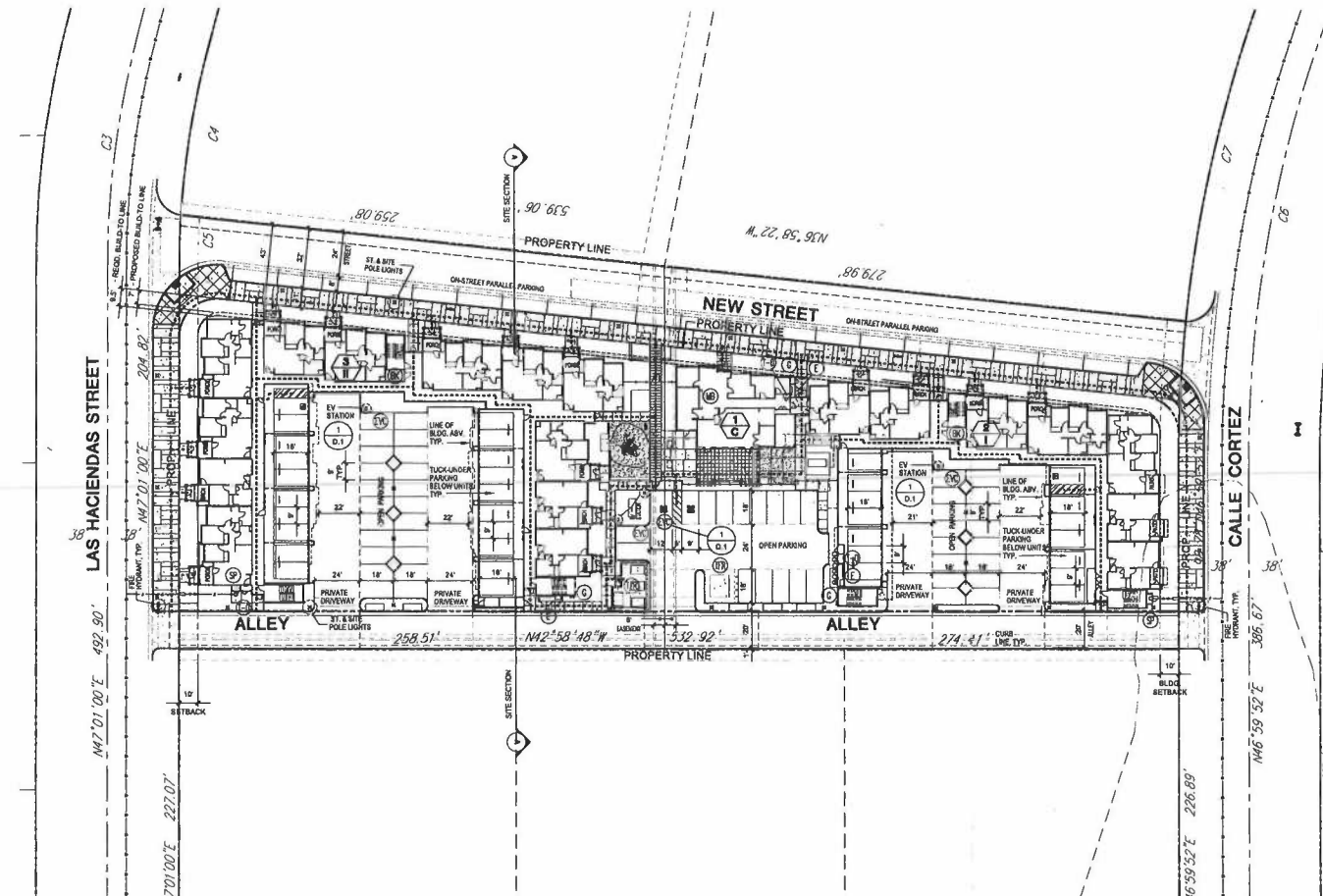
1. Assessor's Parcel No.:	921-050-018-2 & 921-050-020-5				
2. Address:	28715 LAS HACIENDAS & 28712 CALLE CORTEZ TEMECULA, CALIFORNIA 92590				
3. Legal Description:	LOTS 18 AND 20 OF TRACT 3841, CITY OF TEMECULA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER FILED IN BOOK 61, PAGE(S) 73 AND 78 OF MAPS, AND AMENDED BY A CERTIFICATE OF CORRECTION RECORDED AUGUST 23, 1987 AS INSTRUMENT NO. 246383, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA.				
4. Zoning Designation:	UPDOWN TEMECULA SPECIFIC PLAN (SP-14) CHESAIRE VILLAGE				
5. General Plan Designation:	SPECIFIC PLAN IMPLEMENTATION (SPI)				
6. Type of Development:	MULTI-FAMILY RESIDENTIAL				
7. Total Gross Area:	108,900 SF 2.3 AC				
8. Total Net Area:	86,067 SF 1.97 AC				
9. Total Building Area:	101,682 SF				
10. Building Fire Sprinkler System:	NFPA 13 OR NFPA 13R SYSTEM				
11. Site Data:	Coverage %				
GROSS: 2.5 AC (108,900 SF) NET: 1.97 AC (86,067 SF)		100.0%			
Building:	35,255 SF	41%			
Drives & Open Parking:	22,336 SF	26%			
Landscaping:	28,478 SF	33%			
12. Parking On Site:	Provided				
Required Per Updown Specific Plan					
175 SPACES & 177 UNITS = 135 Spaces	HCP CARPORT	= 2 Spaces			
Required Per State Bonus Law	HCP SURFACE	= 2 Spaces			
1 SP. X 15 ONE BDRM S = 15 Spaces	SURFACE	= 32 Spaces			
175 SP. X 63 ONE/TWO BDRM S = 108 Spaces	CARPORT	= 32 Spaces			
TOTAL REQUIRED = 124 Spaces	TOTAL PROVIDED =	68 Spaces			
NOTE: Reduction of 56 parking spaces requested as a concession for increased site density.					
13. Parking On Street:	STREET PARALLEL	20 Spaces			
14. Floor Area Ratio:	101,682 SF / 108,067 SF = .94				
15. Occupancy:	R-2, A-3, U & B				
16. Type of Construction:	V-A				
17. Building Fire Alarm:	FIRE ALARM SYSTEM PER CITY OF TEMECULA				
18. Building Height:	Allowed	Proposed			
MAX: 67 FT / 5 STORIES	37'-0" FT / 3 STORIES				
19. Setbacks:	Required	Proposed			
Front:	10'-0"	Front: 7'-0" AFFORDABLE HOUSING REQUEST			
Side Int:	0'-0"	Side Int: 10'-0"			
Rear (Alley):	0'-0"	Rear (Alley): 20'-0"			
Rear:	5'-0"	Rear: 10'-0"			
20. Residential Unit Mix:					
Unit Type	No. Bdrms & Ba.	Living Area	Porch/Patio	Balcony	No. Units & %
UNIT A1	1 Bdrms. / 1 Bath	830 SF	107 SF	62 SF	15 (18%)
UNIT B1	2 Bdrms. / 1 Bath	812 SF	112 SF	71 SF	38 (51%)
UNIT C1	3 Bdrms. / 2 Bath	1,002 SF	121 SF	70 SF	23 (30%)
Total No. of Units					77 (100%)
21. Density:	39.08 UNITS / NET AC.				
22. Open Space Data:					
Req'd. Private Open Space	Proposed Private Open Space				
100 SF / DWELLING UNIT	151 FLR. PORCHES = 2,178 SF				
100 SF X 77 DU = 7,700 SF	2ND & 3RD FLR. BALCONIES = 4,015 SF				
	CONSUMED PRIVATE SPACE = 7,754 SF				
Total	7,700 SF	TOTAL 13,392 SF			

LAS HACIENDAS APARTMENTS
TEMECULA - CALIFORNIA

Community HousingWorks
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San Diego, California 92108
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Fax: 619-640-7119

ARCHITECTURAL SITE PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
A	1	SONDAGE DEL 3RD SUBMITAL	09-17-20	A			
A	2	SONDAGE DEL 3RD SUBMITAL	05-12-20	A			
A				A			
DATE: FEB. 20, 2020				SHEET			
JOB NO				AS.1			
DRAWN							
CHECKED							



ARCHITECTURAL SITE PLAN

SITE LEGEND

	BUILDING FTL.		STD. RESIDENTIAL PARKING SPACE - 8' x 18'		MAX. BOX LOCATION		FIRE SPRINKLER RISER LOCATION		ELECTRIC VEHICLE CHARGING SPACE
	BUILDING TYPE		TYP. ACCESSIBLE PARKING 8' x 18' STD. & 12' x 16' VAN		TRANSFORMER ENCLOSURE		TEL./DATA LOCATION		GAS METER LOCATION
	INDICATES PROPERTY LINE		ELEC. METER LOCATION		BREAK RACK LOCATION		STREET & METER LOCATION		FIRE HYDRANT LOCATION
	INDICATES HATCHED PATH OF TRAVEL		INDICATES ACCESSIBLE FIRST FLOOR UNIT		ELEC. TRANSFER/ORATOR LOCATION				

NOTE: DESIGN-BUILD CONTRACTOR SHALL SUBMIT FIRE PROTECTION SYSTEM PLANS, INCLUDING FIRE DEPT. CONNECTIONS FOR EA. BUILDING, POST INDICATOR VALVE FOR EA. BUILDING TO CITY TEMECULA FOR PLAN REVIEW AND PERMITS PRIOR TO CONST.

NOTE: REFER TO CIVIL PLANS AND LANDSCAPE PLANS FOR ADDITIONAL INFO.





rodriguez associates architects & planners

PERSPECTIVE VIEW - LAS HACIENDAS AVENUE & NEW STREET

NOTE:
LANDSCAPING & TREES NOT SHOWN
ON RENDERINGS FOR CLARITY OF
BUILDINGS PER CITY OF TEMECULA.

LAS HACIENDAS APARTMENTS
TEMECULA - CALIFORNIA



**Community
Housing Works**

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CHARACTER SKETCHES

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
A	1	SCHEDULE 101 3RD SUBMITTAL	09-22-18	A			
A	2	SCHEDULE 101 3RD SUBMITTAL	09-22-18	A			
A				A			

	DATE	FEB. 20, 2020	SHEET
	JOB NO.		
	DESIGN		
	CHECKED		

CS.1



PERSPECTIVE VIEW - CALLE CORTEZ



PERSPECTIVE VIEW - NEW STREET

NOTE:
 LANDSCAPING & TREES NOT SHOWN
 ON RENDERINGS FOR CLARITY OF
 BUILDINGS PER CITY OF TEMECULA.

LAS HACIENDAS APARTMENTS
 TEMECULA - CALIFORNIA



Community Housing Works
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 Fax: 619-642-7119

CHARACTER SKETCHES

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
▲	1	SCHEMATIC DES. AND SUBMITTAL	01-21-20	▲			
▲	2	SCHEMATIC DES. AND SUBMITTAL	01-21-20	▲			
▲				▲			

DATE	FEB. 20, 2020	SHEET
JOB NO.		CS.2
DRAWN		
CHECKED		



PERSPECTIVE VIEW - CALLE CORTEZ & NEW STREET



PERSPECTIVE VIEW - LAS HACIENDAS AVENUE

NOTE:
LANDSCAPING & TREES NOT SHOWN
ON RENDERINGS FOR CLARITY OF
BUILDINGS PER CITY OF TEMECULA.

LAS HACIENDAS APARTMENTS
TEMECULA - CALIFORNIA



**Community
HousingWorks**

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Fax: 619-640-7119

CHARACTER SKETCHES

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	ISSUANCE REL. 3RD SUBMITTAL	04-22-20	1	1		
2	2	ISSUANCE REL. 3RD SUBMITTAL	05-22-20	2	2		

DATE FEB. 20, 2020	SHEET CS.3
JOB NO.	
DRAWN	
CHECKED	



NOTE:
LANDSCAPING & TREES NOT SHOWN
ON RENDERINGS FOR CLARITY OF
BUILDINGS PER CITY OF TEMECULA.

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Fax: 619-640-7119

CHARACTER SKETCHES

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
▲	1	SCHEMATIC DLS AND SUBMITTAL	04-23-20	▲			
▲	2	SCHEMATIC DLS AND SUBMITTAL	05-22-20	▲			
▲				▲			
▲				▲			

	DATE	FEB. 20, 2020	SHEET
	JOB NO.		
	OFFICE		
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CS.4

UNIT B1

2 BEDROOM - 1 BATH

812 SQ. FEET

SCALE: 1/4" = 1'-0"



UNIT A1

1 BEDROOM - 1 BATH

650 SQ. FEET

SCALE: 1/4" = 1'-0"



RODRIGUEZ ASSOCIATES
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4080 CENTRE ST. SUITE 104, SAN DIEGO, CA 92103 (619) 544-8951 (619) 544-8941 FAX

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LAS HACIENDAS APARTMENTS
TEMECULA - CALIFORNIA



Community Housing Works

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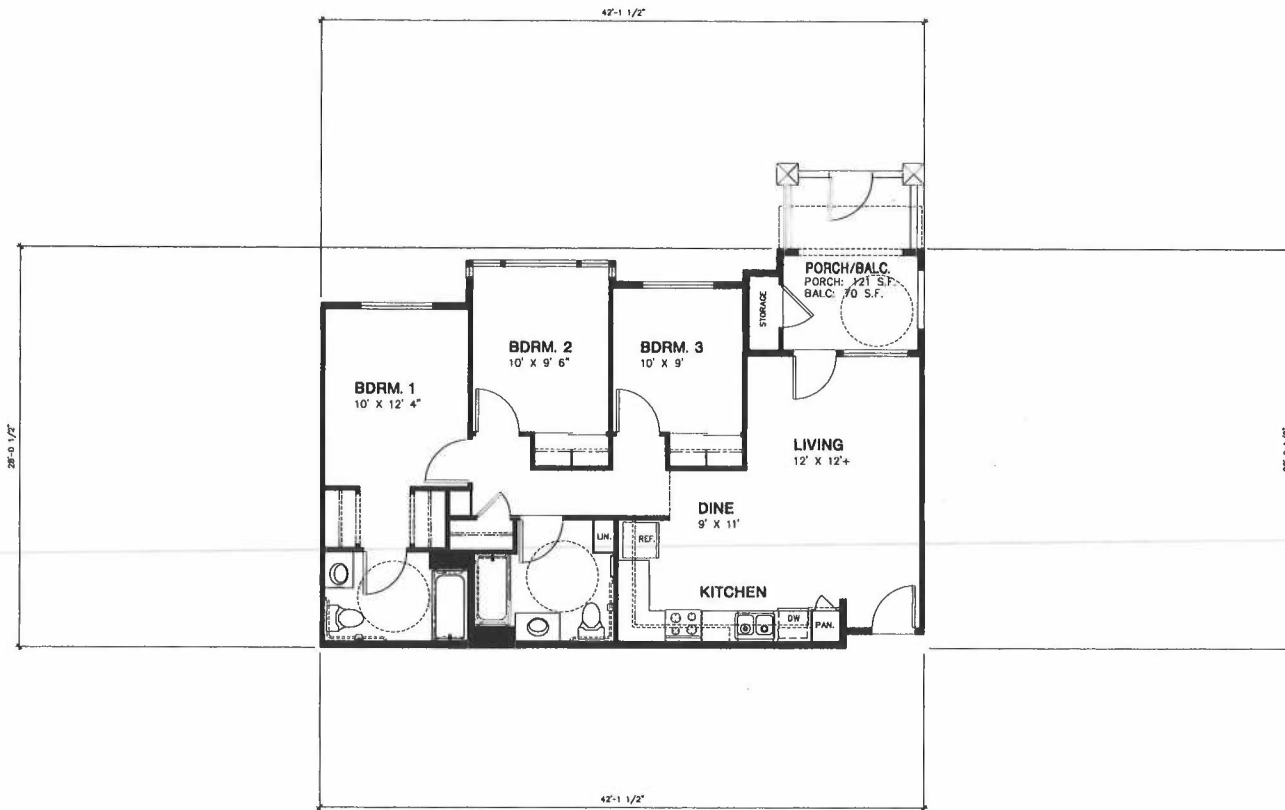
UNIT FLOOR PLANS

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
▲	1	SCHEMATIC DES. AND SUBMITTAL	04-23-90	▲			
▲	2	SCHEMATIC DES. AND SUBMITTAL	05-22-90	▲			
▲				▲			
▲				▲			

	DATE	FEB. 20, 2020	SHEET
	JOB NO.		
	DRAWN		
	CHECKED		

A0.1

SCHEMATIC DESIGN 3RD SUBMITTAL - 05/22/2020



UNIT C1

3 BEDROOM - 2 BATH

ADAPTABLE & ACCESSIBLE
UNIT AT FIRST FLOOR LEVEL

1,002 SQ. FEET

SCALE: 1/4" = 1'-0"

**RODRIGUEZ ASSOCIATES
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LAS HACIENDAS APARTMENTS
TERRACULA - CALIFORNIA

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HousingWorks**
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
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Fax: 619-640-7119

UNIT FLOOR PLANS

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
▲	1	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	▲			
▲	2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	▲			
▲				▲			
▲				▲			

DATE
FEB. 20, 2020

JOB NO.

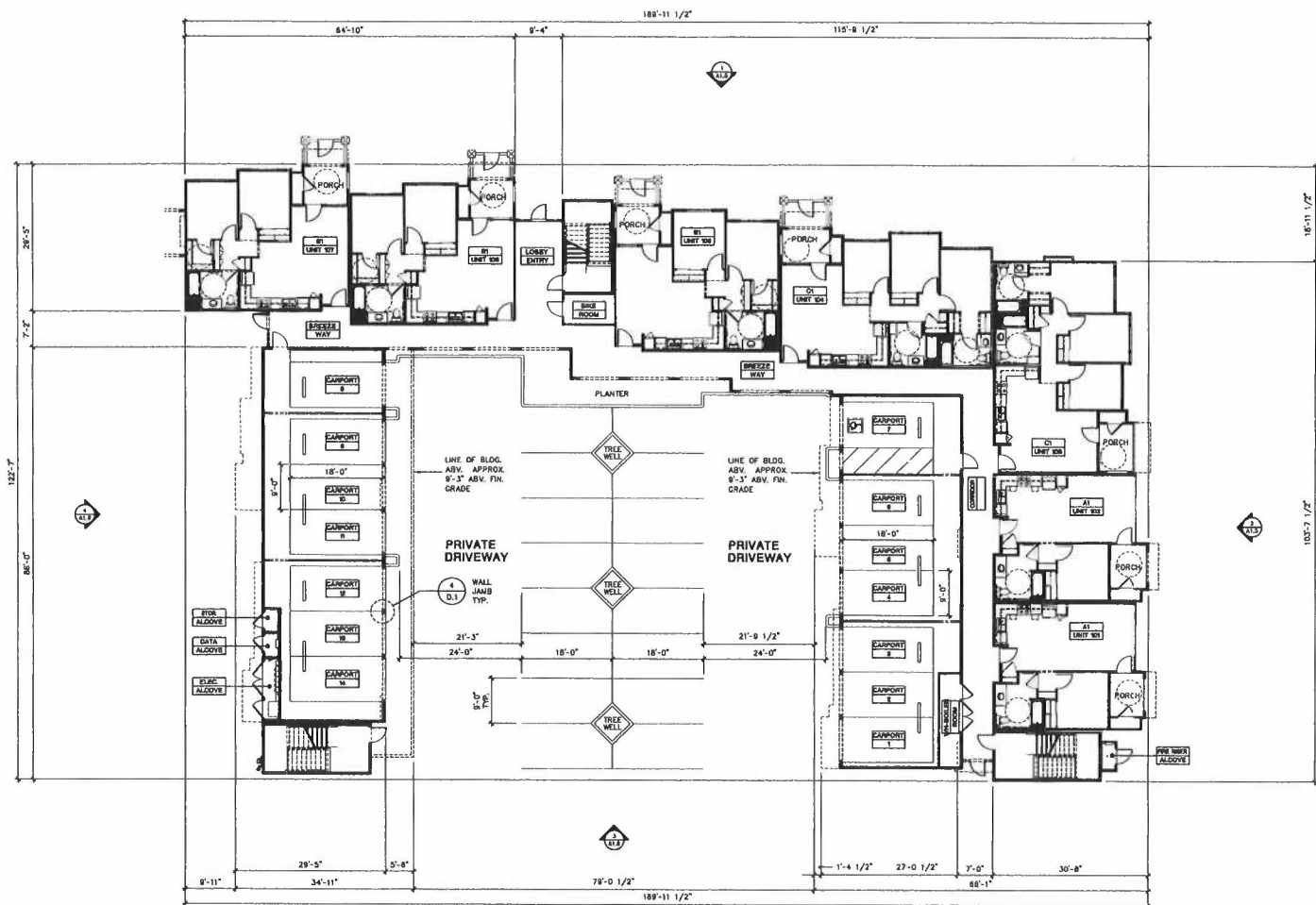
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SCHEMATIC DESIGN 3RD SUBMITTAL - 05/22/2020



FIRST FLOOR PLAN

BUILDING TYPE I - 1-HR FIRE RATED

SCALE: 3/32" = 1' 0"

ADAPTABLE AND
ACCESSIBLE UNITS

FIRST FLOOR - AREA CALCULATIONS

SPACE	SQ. FOOTAGE
APARTMENT LIVING AREAS	5,740 S.F.
APARTMENT PORCHES & BALCONIES	888 S.F.
CORRIDORS / STAIRS / CIRCULATION	2,233 S.F.
UTILITY / STORAGE AREAS	171 S.F.
CARPORT AREA	3,459 S.F.
WIND SPACES	72 S.F.
TOTAL FIRST FLOOR AREA	12,671 S.F.
TOTAL BUILDING AREA	38,484 S.F.

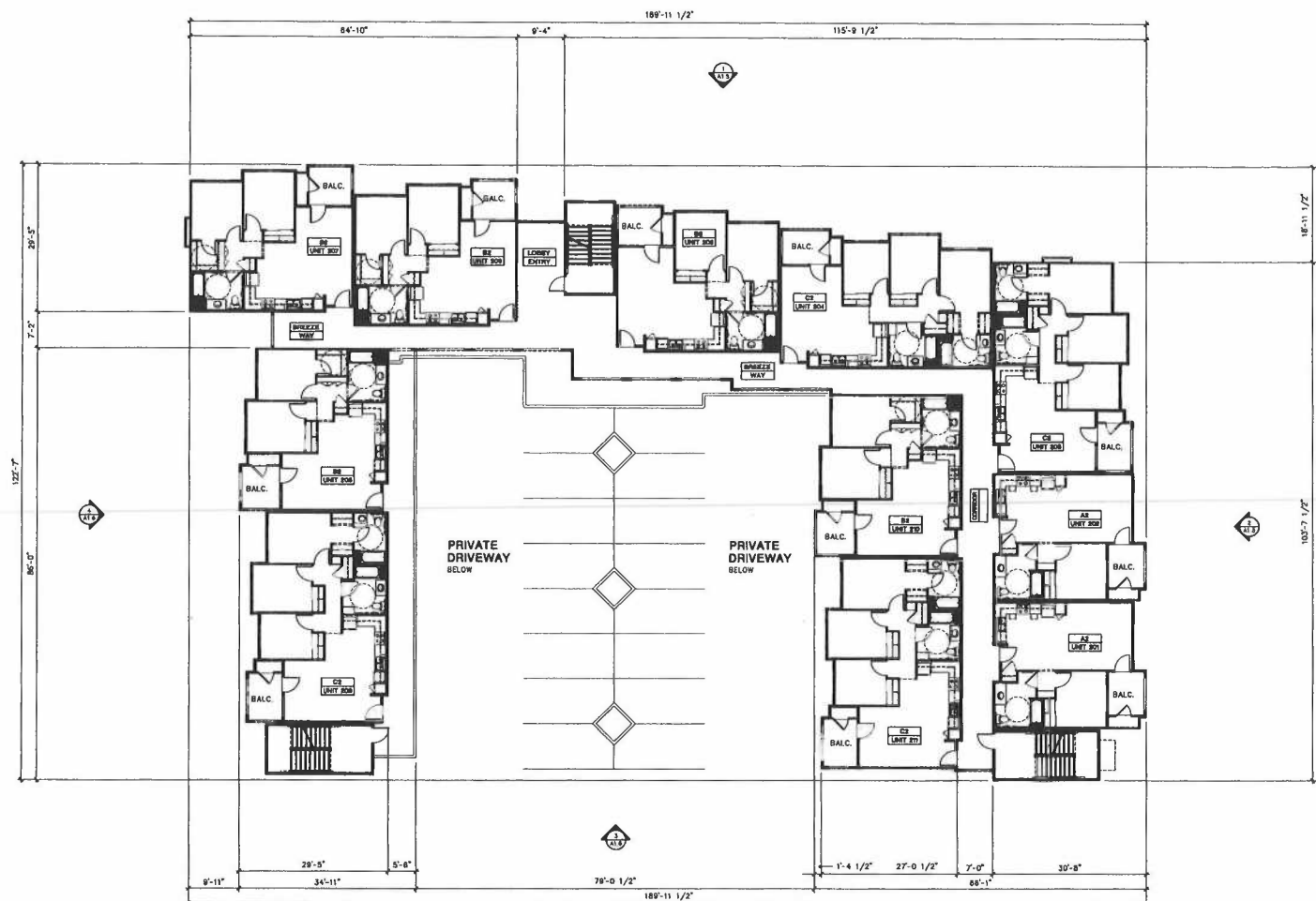
LAS HACIENDAS APARTMENTS TESMECULA - CALIFORNIA

Community
HousingWorks
3111 Camino del Rio North, Ste. 100
San Diego, California 92108
Phone: 619-282-5647
Fax: 619-640-7119

BLDG. TYPE I - 1ST FLR. PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	SCHEMATIC DESIGN SUBMITTAL	05-22-20				
2	2	SCHEMATIC DESIGN SUBMITTAL	05-22-20				
3	3						

DATE	FEB. 20, 2020	SHEET	A1.1
JOB NO.			
DRAWN			
CHECKED			



SECOND FLOOR PLAN

BUILDING TYPE I - 1-HR FIRE RATED

SCALE: 3/32" = 1'-0"

SECOND FLOOR - AREA CALCULATIONS

SPACE	SQ. FOOTAGE
APARTMENT LIVING AREAS	9,388 S.F.
APARTMENT PORCHES & BALCONIES	932 S.F.
CORRIDORS / STAIRS / CIRCULATION	2,725 S.F.
UTILITY / STORAGE AREAS	0 S.F.
MISC. SPACES	115 S.F.
TOTAL SECOND FLOOR AREA	13,140 S.F.

LAS HACIENDAS APARTMENTS TOMBOLA - CALIFORNIA

**Community
HousingWorks**

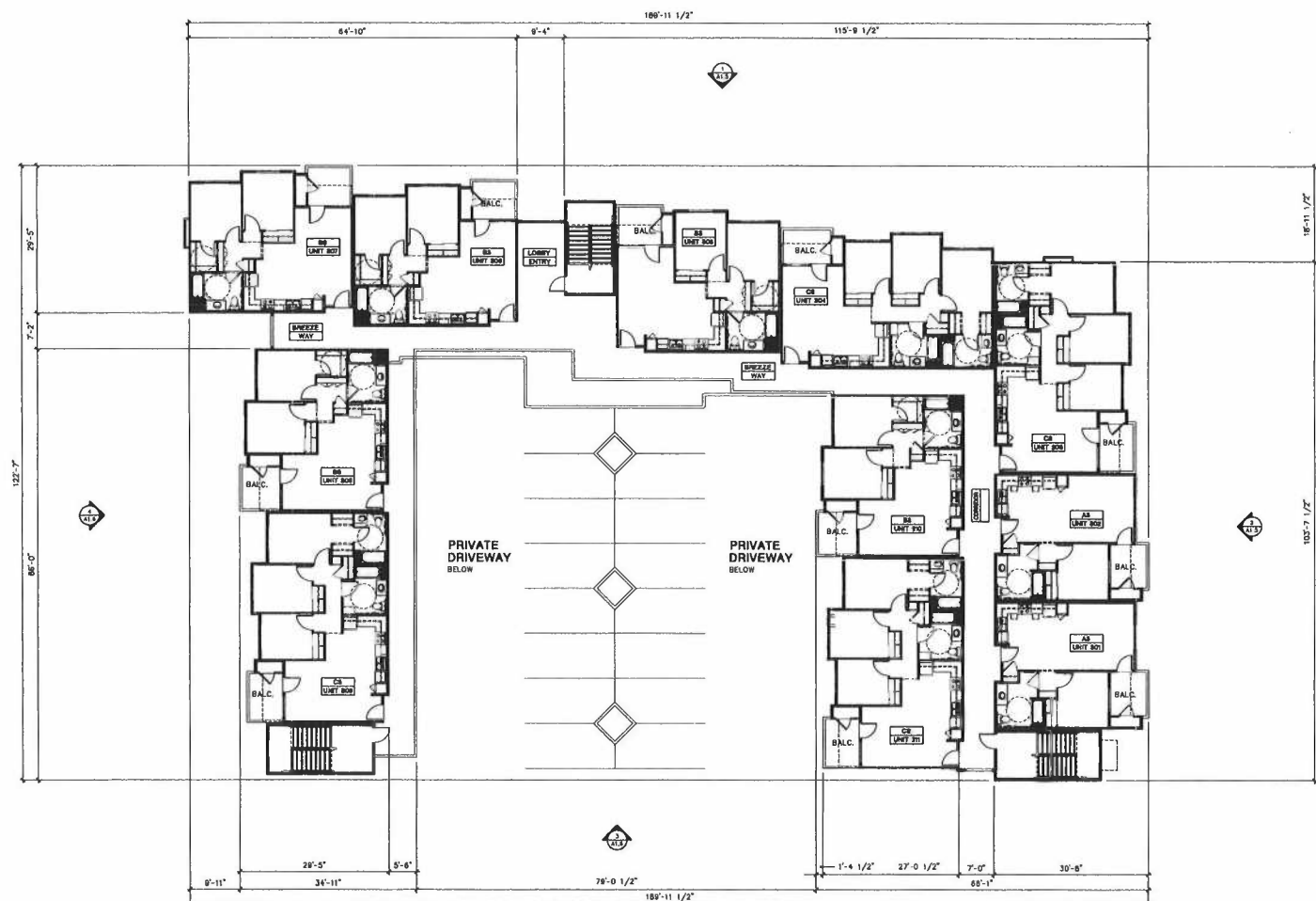
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-382-6647
Fax: 619-640-7119

BLDG. TYPE I - 2ND FLR. PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	SCHEMATIC DES. 3RD SUBMITTAL	05-21-20	1		
2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	2		

DATE: FEB. 20, 2020
JOB NO.:
DRAWN:
CHECKED:

SHEET
A1.2



THIRD FLOOR PLAN

BUILDING TYPE I - 1-HR FIRE RATED

SCALE: 3/32" = 1'-0"

SECOND FLOOR - AREA CALCULATIONS

SPACE	SQ. FOOTAGE
APARTMENT LIVING AREAS	9,388 S.F.
APARTMENT PORCHES & BALCONIES	932 S.F.
CORRIDORS / STAIRS / CIRCULATION	2,328 S.F.
UTILITY / STORAGE AREAS	0 S.F.
MISC. SPACES	115 S.F.
TOTAL SECOND FLOOR AREA	12,763 S.F.

LAS HACIENDAS APARTMENTS

TERMSULA - CALIFORNIA

Community HousingWorks

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Phone: 619-282-6647
Fax: 619-640-7119

BLDG. TYPE I - 3RD FLR. PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01-23-20			
2	ISSUED FOR PERMIT	01-23-20			

DATE: FEB. 20, 2020

JOB NO.:

DRAWN:

CHECKED:

SHEET

A13



BUILDING TYPE I

SCALE: $3/32" = 1'-0"$



BUILDING TYPE I

BUILDING TYPE 1
NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS

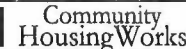
SCALE: 1/32" = 1'-0"

- 1 T.P.S. ROOFING AT FLAT ROOF AREAS
- 2 EXTERIOR STUCCO WALL - COLOR B
- 3 EXTERIOR WALL SIDING - COLOR A
- 4 METAL WINDOW CASHPICES - COLOR C
- 5 METAL TRELLIS - COLOR C
- 6 METAL CLAD EXTERIOR DOORS - COLOR D
- 7 METAL CLAD FRENCH DOORS - COLOR E
- 8 VINYL FRAMED WINDOWS - COLOR D
- 9 METAL CASHPICES - COLOR C
- 10 METAL GATES - COLOR C
- 11 STORE FRONT WINDOWS - COLOR C

BUILDING FINISHES LEGEND

	SOING COLOR A - SW0023 PEWTER TANKARD	SW PAINTS
	STUCCO COLOR B - SW7000 PEARLY WHITE	SW PAINTS
	COLOR C - BLACK	TBT
	COLOR D - BLACK	AMSCO WINDOWS
	COLOR E - DE5258 BURNT ALMOND	DE PAINTS

LAS HACIENDAS APARTMENTS
TAMBUCLA - CALIFORNIA



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Fax: 619-640-7119

BLDG. TYPE | - EXT. ELEV.S

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
▲	1	SCHEDULE DEL. NO SUBMITAL	04-22-70	▲			
▲	2	SCHEDULE DEL. NO SUBMITAL	05-22-70	▲			
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DATE FEB 20 2020

JOB NO.

GRANN

540

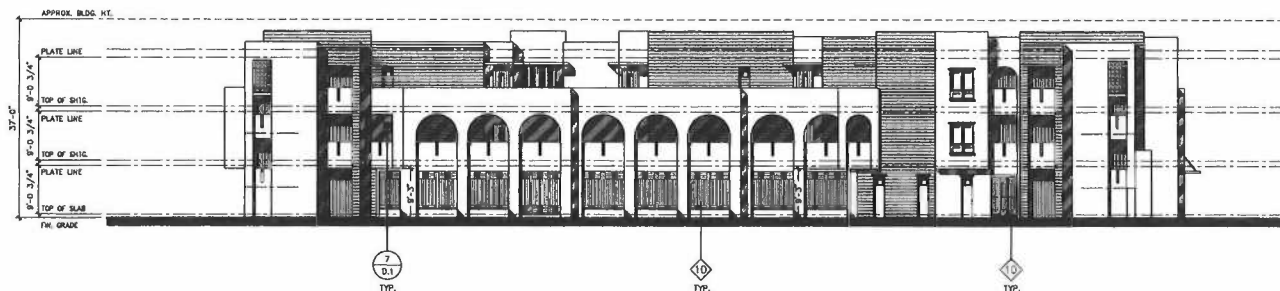
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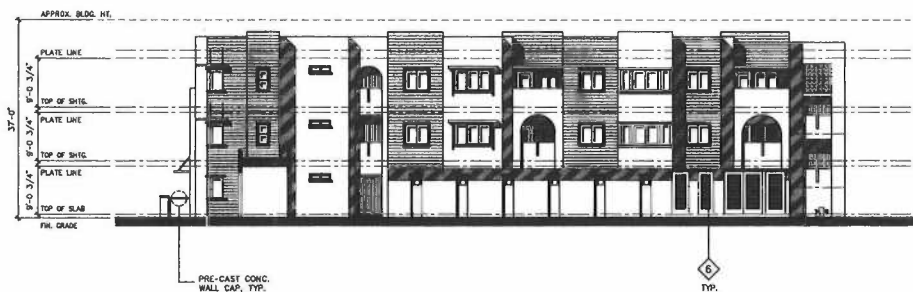
A1.5



EXTERIOR ELEVATION 3

BUILDING TYPE I
 NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS.

SCALE: 3/32" = 1'-0"



EXTERIOR ELEVATION 4

BUILDING TYPE I
 NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS.

SCALE: 3/32" = 1'-0"

EXTERIOR FINISHES

- 1 T.P.D. ROOFING AT FLAT ROOF AREAS
- 2 EXTERIOR STUCCO WALL - COLOR B
- 3 EXTERIOR WALL SINOVO - COLOR A
- 4 METAL WINDOW CANOPIES - COLOR C
- 5 METAL TRELLIS - COLOR C
- 6 METAL CLAD EXTERIOR DOORS - COLOR E
- 7 METAL CLAD FRENCH DOORS - COLOR E
- 8 VINYL FRAMED WINDOWS - COLOR D
- 9 METAL CANOPIES - COLOR C
- 10 METAL GATES - COLOR C
- 11 STORE FRONT WINDOWS - COLOR C

BUILDING FINISHES LEGEND

SW PAINTS	SW PAINTS
SW PAINTS	SW PAINTS
TBT	TBT
AMSCO WINDOWS	AMSCO WINDOWS
DE PAINTS	DE PAINTS

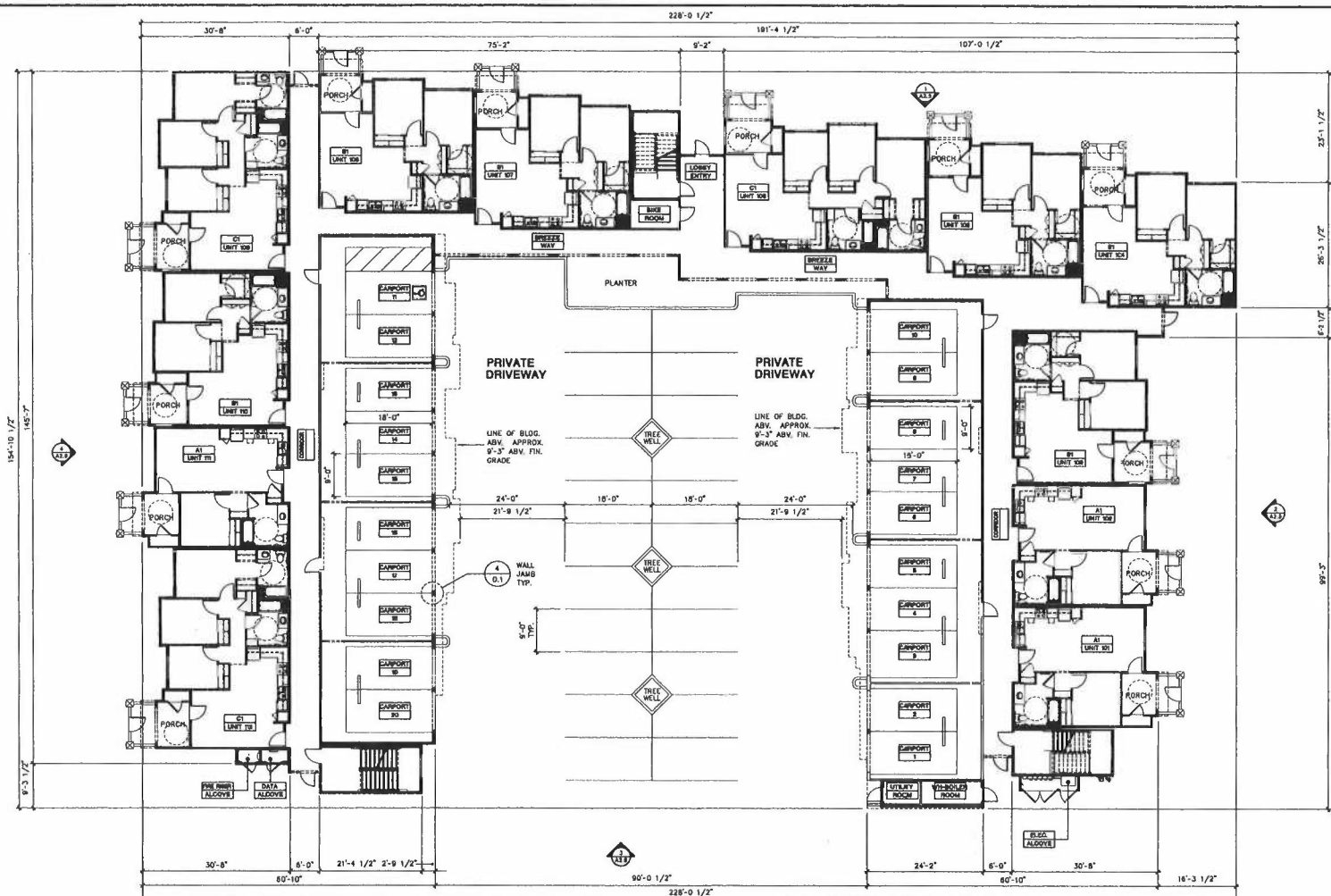
LAS HACIENDAS APARTMENTS

COMMUNITY HOUSINGWORKS
 3111 Camino del Rio North, Ste. 800
 San Diego, California 92108
 Phone: 619-282-6647
 Fax: 619-640-7119

BLDG. TYPE I - EXT. ELEV.S

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	1	1	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20
2	2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	2	2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20

DATE	FEB. 20, 2020	SHEET
ADD NO.		A1.6
DRAWN		
CHECKED		



FIRST FLOOR PLAN

BUILDING TYPE II - 1-HR FIRE RATED

ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 3/32" = 1'-0"

FIRST FLOOR - AREA CALCULATIONS

SPACE	SQ. FOOTAGE
APARTMENT LIVING AREAS	9,828 S.F.
APARTMENT PORCHES & BALCONIES	1,530 S.F.
CORRIDORS / STAIRS / CIRCULATION	3,512 S.F.
UTILITY / STORAGE AREAS	183 S.F.
CARPORT AREA	5,037 S.F.
MISC. SPACES	105 S.F.
TOTAL FIRST FLOOR AREA	20,195 S.F.
TOTAL BUILDING AREA	80,619 S.F.

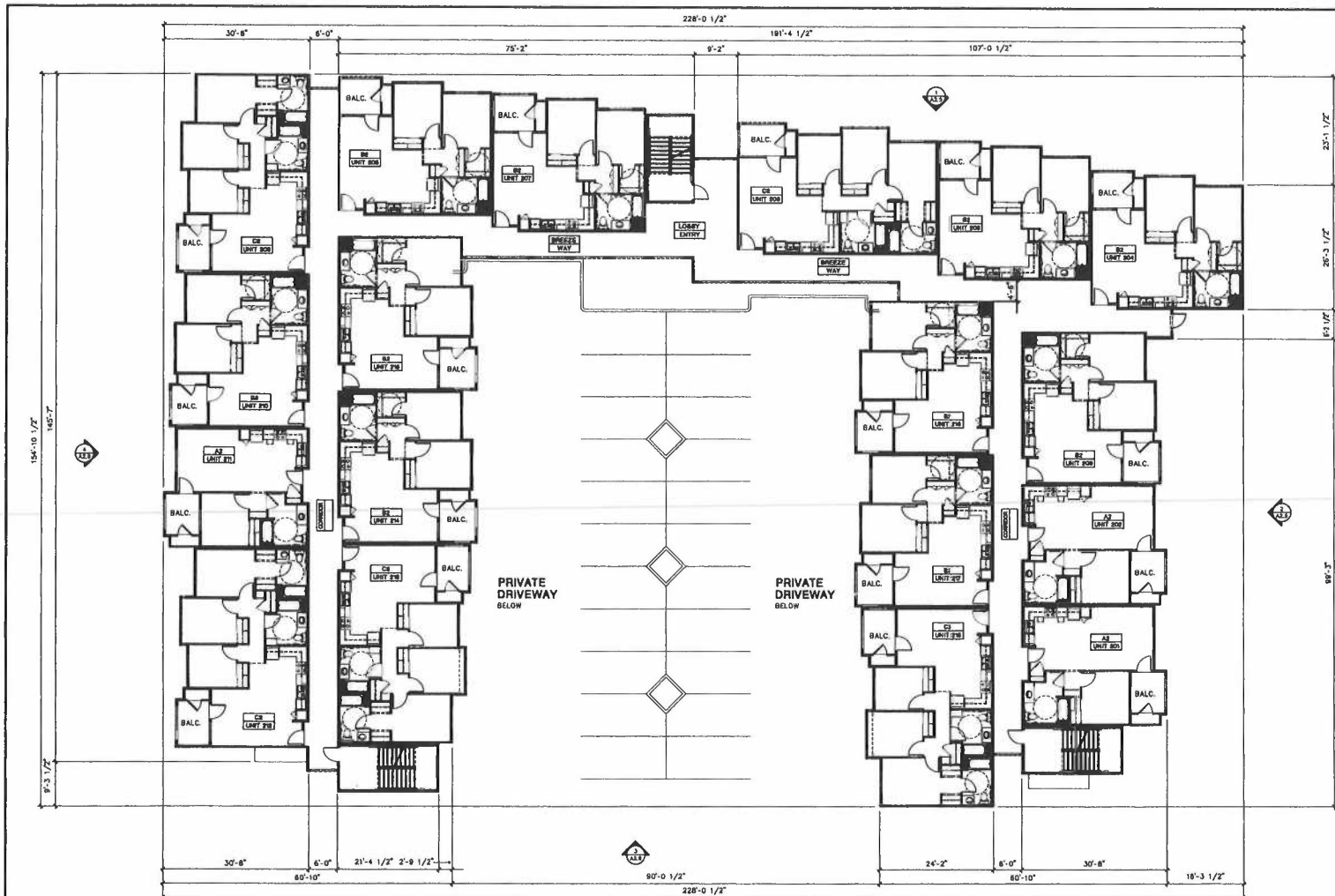
LAS HACIENDAS APARTMENTS THERCULA - CALIFORNIA

Community Housing Works
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-646-7117

BLDG. TYPE II - 1ST FLR. PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	ISSUING DEL. 2ND SUBMITTAL	01-23-19				
2	2	ISSUING DEL. 3RD SUBMITTAL	01-23-19				

DATE	FEB. 20, 2020	SHEET	A2.1
JOB NO.			
DRAWN			
CHECKED			



SECOND FLOOR PLAN

BUILDING TYPE II - 1-HR FIRE RATED

SCALE: 3/32" = 1'-0"

SECOND FLOOR - AREA CALCULATIONS

SPACE	SQ. FOOTAGE
APARTMENT LIVING AREAS	15,080 S.F.
APARTMENT PORCHES & BALCONIES	1,529 S.F.
CORRIDORS / STAIRS / CIRCULATION	3,545 S.F.
UTILITY / STORAGE AREAS	0 S.F.
MISC. SPACES	203 S.F.
TOTAL SECOND FLOOR AREA	20,357 S.F.

RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
4080 CENTRE ST. SUITE 104, SAN DIEGO, CA 92103 (619) 544-8951 (619) 544-8941 FAX

LAS HACIENDAS APARTMENTS
TREMULA - CALIFORNIA

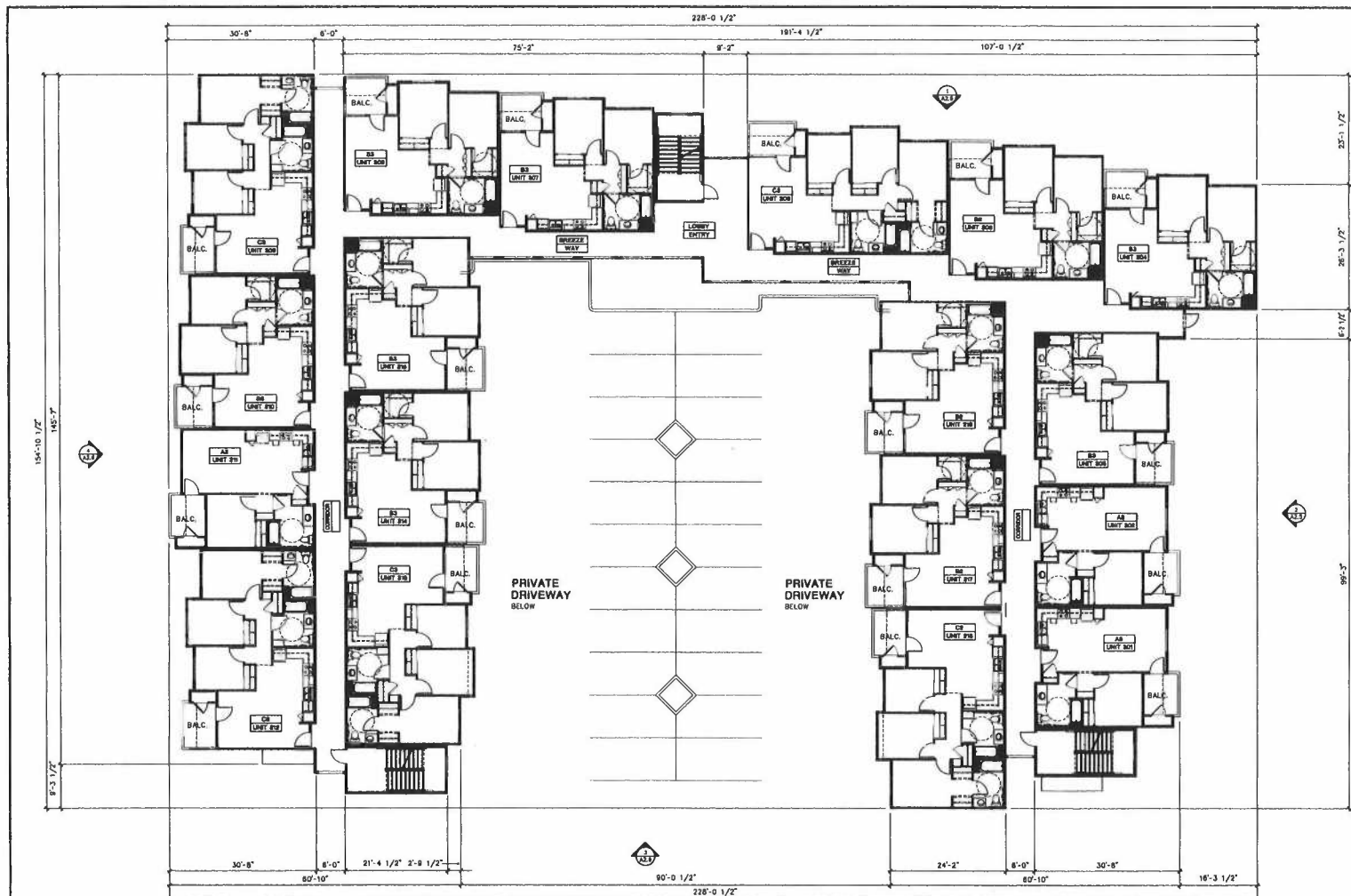
Community HousingWorks
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

BLDG. TYPE II - 2ND FLR. PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	SCHEMATIC DES. 3RD SUBMITTAL	04-22-20					
2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20					
3	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20					

DATE	FEB. 20, 2020	SHEET	A2.2
JOB NO.			
DRAWN			
CHECKED			

SCHEMATIC DESIGN 3RD SUBMITTAL - 05/22/2020



THIRD FLOOR PLAN

BUILDING TYPE II - 1-HR FIRE RATED

20,450 S.F.

SCALE: 3/32" = 1'-0"

THIRD FLOOR - AREA CALCULATIONS

SPACE	SQ. FOOTAGE
APARTMENT LIVING AREAS	13,080 S.F.
APARTMENT PORCHES & BALCONIES	1,529 S.F.
CORRIDORS / STAIRS / CIRCULATION	3,158 S.F.
UTILITY / STORAGE AREAS	0 S.F.
MISC. SPACES	202 S.F.
TOTAL THIRD FLOOR AREA	18,969 S.F.

RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
4080 CENTRE ST. SUITE 104, SAN DIEGO, CA 92103 (619) 544-8953 (619) 544-8944 FAX

LAS HACIENDAS APARTMENTS
TERRACULA - CALIFORNIA

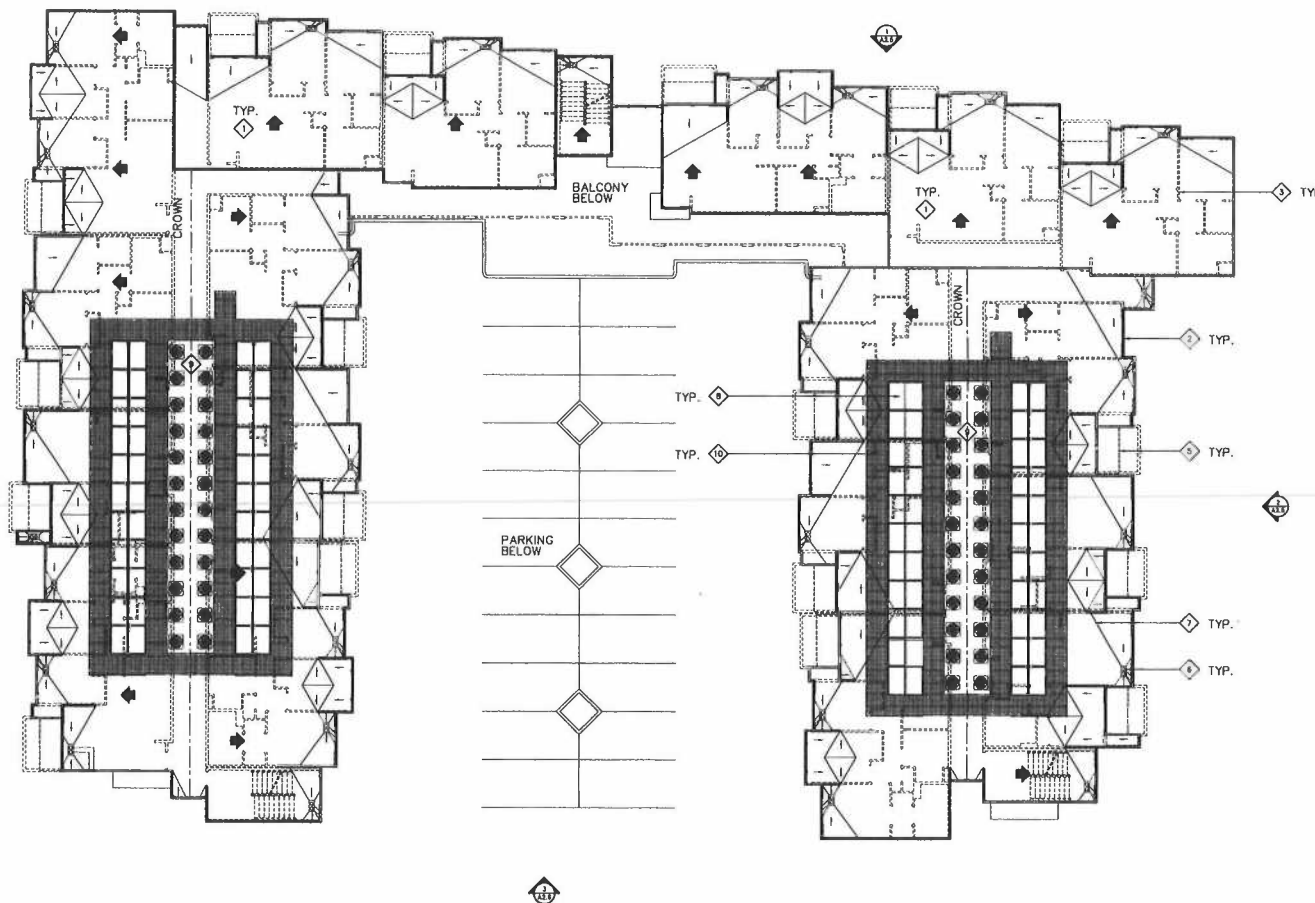
Community HousingWorks
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-283-6647
Fax: 619-640-7119

BLDG. TYPE II - 3RD FLR. PLAN

REV. NO. DESCRIPTION DATE REV. NO. DESCRIPTION DATE
 1 SCHEMATIC DES. 3RD SUBMITTAL 06-22-20 A
 2 SCHEMATIC DES. 3RD SUBMITTAL 06-22-20 A
 A

DATE: FEB. 20, 2020 SHEET
 JOB NO.
 DRAWN
 CHECKED
A2.3

SCHEMATIC DESIGN 3RD SUBMITTAL - 06/22/2020



TYPICAL ROOF LEGEND

- 1 T.P.D. ROOFING AT FLAT ROOF AREAS
- 2 PARAPET WALL WITH METAL CORING
- 3 LINE OF BUILDING WALLS, BELOW
- 4 INDICATES TRELLIS, BELOW
- 5 INDICATES CANOPY, BELOW
- 6 LOCATION OF ROOF DRAIN
- 7 LINE OF ROOF CRICKET
- 8 ROOF MOUNTED PV PANELS
- 9 ROOF MOUNTED MECH. EQUIPMENT
- 10 INDICATED MECH. PATH

ROOF PLAN

BUILDING TYPE II - 1-HR FIRE RATED

SCALE: 3/32" = 1'-0"

LAS HACIENDAS APARTMENTS TESMECULA - CALIFORNIA



**Community
HousingWorks**

3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-282-6667
Fax: 619-640-7119

BLDG. TYPE II - ROOF PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
A	1	ISSUANCE DES. AND SUBMITTAL	05-22-20	A			
A	2	ISSUANCE DES. 3RD SUBMITTAL	05-22-20	A			

DATE	FEB. 20, 2020
JOB NO.	
DRAWN	
CHECKED	

SHEET
A2.4

EXTERIOR FINISHES	
1	T.P.O. ROOFING AT FLAT ROOF AREAS
2	EXTERIOR STUCCO WALL - COLOR B
3	EXTERIOR WALL SIDING - COLOR A
4	METAL WINDOW CANOPIES- COLOR C
5	METAL TRELLIS - COLOR C
6	METAL CLAD EXTERIOR DOORS - COLOR E
7	METAL CLAD FRENCH DOORS - COLOR E
8	VINYL FRAMED WINDOWS - COLOR D
9	METAL CANOPIES - COLOR C
10	METAL GATES - COLOR C
11	STORE FRONT WINDOWS - COLOR C

BUILDING FINISHES LEGEND			
	SIDING COLOR A - SW0023 PEWTER TANKARD	SW PAINTS	
	STUCCO COLOR B - SW7009 PEARLY WHITE	SW PAINTS	
	COLOR C - BLACK	TBT	
	COLOR D - BLACK	AMSCO WINDOWS	
	COLOR E - DE9258 BURNT ALMOND	DE PAINTS	

LAS HACIENDAS APARTMENTS
 TEMECULA - CALIFORNIA
 3111 Camino del Rio North, Ste. 900
 San Diego, California 92108
 Phone: 619-282-6647
 Fax: 619-645-7119

Community Housing Works

BLDG. TYPE II - EXT. ELEV.S

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	SCHEMATIC DES. 3RD SUBMITTAL	04-23-20	1	1	SCHEMATIC DES. 3RD SUBMITTAL	04-23-20
2	2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	2	2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20

DATE: FEB. 20, 2020

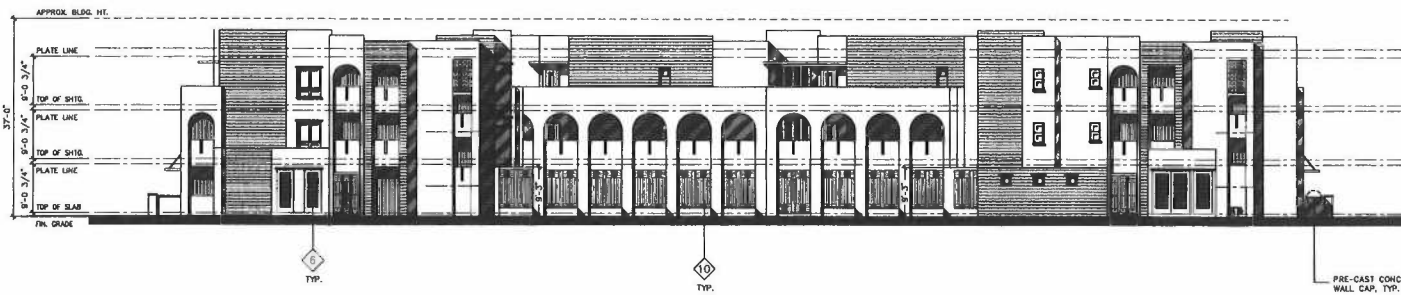
SHEET

A2.6

DATE: _____

DESIGNED BY: _____

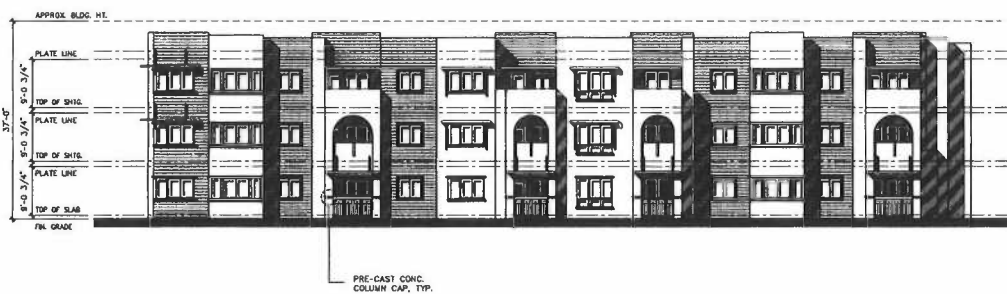
CHECKED BY: _____



EXTERIOR ELEVATION 3

BUILDING TYPE II
 NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS.

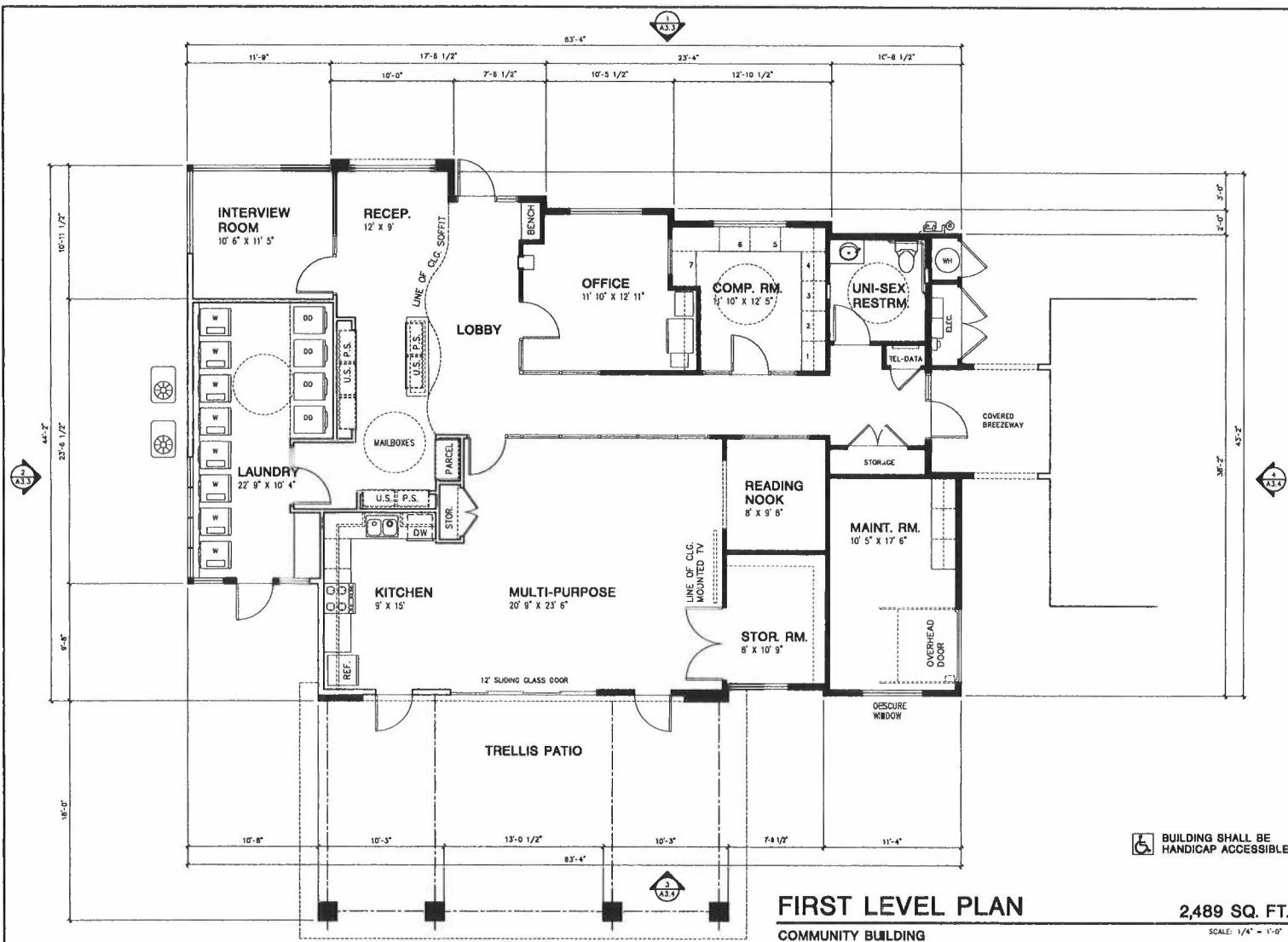
SCALE: 3/32" = 1'-0"



EXTERIOR ELEVATION 4

BUILDING TYPE II
 NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS.

SCALE: 3/32" = 1'-0"



FIRST LEVEL PLAN
COMMUNITY BUILDING

2,489 SQ. FT.

BUILDING SHALL BE HANDICAP ACCESSIBLE

RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
1080 CENTRE ST. SUITE 104, SAN DIEGO, CA 92101 (619) 544-8951 (619) 544-8941 FAX

LAS HACIENDAS APARTMENTS
TERRACLA - CALIFORNIA

Community HousingWorks
3111 Cassano del Rio North, Ste. 100
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

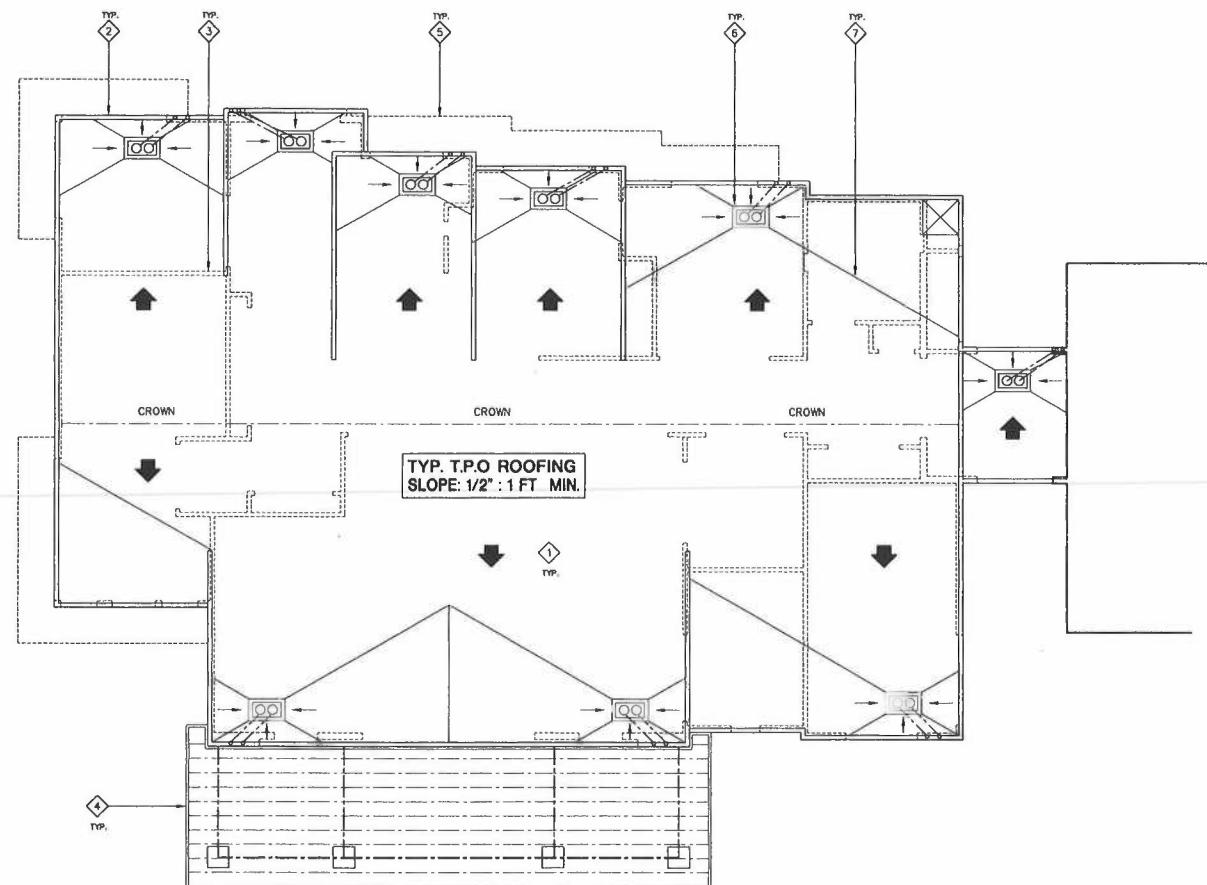
COMMUNITY BLDG. - FLR. PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
A	1	SCHEMATIC DES. 3RD SUBMITTAL	01-23-20	A			
A	2	SCHEMATIC DES. 3RD SUBMITTAL	03-31-20	A			
A				A			

DATE FEB. 20, 2020	SHEET A3.1
DRAWN	
CHECKED	

TYPICAL ROOF LEGEND

- 1 T.P.O. ROOFING AT FLAT ROOF AREAS
- 2 PARAPET WALL WITH METAL COPING
- 3 LINE OF BUILDING WALLS, BELOW
- 4 INDICATES TRELLIS, BELOW
- 5 INDICATES CANOPY, BELOW
- 6 LOCATION OF ROOF DRAIN
- 7 LINE OF ROOF CRICKET
- 8 ROOF MOUNTED PV PANELS
- 9 ROOF MOUNTED MECH. EQUIPMENT
- 10 INDICATED MECH. PATH



ROOF PLAN

COMMUNITY BUILDING

SCALE: 1/4" = 1'-0"

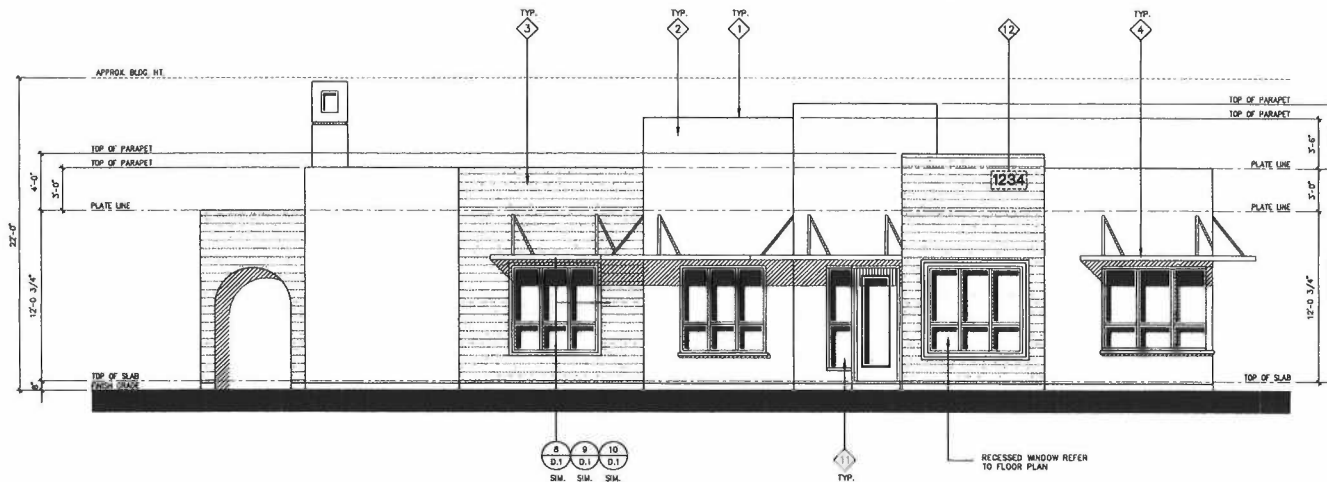
LAS HACIENDAS APARTMENTS
TAMSCULA - CALIFORNIA

Community HousingWorks
3111 Cassian Rd North, Ste. 202
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7115

COMMUNITY BLDG. - ROOF PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	2	2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20

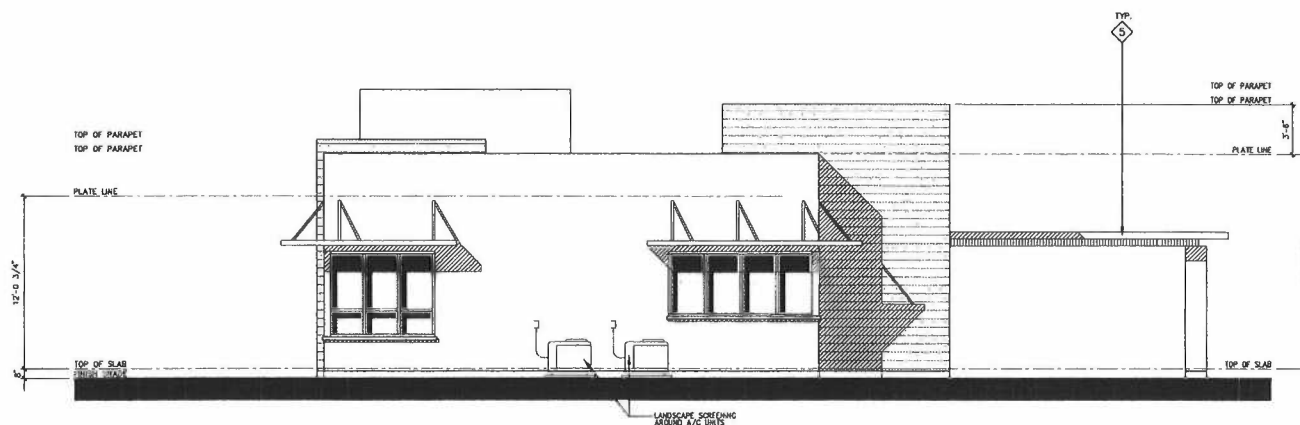
DATE	FEB. 20, 2020	SHEET	A3.2
APP. NO.			
DRAWN			
CHECKED			



EXTERIOR ELEVATION 1

COMMUNITY BUILDING

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION 2

COMMUNITY BUILDING

NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS.

SCALE: 1/4" = 1'-0"

KA RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
4080 CENTRE ST. SUITE 100, SAN DIEGO, CA 92103 (619) 544-8981 (619) 544-8941 FAX

EXTERIOR FINISHES

- 1 T.P.O. ROOFING AT FLAT ROOF AREAS
- 2 EXTERIOR STUCCO WALL - COLOR B
- 3 EXTERIOR WALL SIDING - COLOR A
- 4 METAL WINDOW CANOPIES - COLOR C
- 5 METAL TRELLIS - COLOR C
- 6 METAL CLAD EXTERIOR DOORS - COLOR E
- 7 METAL CLAD FRENCH DOORS - COLOR E
- 8 VINYL FRAMED WINDOWS - COLOR D
- 9 METAL CANOPIES - COLOR C
- 10 METAL GATES - COLOR C
- 11 STORE FRONT WINDOWS - COLOR C

BUILDING FINISHES LEGEND

	SIDING COLOR A - SW0023 PEWTER TANKARD	SW PAINTS
	STUCCO COLOR B - SW7009 PEARLY WHITE	SW PAINTS
	COLOR C - BLACK	TBT
	COLOR D - BLACK	AMSCO WINDOWS
	COLOR E - DE5258 BURNT ALMOND	DE PAINTS

LAS HACIENDAS APARTMENTS

TEMPERANCE - CALIFORNIA

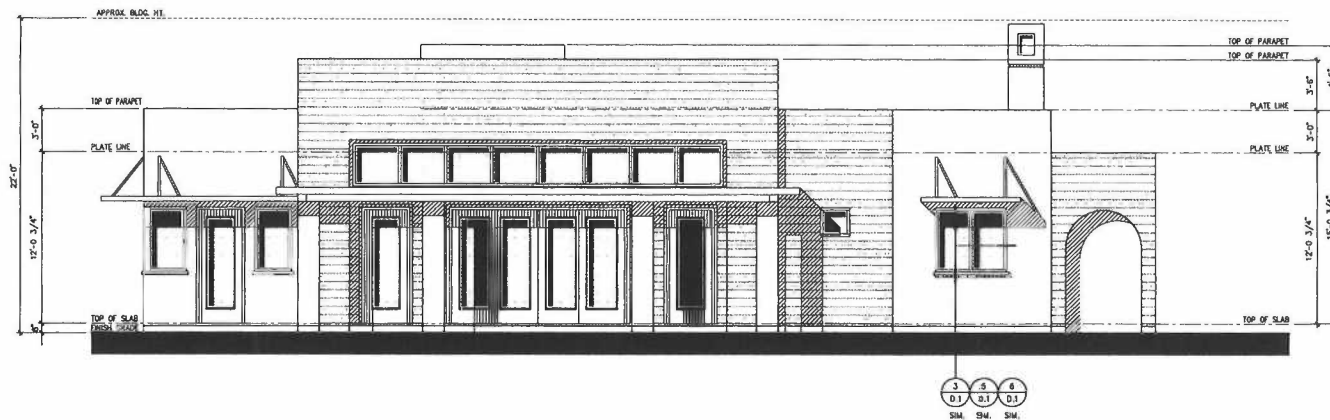
Community Housing Works

3111 Camino del Rio North, Ste. 200
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

COMMUNITY BLDG. - EXT. ELEV'S

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
A	1	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	A			
A	2	SCHEMATIC DES. 3RD SUBMITTAL	05-22-20	A			

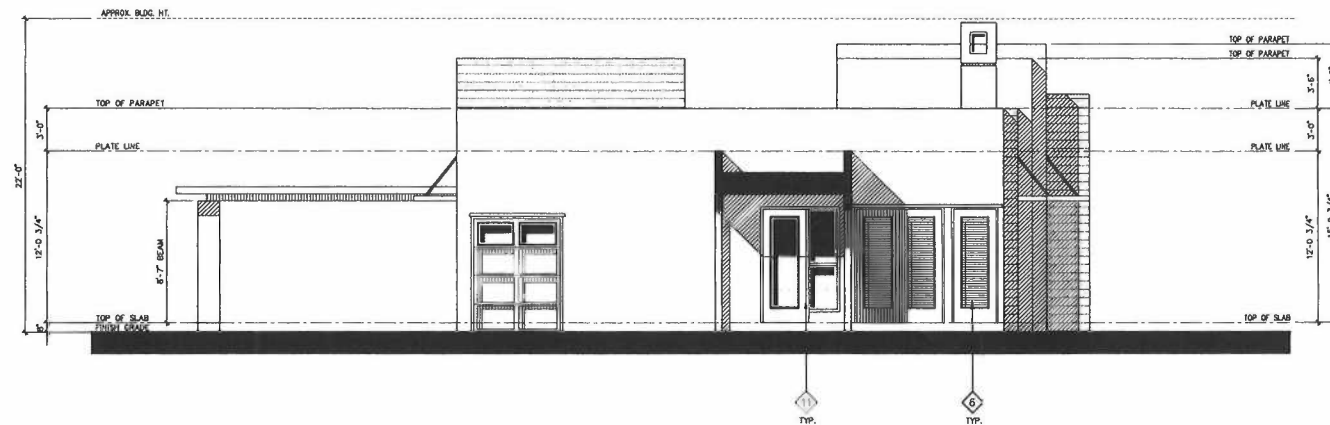
DATE	FEB. 20, 2020	SHEET A3.3
JOB NO.		
DRAWN		
CHECKED		



EXTERIOR ELEVATION 3

COMMUNITY BUILDING
NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS.

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION 4

COMMUNITY BUILDING
NOTE: REFER TO EXT. ELEVATION 1 FOR TYPICAL NOTES, DIMENSIONS & DETAILS.

SCALE: 1/4" = 1'-0"

RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
4080 CENTRE ST. SUITE 104, SAN DIEGO, CA 92123 (619) 544-0901 (619) 544-0911 FAX

EXTERIOR FINISHES

- 1 T.P.O. ROOFING AT FLAT ROOF AREAS
- 2 EXTERIOR STUCCO WALL - COLOR B
- 3 EXTERIOR WALL SIDING - COLOR A
- 4 METAL WINDOW CANOPIES - COLOR C
- 5 METAL TRELLIS - COLOR C
- 6 METAL CLAD EXTERIOR DOORS - COLOR E
- 7 METAL CLAD FRENCH DOORS - COLOR E
- 8 VINYL FRAMED WINDOWS - COLOR D
- 9 METAL CANOPIES - COLOR C
- 10 METAL GATES - COLOR C
- 11 STORE FRONT WINDOWS - COLOR C

BUILDING FINISHES LEGEND

	SIDING COLOR A - SW0023 PEWTER TANKARD	SW PAINTS
	STUCCO COLOR B - SW7009 PEARLY WHITE	SW PAINTS
	COLOR C - BLACK	TBT
	COLOR D - BLACK	AMSCO WINDOWS
	COLOR E - DE5258 BURNT ALMOND	DE PAINTS

LAS HACIENDAS APARTMENTS

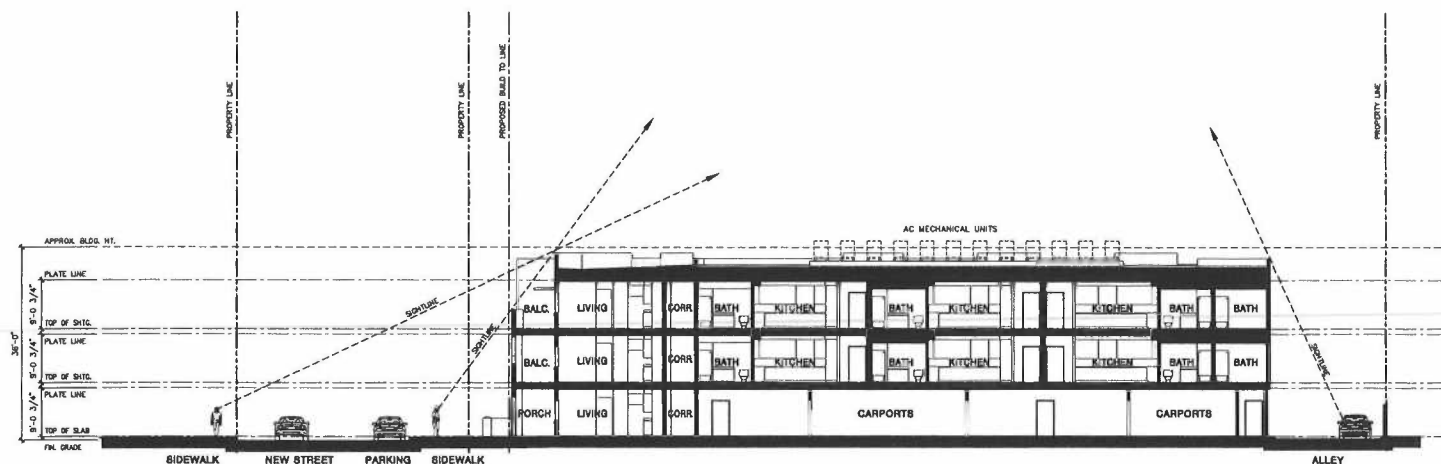
TEMPERLEY - CALIFORNIA
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

COMMUNITY BLDG. - EXT. ELEV'S

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	SCHEMATIC DES. 3RD SUBMITTAL	01-13-19	2	SCHEMATIC DES. 3RD SUBMITTAL	01-13-19

DATE: FEB. 20, 2020	SHEET
DESIGNER:	A3.4
CHECKED:	





SITE SECTION A

BUILDING TYPE II

SCALE: 3/32" = 1'-0"

LAS HACIENDAS APARTMENTS TSMCULA - CALIFORNIA



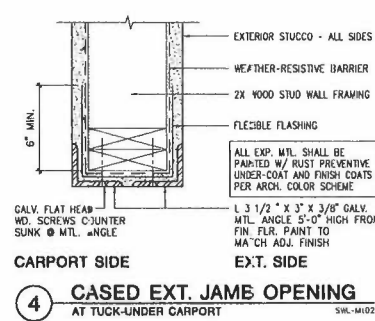
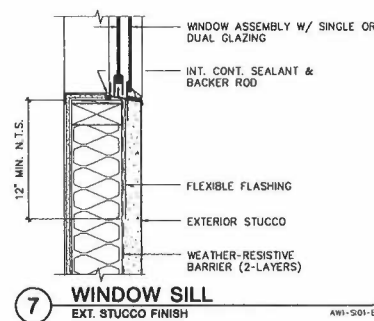
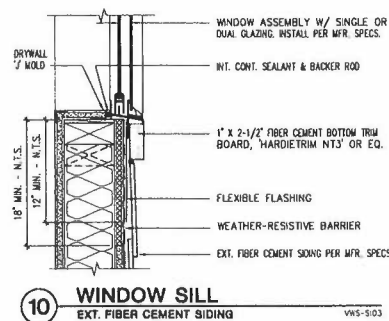
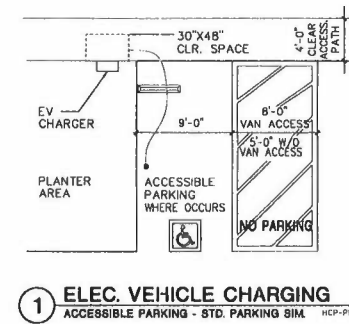
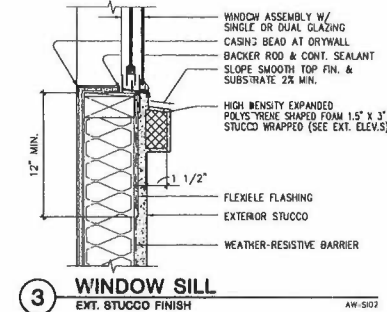
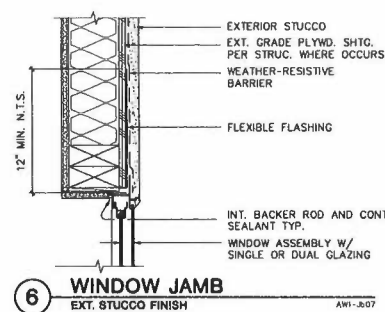
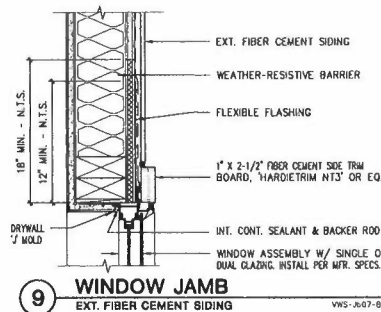
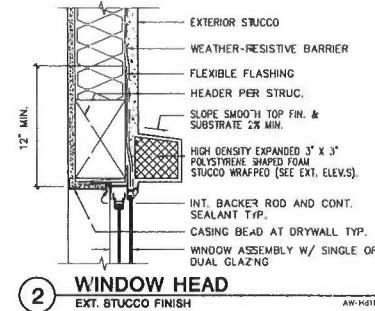
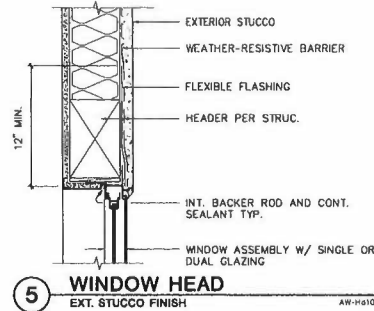
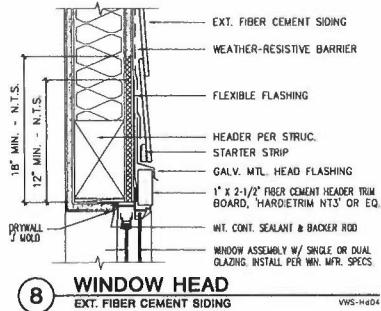
Community
HousingWorks
3111 Camino del Rio North, Ste. 300
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

SITE SECTION

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	SCHEMATIC DES. 3RD SUBMITTAL	04-23-20	1	1	SCHEMATIC DES. 3RD SUBMITTAL	04-23-20
2	2	SCHEMATIC DES. 3RD SUBMITTAL	05-23-20	2	2	SCHEMATIC DES. 3RD SUBMITTAL	05-23-20

DATE	FEB. 20, 2020
JOB NO.	
DRAWN	
CHECKED	

SHEET
A5.1



LAS HACIENDAS APARTMENTS
TERRACULA - CALIFORNIA
3111 Cazco del Rio North, Ste. 100
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-660-7119

Community Housing Works

ARCHITECTURAL DETAILS

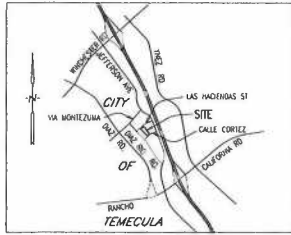
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DATE: FEB. 20, 2020
JOB NO.:
DRAWN:
CHECKED:

D.1

LAS HACIENDAS APARTMENTS

PA20-0345
TEMECULA, CALIFORNIA



CIVIL ENGINEER

140 STATE PLACE
ESCONDIDO, CALIFORNIA 92029
(760) 745-8118

OWNER

COMMUNITY HOUSING WORKS
3311 CAMINO DEL RIO NORTE, STE. 800
SAN DIEGO, CALIFORNIA 92108
(619) 782-6647
(619) 640-7119 FAX

ARCHITECT

RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC.
4000 CENTRE ST., SUITE 104
SAN DIEGO, CALIFORNIA 92103
(619) 544-8851
(619) 544-8841 FAX

LANDSCAPE ARCHITECT

SCHMIDT DESIGN GROUP
1310 ROSSBORO STREET, SUITE C
SAN DIEGO, CALIFORNIA 92106
(619) 235-1462

SHEET INDEX:

SHEET C-01 - TITLE SHEET
SHEET C-02 - SECTIONS AND DETAILS
SHEET C-03 - PRELIMINARY SITE PLAN (NORTH)
SHEET C-04 - PRELIMINARY SITE PLAN (SOUTH)
SHEET C-05 - FIRE ACCESS PLAN

PROJECT NOTES:

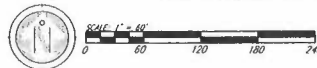
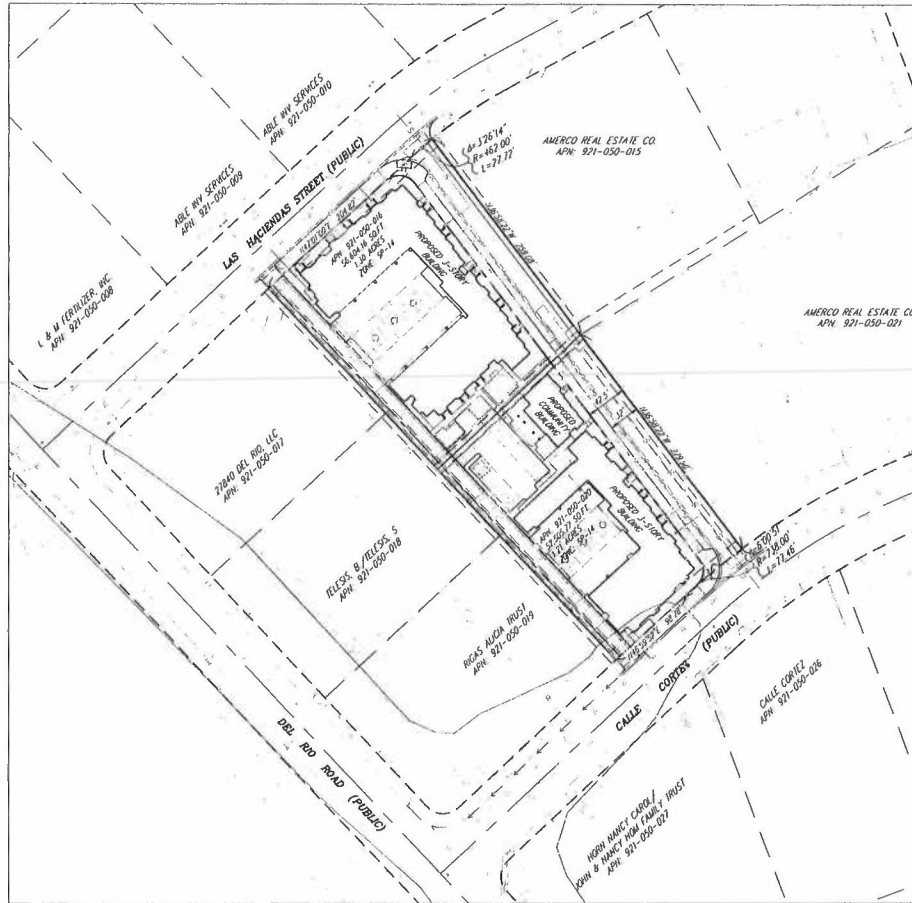
17 DWELLING UNITS
11 PRIVATE PARKING SPACES
20 PUBLIC PARKING SPACES

APN:

921-050-018-2
921-050-020-5

LEGAL DESCRIPTION:

LOTS 18 AND 20 OF TRACT 3841, CITY OF TEMECULA,
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PAID
IN BOOK 81, PAGE(S) 75 AND 76 OF MAPS, AND
AMENDED BY A CERTIFICATE OF CORRECTION RECORDED
AUGUST 23, 1987 AS INSTRUMENT NO. 246382,
RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA.



LEGEND

PROPERTY LINE
R.O.W.
EASEMENT LINE
LOT LINE
CURB & GUTTER
CURB
SIDEWALK
PER UPTOWN TEMECULA SPECIFIC PLAN
CRENSHAW VILLAGE DISTRICT
SECTION 3.0 DESIGN STANDARDS
P.C.C. SHALE
A.C. PAVEMENT
P.C.C. PAVEMENT
PER UPTOWN TEMECULA SPECIFIC PLAN
CRENSHAW VILLAGE DISTRICT
SECTION 3.0 DESIGN STANDARDS
STREET LIGHT
STORM DRAIN MANHOLE
DIRECTION OF DRAINAGE
SEWER SERVICE
FIRE SERVICE
WATER MAIN PRIVATE
WATER SERVICE PRIVATE
FIRE HYDRANT
IRRIGATION SERVICE
CONTOURS

EXISTING

PROPOSED

Sheet 1 of 5



CITY OF TEMECULA

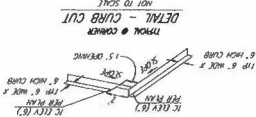
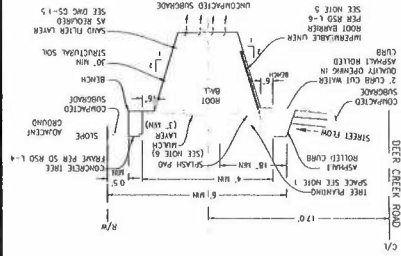
C.01

28715 LAS HACIENDAS STREET
TITLE SHEET

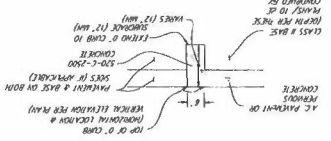


STREET TREE DETAIL
NOT TO SCALE

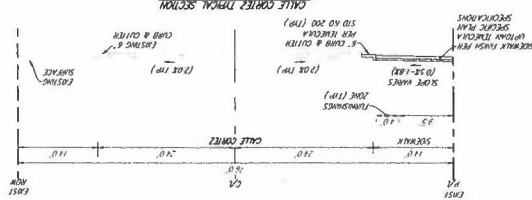
1. MAINTAIN TREE PLANTING SPACE DIMENSION 8'-6".
2. MAINTAIN WATERFISHED AREA 6" TIMES AREA OF THE TREE PLANTING BED.
3. DETAIL CONNECTED FOR NEW TREE PLANTING ON SITES WITH CONSTRAINTS TO ACHIEVE FULL SOIL VOLUME.
4. TO ADAPT DETAIL TO EXISTING TREE LOCATION, TREE PLANTING AREA, SOIL VOLUMES, BENCHING, AND/OR EXISTING TREE ROOTS.
5. PROVIDE 18" DEEP ROOT BARRIER ON STREET SIDE OF TREE WITH AS NECESSARY.
6. PROVIDE SPLASH PAD FOR TREE PLANTING SPACE PER CS-2-5b.



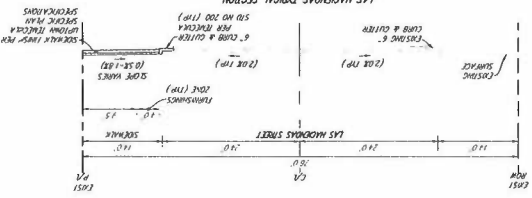
0" CURB DETAIL
NOT TO SCALE



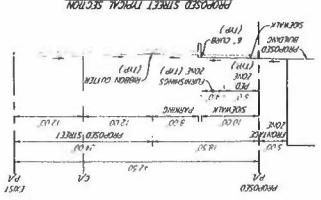
CAILE CORNER TYPICAL SECTION
NOT TO SCALE



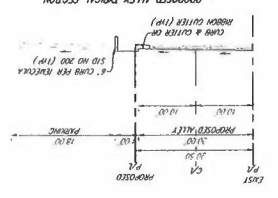
LAS HACENDAS TYPICAL SECTION
NOT TO SCALE



PROPOSED STREET TYPICAL SECTION
NOT TO SCALE



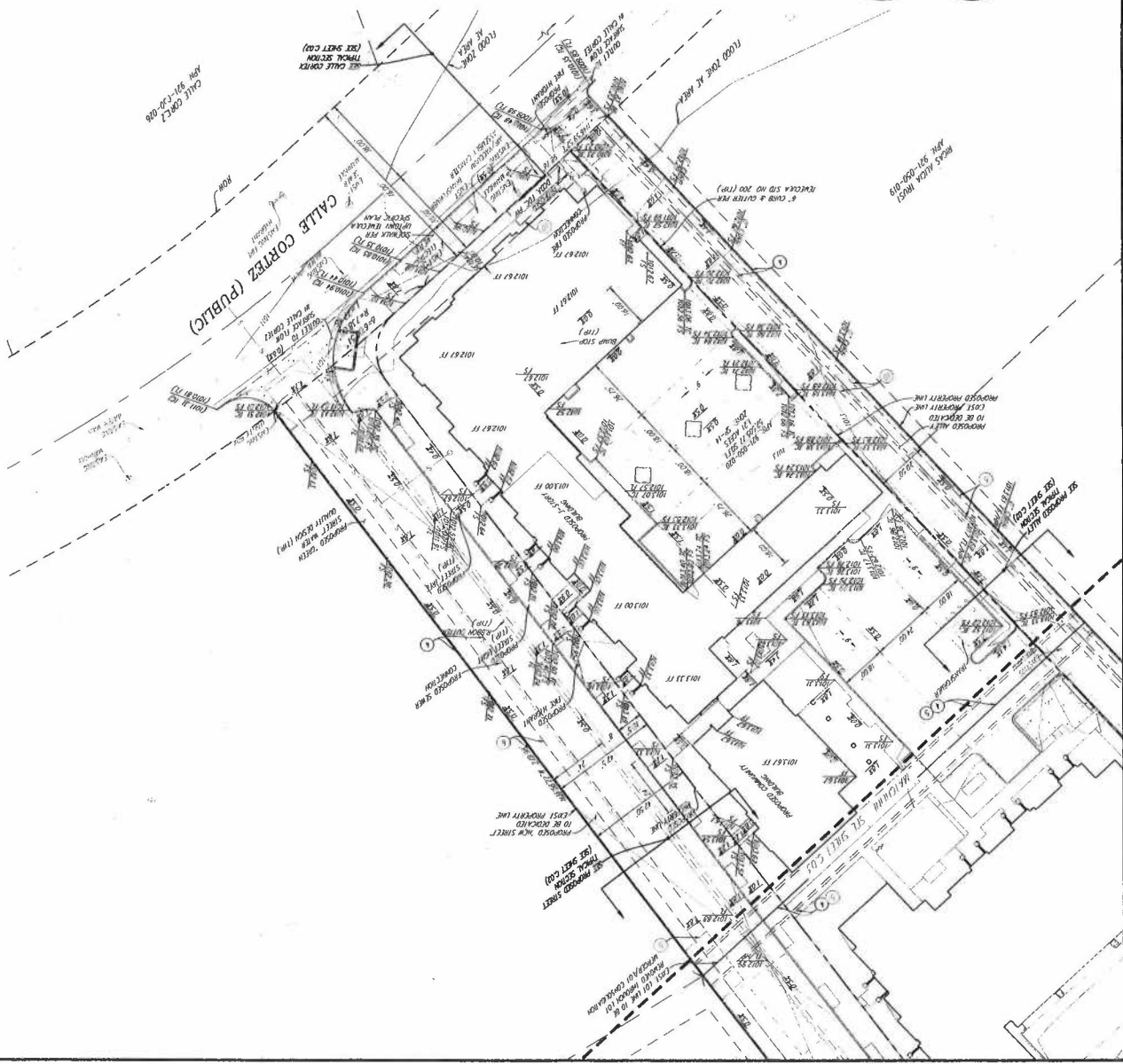
PROPOSED ALLEY TYPICAL SECTION
NOT TO SCALE



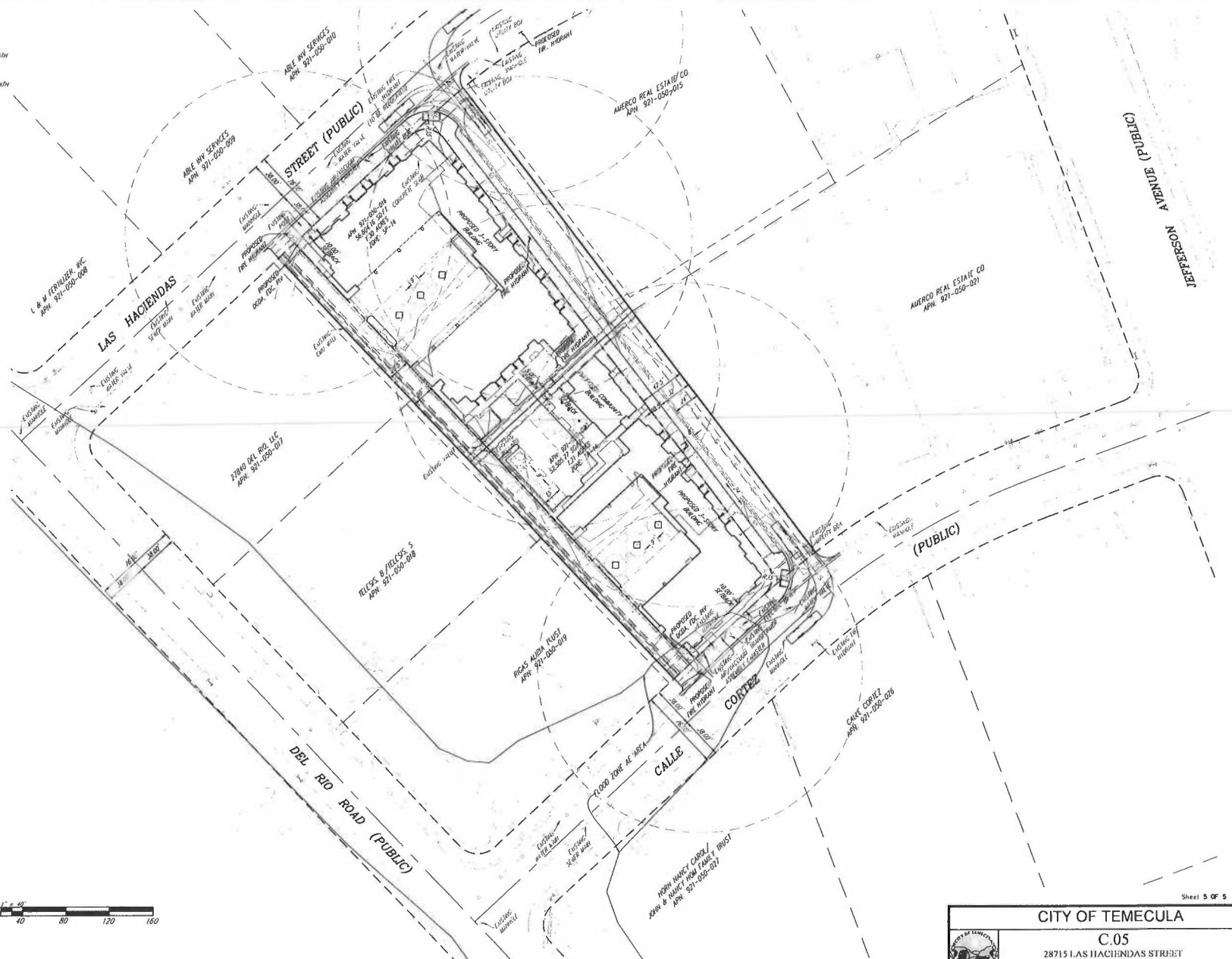
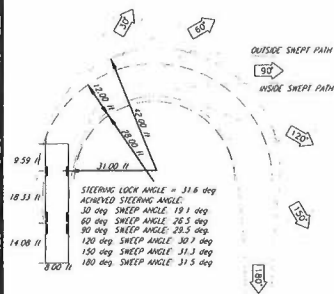


WATER QUALITY AND DRAINAGE NOTES:
1. ALL STREETS AND LOTS OF STREETS ARE PROVIDED
2. SITE DRAINAGE ASSUMED TO DRAINAGE FROM TO EXISTING STREETS

- LEGEND**
- PROPOSED
 - EXISTING
 - PROPERTY LINE
 - R.O.W.
 - EXISTING LOT LINE
 - LOT LINE
 - CURB & GUTTER
 - SEWER
 - STREET
 - STREET LIGHT
 - STREET GRADE MARK
 - DIRECTION OF DRAINAGE
 - SEWER SERVICE
 - WATER SERVICE
 - WATER MAIN SERVICE
 - WATER SERVICE MAIN
 - WATER SERVICE MAIN
 - CONVEYORS



- EXISTING EASEMENTS**
- 1. ALL EASEMENTS FOR UTILITIES AND RIGHTS ACCORDING TO RECORD MAPS AND DEEDS.
 - 2. ALL EASEMENTS FOR UTILITIES AND RIGHTS ACCORDING TO RECORD MAPS AND DEEDS.
 - 3. ALL EASEMENTS FOR UTILITIES AND RIGHTS ACCORDING TO RECORD MAPS AND DEEDS.
 - 4. ALL EASEMENTS FOR UTILITIES AND RIGHTS ACCORDING TO RECORD MAPS AND DEEDS.
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 - 8. ALL EASEMENTS FOR UTILITIES AND RIGHTS ACCORDING TO RECORD MAPS AND DEEDS.
 - 9. ALL EASEMENTS FOR UTILITIES AND RIGHTS ACCORDING TO RECORD MAPS AND DEEDS.
 - 10. ALL EASEMENTS FOR UTILITIES AND RIGHTS ACCORDING TO RECORD MAPS AND DEEDS.



EXCEL
 ENGINEERING
 LAND PLANNING - ENGINEERING - SURVEYING
 440 TOWN PLACE, TUCUMCULA, CA 93290
 PH (562) 455-8148 FX (562) 455-1990



CITY OF TEMECULA
 C.05
 28715 LAS HACIENDAS STREET
 FIRE ACCESS PLAN



LEGEND

- 1 FRONT PORCH ENTRY AREA WITH MONUMENT SIGN
- 2 5'-0" WOOD FENCE
- 3 ACCENT TRELLIS FEATURE
- 4 CHILDREN'S PLAYGROUND
- 5 DECOMPOSED GRANITE AREA WITH SCULPTURAL SEATING
- 6 ENHANCED PAVING
- 7 SEATING AREA
- 8 DINING AREA WITH TABLES AND LOUNGE SEATING
- 9 BARBECUE
- 10 PICNIC TABLE WITH UMBRELLA
- 11 TRASH AND RECYCLING RECEPTACLES
- 12 STREETScape PAVING PER UPTOWN SPECIFIC PLAN
- 13 TREE WELLS WITH SILVA CELLS
- 14 SHADE STRUCTURE PER ARCHITECT
- 15 ON STREET PARKING
- 16 PAVING PER CIVIL PLANS
- 17 STREET LIGHTING PER SPECIFIC PLAN

CONCEPTUAL PLANT LEGEND

- STREET TREES - 24" BOX MIN. (IN SILVA CELLS)**
LAS HACIENDAS AND CALLE CORTEZ
BOTANICAL NAME / COMMON NAME
ARBUTUS 'MARINA' / MARINA STRAWBERRY TREE
- NEW STREET**
BOTANICAL NAME / COMMON NAME
RHUS LANCEA / AFRICAN SUMAC
- ACCENT TREES - 24" BOX MIN.**
BOTANICAL NAME / COMMON NAME
TIPLUNA TIPI / TIPI TREE
- ON-SITE TREES - 24" BOX MIN.**
BOTANICAL NAME / COMMON NAME
CHILOPSIS LINEARIS / DESERT WILLOW
- PARKINSONIA X 'DESERT MUSEUM' / PALO VERDE**
- PROSOPIS CHILENSIS / CHILEAN MESQUITE**

- STREETSCAPE PLANTING SHRUBS AND GROUNDCOVERS**
(55% 1 GAL, 45% 5 GAL)
BOTANICAL NAME / COMMON NAME
AGAVE SP. / AGAVE
ALOE SP. / ALOE
BOULEDOU 'BLONDE AMBITION' / BLUE GRAMA
CISTUS SP. / ROCKROSE
HESPERALOE / FALSE YUCCA
MULLENBERGIA SP. / DEER GRASS
PENNISTEMIA MESSIACUM / RED BUNNY TAILS
ROSEMARY SP. / ROSEMARY
SALVIA 'BEE'S BLISS' / BEE'S BLISS SAGE
SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS
WESTRINGIA FRUTICOSA / COASTAL ROSEMARY
- COURTYARD PLANTING SHRUBS AND GROUNDCOVERS**
(55% 1 GAL, 45% 5 GAL)
BOTANICAL NAME / COMMON NAME
AGAVE SP. / AGAVE
ALOE SP. / ALOE
CISTUS X PLURIPAREUS / ORCHID ROCKROSE
DASYLIRION WHEELERI / SPOON YUCCA
DUDLEYA BRITTONII / GIANT CHALK DUDLEYA
FESTUCA GLAUCA / BLUE FESCUE
LEUCADENDRON 'SAFARI SUNSET' / SAFARI CONEBUSH
PHORMIUM TENAX 'AMAZING RED' / NEW ZEALAND FLAX
PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' / SILVER SHEEN KOHUIHU
SENECIO TALINOIDES / BLUE CHALK FINGERS
TECOMA STANS / YELLOW BELLS
WISTERIA SI VENSIS / WISTERIA

GENERAL NOTES:

1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
2. LANDSCAPE ARCHITECT SHALL VERIFY UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF TEMECULA'S REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF TEMECULA REQUIREMENTS.
4. LANDSCAPE ARCHITECT SHALL VERIFY PLANS ARE IN ACCORDANCE WITH CITY OF TEMECULA'S UPTOWN SPECIFIC PLAN.

PLANTING NOTE

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF TEMECULA'S GUIDELINES.

ALL EXISTING TREES AND SHRUBS TO BE REMOVED DURING DEMOLITION.

IRRIGATION NOTE

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW PRECIPITATION EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY AUTOMATIC CONTROL VALVES, CONTROLLERS AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE CITY OF TEMECULA GUIDELINES AND WATER CONSERVATION ORDINANCE.



LAS HACIENDAS APARTMENTS

TEMECULA - CALIFORNIA

Community HousingWorks
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

LANDSCAPE CONCEPT PLAN

REV NO	DESCRIPTION	DATE	REV NO	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	05-22-2020			
2	ISSUED FOR PERMIT	05-22-2020			
3	ISSUED FOR PERMIT	05-22-2020			

DATE	FILED	2020	SHEET
JUN 10	19-201		L-1.0
DESIGN	LO 102		
CHECKED	JS		



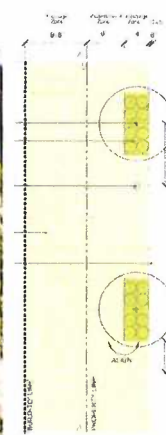
Accent Trellis



Shade Structure



Streetscape per Uptown Specific Plan



Biofiltration Planting Character



Drought Tolerant Planting Character



Dining Table



Trash Receptacle



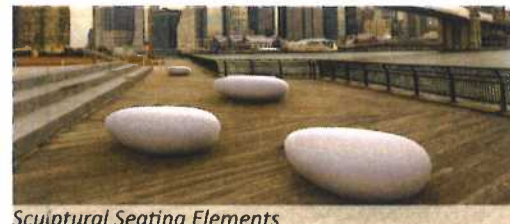
Courtyard Fencing



Children's Playground



Lounge Seating



Sculptural Seating Elements

RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC.
4000 CENTRE ST. SUITE 104, SAN DIEGO, CA 92103 (619) 544-0001 (619) 544-0001 FAX

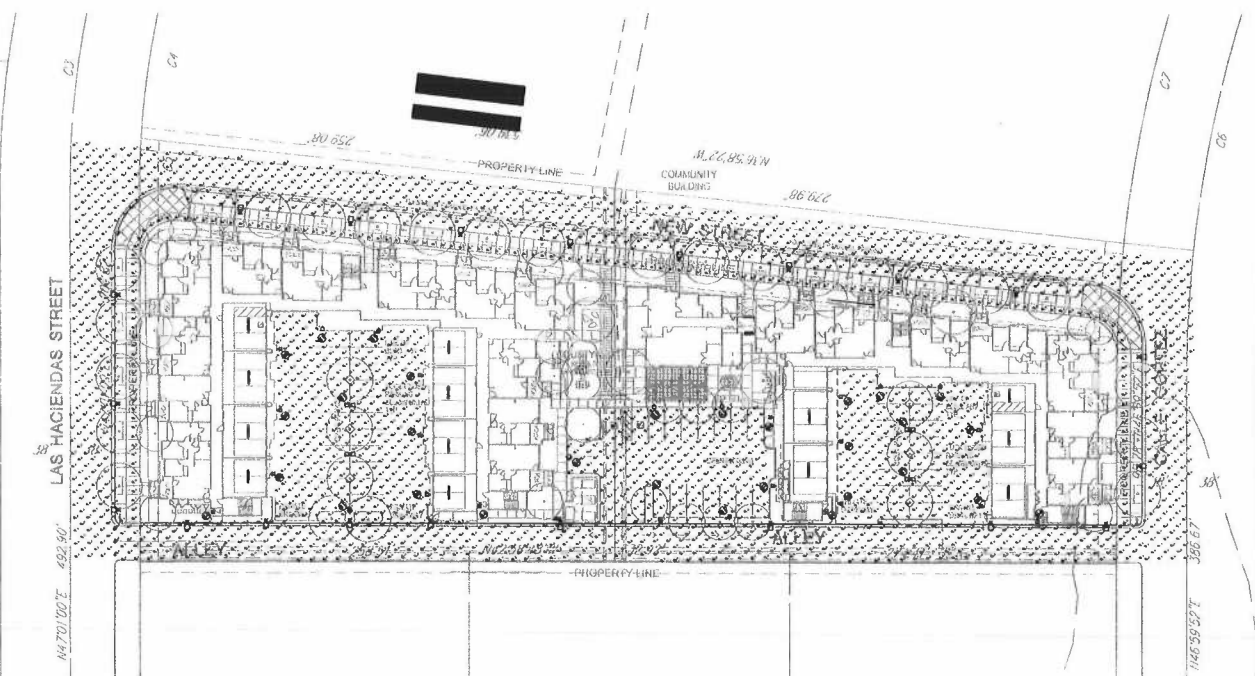
SCHMIDT DESIGN GROUP
1000 BENTLEY BLVD., SUITE 200, SAN DIEGO, CA 92108
619-734-1842
1000 BENTLEY BLVD., SUITE 200, SAN DIEGO, CA 92108
619-734-1842
SCHMIDT DESIGN GROUP

LAS HACIENDAS APARTMENTS
TEMECULA - CALIFORNIA

Community Housing Works
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-640-7119

LANDSCAPE CONCEPT PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
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100			100		



PHOTOMETRIC SITE PLAN

77 RESIDENTIAL UNITS 91 ON-SITE PARKING 20 ON-STREET PARALLEL PARKING



SCALE: 1" = 30'

NOTE:
REFER TO CIVIL PLANS
FOR ADDITIONAL INFO.

RA RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
4000 CENTRE ST. SUITE 104, SAN DIEGO, CA 92108 (619) 544-8851 (619) 544-8891 FAX

FARD
ENGINEERS
www.fard.com 619 238-0022
3550 Camino del Rio North
Suite 204
San Diego, CA 92108

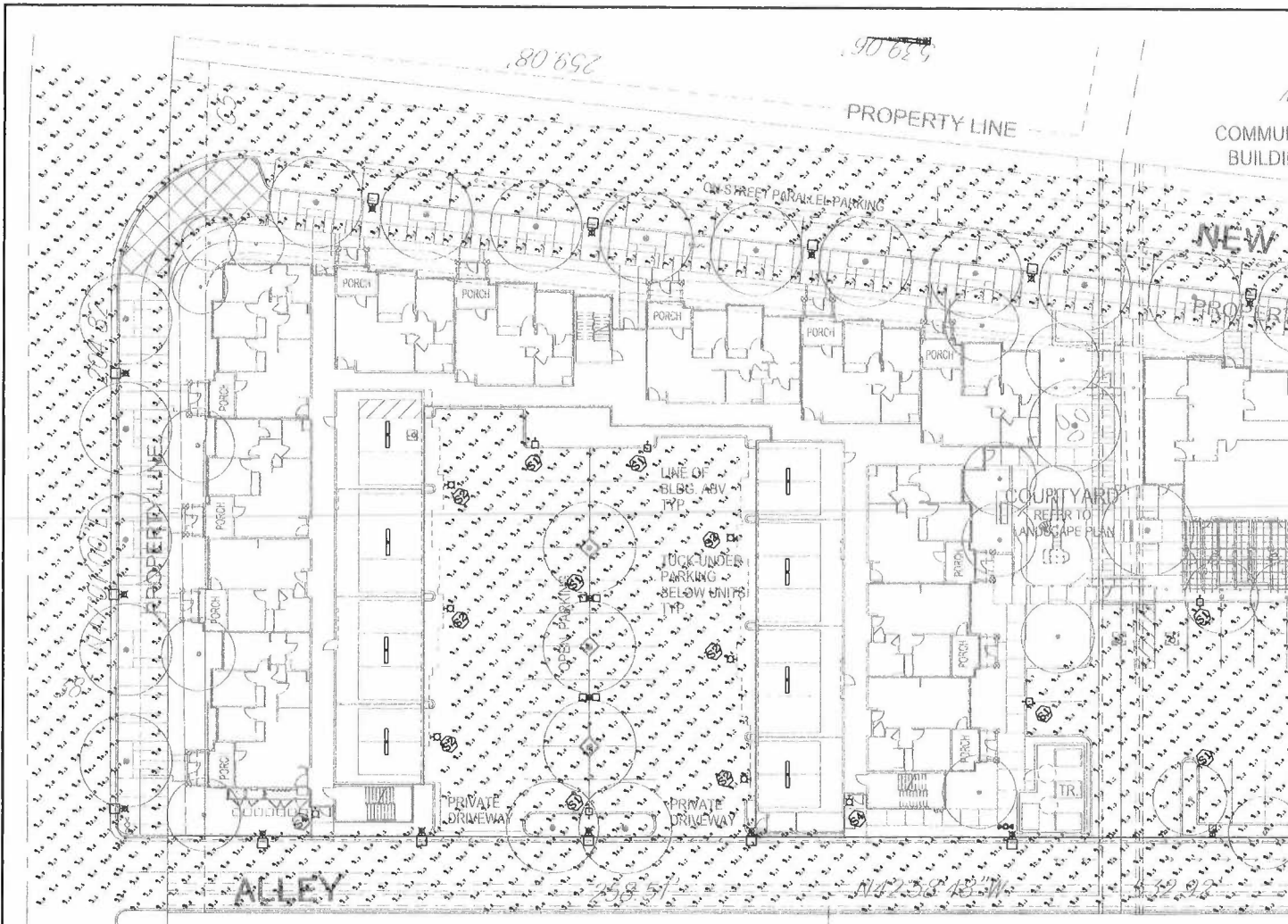
LAS HACIENDAS APARTMENTS TREMULA - CALIFORNIA

CHW Community Housing Works
3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: 619 282-6447
Fax: 619 440-7119

ELECTRICAL SITE PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
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2	ISSUED FOR SUBMITTAL	08-11-20	A		
A			A		

	DATE	FEB. 20, 2020	SHEET E1.0
	JOB NO.		
	DRAWN		
	CHECKED		



77 RESIDENTIAL UNITS 91 ON-SITE PARKING 20 ON-STREET PARALLEL PARKING



SCALE: 1" = 30'

NOTE:
REFER TO CIVIL PLANS
FOR ADDITIONAL INFO.

RA RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
4000 CENTRE ST. SUITE 204, SAN DIEGO, CA 92105 (619) 544-0811 (619) 544-0811 FAX

FARD
ENGINEERS
www.fard.com 619 238-0022
3550 Camino del Rio North
Suite 204
San Diego, CA 92108

LAS HACIENDAS APARTMENTS
TRMBCULA - CALIFORNIA



**Community
Housing Works**

3111 Camino del Rio North, Ste. 202
San Diego, California 92108
Phone: 619.282.4447
Fax: 619.640.7119

ELECTRICAL SITE PLAN

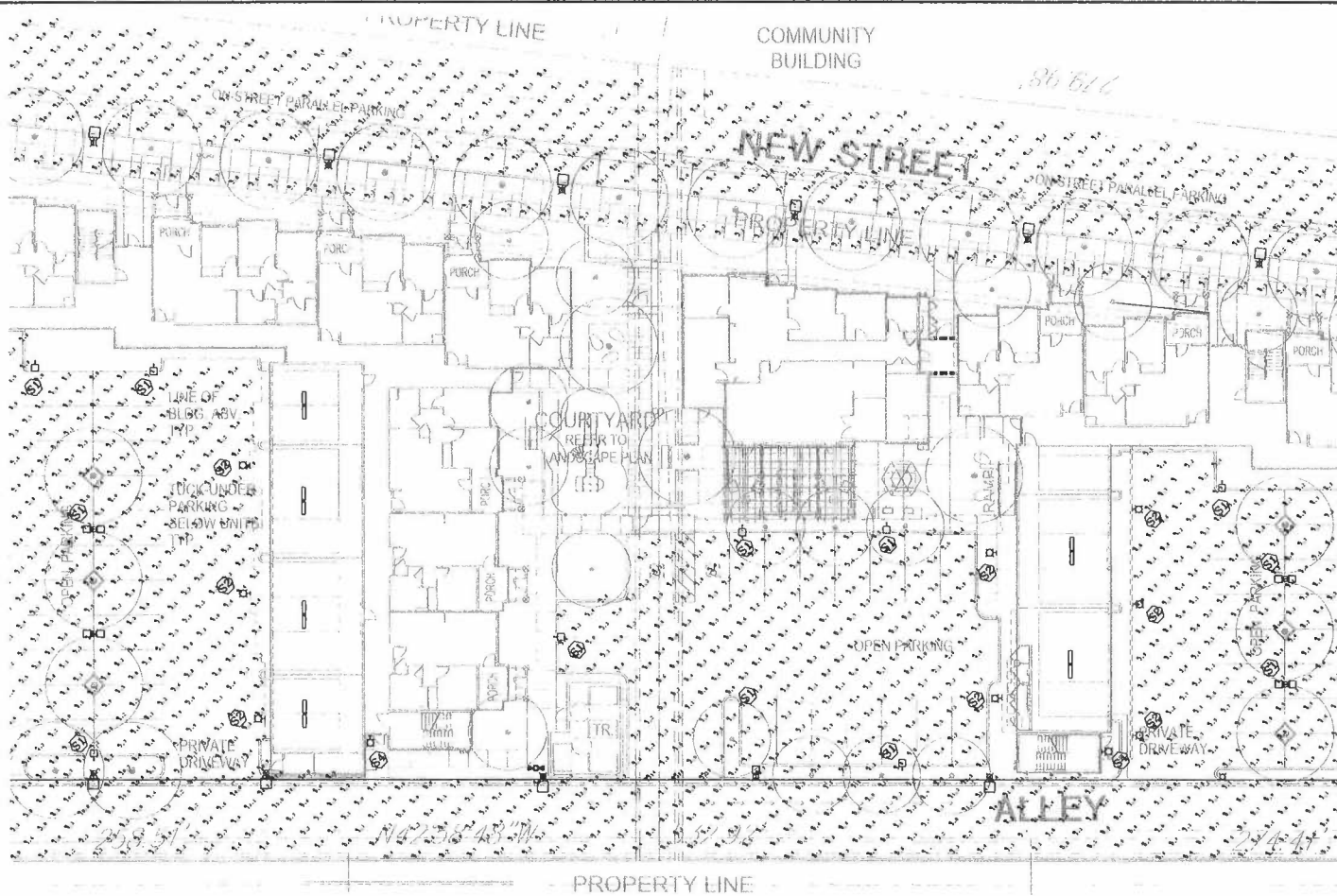
REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
A	1	SCHEMATIC DES. 3RD SUBMITTAL	04-13-20	A			
A	2	SCHEMATIC DES. 3RD SUBMITTAL	05-21-20	A			
A				A			



DATE: FEB. 20, 2020
JOB NO.:
DRAWN:
CHECKED:

SHEET
E1.1

SCHEMATIC DESIGN 3RD SUBMITTAL - 05/22/2020



20 ON-STREET PARALLEL PARKING



SCALE: 1" = 30'

NOTE:
REFER TO CIVIL PLANS
FOR ADDITIONAL INFO.

RA RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.
4000 CENTRE ST. SUITE 304, SAN DIEGO, CA 92108 619 544-8881 619 544-8881 FAX

FARD
ENGINEERS
www.fard.com 619 238-0022
3550 Camino del Rio North
Suite 204
San Diego, CA 92108

LAS HACIENDAS APARTMENTS
TEMECULA - CALIFORNIA



Community Housing Works
3111 Camino del Rio North, Ste. 300
San Diego, California 92108
Phone: 619-282-6647
Fax: 619-660-7119

ELECTRICAL SITE PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	ISSUED FOR 3RD SUBMITTAL	04-13-20	A		
2	ISSUED FOR 3RD SUBMITTAL	05-12-20	A		
A			A		



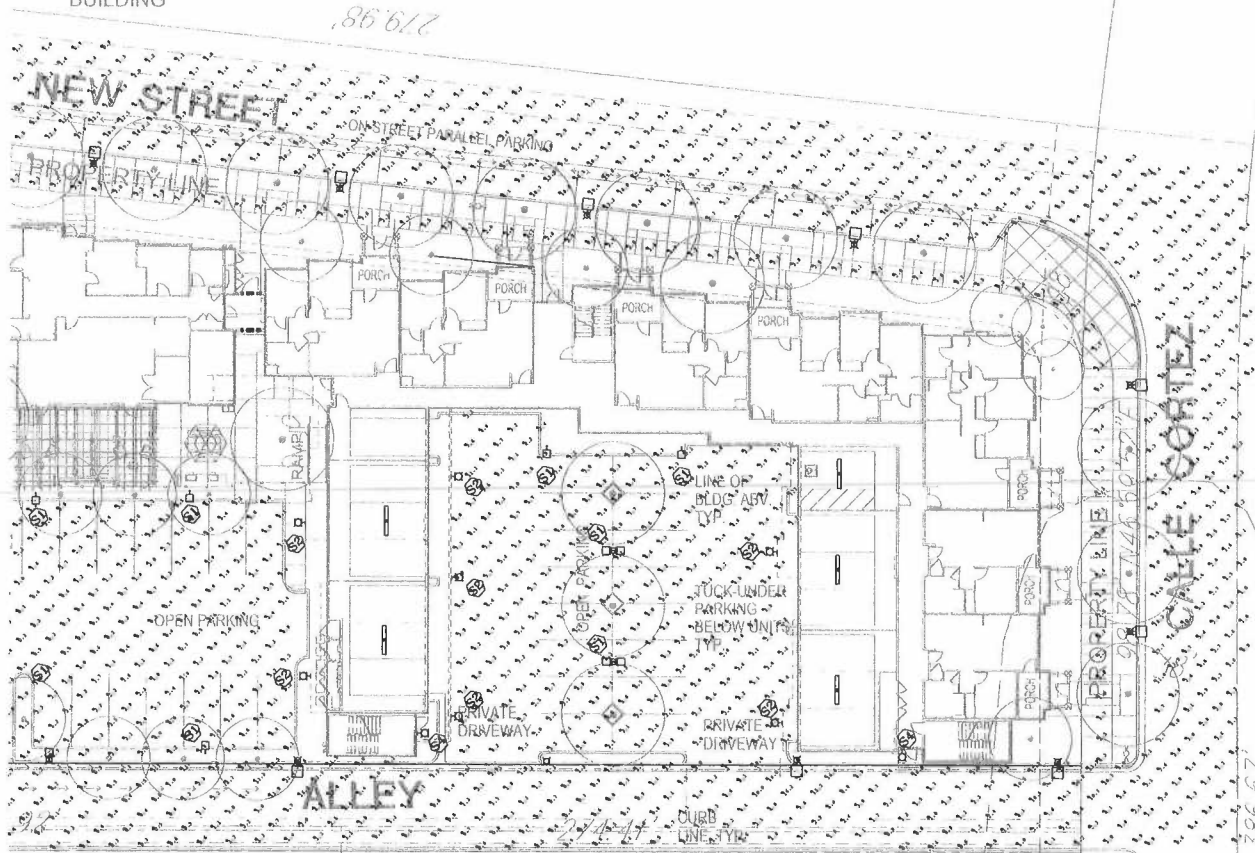
DATE FEB. 20, 2020
JOB NO.
DRAWN
CHECKED

SHEET
E1.2

SCHEMATIC DESIGN 3RD SUBMITTAL - 05/22/2020

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COMMUNITY
BUILDING



INE

77 RESIDENTIAL UNITS 91 ON-SITE PARKING 20 ON-STREET PARALLEL PARKING



NORTH

SCALE: 1" = 30'

NOTE:
REFER TO CIVIL PLANS
FOR ADDITIONAL INFO.

**RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.**
4000 CORTES ST., SUITE 104, SAN DIEGO, CA 92108 (619) 544-0881 (619) 544-0841 FAX

**FARD
ENGINEERS**
www.fard.com 619 238-0022
3550 Camino del Rio North
Suite 204
San Diego, CA 92108

LAS HACIENDAS APARTMENTS
TEMESCALA - CALIFORNIA



**Community
Housing Works**

3111 Camino del Rio North, Ste. 800
San Diego, California 92108
Phone: (619) 322-6667
Fax: (619) 640-7119

ELECTRICAL SITE PLAN

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
A	1	ISSUED FOR PERMITS	06-12-20	A			
A	2	ISSUED FOR PERMITS	06-12-20	A			



DATE: FEB 20, 2020
JOB NO.:
DRAWN:
CHECKED:

SHEET
E1.3

UMN-91262
Martini 32 Single Head Streetlight

VOS TECHNOLOGY

UMN-91262
Martini 32 Single Head Streetlight

PROJECT: Las Haciendas Apartments
DATE: 4/13/20

QUANTITY: 1 **TYPE:** S1 **NOTE:**

ORDERING EXAMPLE: UMN-91262 - 54W - T3 - W30 - 02 - 120/277V - Options

UMN-91262	54W	T3	W30	06	120/277V
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HSS

VOS TECHNOLOGY

MAN LIGHTING USA

MAN Lighting USA is a leading manufacturer of outdoor lighting fixtures. Our products are designed to provide long-lasting, high-quality illumination for a variety of applications. We offer a wide range of lighting solutions, including streetlights, building lights, and landscape lighting. Our fixtures are made from durable materials and are designed to withstand harsh weather conditions. We also offer a variety of mounting options to suit different installation requirements. For more information, please contact us at 1-800-368-5888 or visit our website at www.manlightingusa.com.

TYPE 'S1'
SITE AREA LIGHTING
MOUNT AT 15'-0" AFG

UMN-31672
Martini 31 Surface

VOS TECHNOLOGY

UMN-31672
Martini 31 Surface

PROJECT: Las Haciendas Apartments
DATE: 4/13/20

QUANTITY: 1 **TYPE:** S2 **NOTE:**

ORDERING EXAMPLE: UMN-31672 - 54W - T3 - W30 - 02 - 120/277V - Options

UMN-31672	54W	T3	W30	06	120/277V
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HSS

VOS TECHNOLOGY

MAN LIGHTING USA

MAN Lighting USA is a leading manufacturer of outdoor lighting fixtures. Our products are designed to provide long-lasting, high-quality illumination for a variety of applications. We offer a wide range of lighting solutions, including streetlights, building lights, and landscape lighting. Our fixtures are made from durable materials and are designed to withstand harsh weather conditions. We also offer a variety of mounting options to suit different installation requirements. For more information, please contact us at 1-800-368-5888 or visit our website at www.manlightingusa.com.

TYPE 'S2'
BUILDING MOUNTED
FLOOD LIGHT (12'-0" AFG)

RA

RODRIGUEZ ASSOCIATES
ARCHITECTS & PLANNERS, INC.

4000 CENTIN ST. SUITE 204, SAN DIEGO, CA 92108 | 619 544-8851 | 619 544-8899 FAX

LAS HACIENDAS APARTMENTS
TAMECULA - CALIFORNIA

Community Housing Works

FIXTURE CUT SHEETS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	REVISION: SEE 3RD SUBMITTAL	06-13-13	1	REVISION: SEE 3RD SUBMITTAL	06-13-13
2	REVISION: SEE 3RD SUBMITTAL	06-13-13	2	REVISION: SEE 3RD SUBMITTAL	06-13-13

DATE: FEB. 20, 2020

JOB NO.:

DRAWN:

CHECKED:

SHEET

EC-1

CGT The American Connector
ATLANTA
www.connector.com

Product Specifications

Model	Material	Finish	Light Source	Mounting	Dimensions (H x W x D)	Weight (lbs)
100	Aluminum	White	100W CFL	Building Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
101	Aluminum	White	100W CFL	Building Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
102	Aluminum	White	100W CFL	Building Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
103	Aluminum	White	100W CFL	Building Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
104	Aluminum	White	100W CFL	Building Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5

Labeling & Marking

Project Name & Location: _____

Product Specifications

Connector, Inc. 1000 Peachtree Street, N.E., Atlanta, GA 30309
 Phone: (404) 525-1000 Fax: (404) 525-1001
 Email: sales@connector.com Website: www.connector.com

TYPE 'S3'
BUILDING MOUNTED
(8'-0" AFG)

40 APPENDIX

Product Cut Sheets

Product Specifications

Model	Material	Finish	Light Source	Mounting	Dimensions (H x W x D)	Weight (lbs)
100	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
101	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
102	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
103	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
104	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5

Labeling & Marking

Project Name & Location: _____

Product Specifications

Connector, Inc. 1000 Peachtree Street, N.E., Atlanta, GA 30309
 Phone: (404) 525-1000 Fax: (404) 525-1001
 Email: sales@connector.com Website: www.connector.com

40 APPENDIX

Product Cut Sheets

Product Specifications

Model	Material	Finish	Light Source	Mounting	Dimensions (H x W x D)	Weight (lbs)
100	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
101	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
102	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
103	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
104	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5

Labeling & Marking

Project Name & Location: _____

Product Specifications

Connector, Inc. 1000 Peachtree Street, N.E., Atlanta, GA 30309
 Phone: (404) 525-1000 Fax: (404) 525-1001
 Email: sales@connector.com Website: www.connector.com

TYPE 'S4'
POLE LIGHTING
STREET LIGHTING (20'-0")
ALLEY LIGHTING (11'-6")

40 APPENDIX

Product Cut Sheets

Product Specifications

Model	Material	Finish	Light Source	Mounting	Dimensions (H x W x D)	Weight (lbs)
100	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
101	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
102	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
103	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5
104	Aluminum	White	100W CFL	Pole Mount	10 1/2" x 10 1/2" x 10 1/2"	1.5

Labeling & Marking

Project Name & Location: _____

Product Specifications

Connector, Inc. 1000 Peachtree Street, N.E., Atlanta, GA 30309
 Phone: (404) 525-1000 Fax: (404) 525-1001
 Email: sales@connector.com Website: www.connector.com

LAS HACIENDAS APARTMENTS
TIBURCULA - CALIFORNIA

Community Housing Works

3111 Camino del Rio North, Ste. 400
San Diego, California 92108
Phone: 619 282-6667
Fax: 619 662-7118

FIXTURE CUT SHEETS

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE
1	1	SCHEMATIC DES. 3RD SUBMITTAL	06-22-20	1	1	SCHEMATIC DES. 3RD SUBMITTAL	06-22-20
2	2	SCHEMATIC DES. 3RD SUBMITTAL	06-22-20	2	2	SCHEMATIC DES. 3RD SUBMITTAL	06-22-20

DATE: FEB. 20, 2020

JOB NO. _____

DRAWN: _____

CHECKED: _____

EC-2